

Addendum 1
Request for Quotation
MA26-5368 Elevator and Accessible Washroom
Renovation at Burnhamthorpe PS

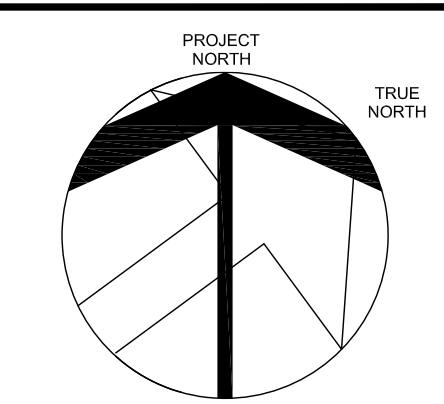
TO: ALL POTENTIAL BIDDERS

This Addendum 1 has been issued for the above-mentioned RFQ.

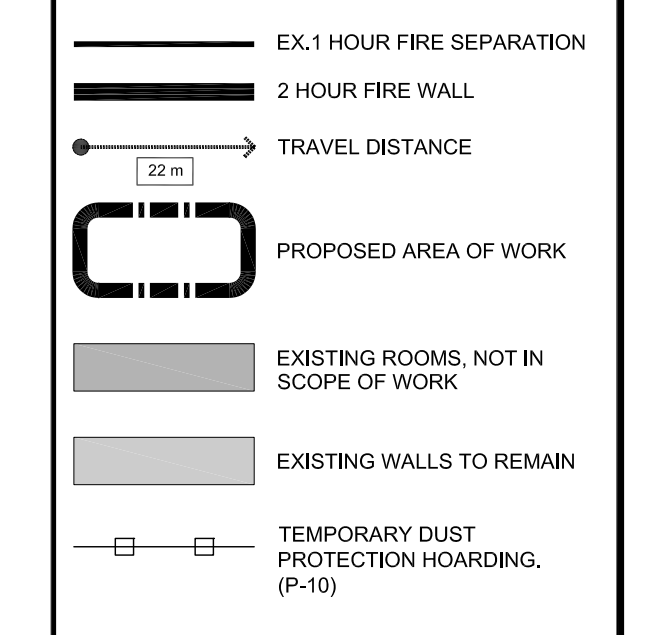
- Please see attached Phasing Diagram

All other terms and conditions shall remain the same.

Regards,
John Marinescu, Commodity Specialist
Peel District School Board
Tel. (905) 890.1010 x 2123
Fax. (905) 890-0660
E-mail: john.marinescu@peelsb.com



FIRE SEPARATION LEGEND



- COMPLETE THE WALL AND FLOOR AND TURNED OVER TO THE OWNER BY AUGUST 21, 2026
- COMPLETE THE WALL AND TURNED OVER TO THE OWNER BY SEPTEMBER 16, 2026
- COMPLETE THE OFFICE AND CLASSROOM AND TURNED OVER TO THE OWNER BY SEPTEMBER 9, 2026
- MUST COMPLETED ELEVATOR AND WASHROOM COMPLETELY BY FEBRUARY 26, 2027

CONSTRUCTION NOTES

- G.C. IS TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
 CONTRACTOR TO REMOVE EXISTING WINDOW COVERINGS, HARDWARE, ETC. AND STORE FREE FROM DIRT AND DAMAGE AND RE-INSTALL AFTER CONSTRUCTION IS COMPLETE.
 CONTRACTOR TO PATCH ALL EXISTING HOLES IN EXISTING BLOCK, PREPARE AND PAINT ALL EXISTING AND NEW WALLS IN CONSTRUCTION AREA (INCLUDING AREAS IN EXISTING CORRIDORS AS NOTED ON FLOOR PLAN), REFER TO SPECIFICATION AND SCHEDULES.
 CONTRACTOR TO PAINT ALL EXISTING DOORS, FRAMES, ETC. USED FOR CONSTRUCTION ACCESS TO MATCH EXISTING PRIOR TO PROJECT COMPLETION. REFER TO DOOR SCHEDULE.
 STUFF DECK FLUTES AND ANY TOP OF WALL PENETRATIONS WITH ROXUL AND CAULKING AS REQUIRED TO MAINTAIN EXISTING SMOKE-TIGHT JOINTS FOR EXISTING 1 HOUR FIRE SEPARATION AT CORRIDOR WALLS. REFER TO A01 FIRE SEPARATIONS AND SPECIFICATIONS.
 AREA OF WORK TO BE THOROUGHLY CLEANED TO OWNER SATISFACTION. ALL OF CONSTRUCTION DUST, DEBRIS AND MATERIALS AS PER SPECIFICATION SECTION 017411.
- 1 PATCH AND REPAIR EXISTING CONCRETE BLOCK WALL AS REQUIRED, INCLUDING FILLING CRACKS, VOIDS, AND SURFACE IMPERFECTIONS, TO PROVIDE A SMOOTH SURFACE READY TO RECEIVE NEW PAINT FINISH. REFER TO ROOM FINISH SCHEDULE.
 - 2 CONTRACTOR TO INSTALL RECONNECT EXISTING BACKFLOW PREVENTER AND ASSOCIATED CONNECTIONS AS REQUIRED. REFER TO MECHANICAL DRAWINGS FOR PROPOSED LOCATION AND DETAILS.
 - 3 CONTRACTOR TO PREPARE, PRIME, AND APPLY PAINT FINISH TO EXISTING AND NEW CONCRETE BLOCK WALLS, TO THE EXTENT SHOWN ON THE DRAWINGS. NEW PAINT FINISH SHALL MATCH EXISTING ADJACENT COLOUR AND FINISH.
 - 4 CONTRACTOR TO SUPPLY AND INSTALL NEW MILLWORK UNITS, WITH OR WITHOUT SINK AS INDICATED ON THE DRAWINGS, INCLUDING ALL ASSOCIATED PLUMBING CONNECTIONS IN ACCORDANCE WITH MECHANICAL DRAWINGS, REFER TO MECHANICAL DRAWINGS FOR DETAILS.
 - 5 CONTRACTOR TO SUPPLY AND INSTALL NEW WHITEBOARD OR TACK BOARD UNITS AT LOCATIONS INDICATED ON THE DRAWINGS, COMPLETE WITH ALL REQUIRED MOUNTING HARDWARE. REFER TO SPECIFICATIONS.
 - 6 CONTRACTOR TO SUPPLY AND INSTALL SOAP DISPENSER AND PAPER TOWEL DISPENSER UNITS AT LOCATIONS INDICATED ON THE DRAWINGS, COMPLETE WITH ALL REQUIRED MOUNTING HARDWARE AND ACCESSORIES. REFER TO SPECIFICATIONS.
 - 7 CONTRACTOR TO PROVIDE AND INSTALL TEMPORARY FULL-HEIGHT (FLOOR-TO-CEILING) HOARDING, AIR-SEALED AND DUST-TIGHT, TO THE EXTENT SHOWN ON THE DRAWINGS. HOARDING TO BE SECURELY INSTALLED AND MAINTAINED FOR THE DURATION OF CONSTRUCTION. COORDINATE WITH SITE CONDITIONS AS REQUIRED.
 - 8 CONTRACTOR TO SUPPLY AND INSTALL NEW BARRIER-FREE PUSH BUTTON AND/OR BARRIER-FREE LOCK UNITS, RECESSED INTO THE BLOCK WALL, AT LOCATIONS INDICATED ON THE DRAWINGS. INSTALLATION TO COMPLY WITH ELECTRICAL DRAWINGS AND HARDWARE SCHEDULE REQUIREMENTS.
 - 9 CONTRACTOR TO SUPPLY AND INSTALL NEW SUMP PIT FOR THE NEW ELEVATOR, COMPLETE WITH ALL REQUIRED CONNECTIONS AS PER MECHANICAL DRAWINGS. SUMP PIT COVER SHALL BE INSTALLED FLUSH WITH THE EXISTING SLAB ON GRADE SURFACE.
 - 10 CONTRACTOR TO POUR AND FINISH CONCRETE FOLLOWING SUMP PIT INSTALLATION, IN ACCORDANCE WITH MECHANICAL AND STRUCTURAL DRAWINGS. ENSURE PROPER COORDINATION AND COMPLIANCE WITH SPECIFIED SLAB DETAILS.
 - 11 CONTRACTOR TO ENSURE NEW FLOOR FINISH IS FLUSH WITH EXISTING TERRAZZO WITHOUT ANY THRESHOLDS.
 - 12 CONTRACTOR TO SUPPLY AND INSTALL NEW TERRAZZO FLOOR AND TERRAZZO BASE AT LOCATIONS INDICATED ON THE PROPOSED FLOOR PLAN. NEW TERRAZZO SHALL MATCH EXISTING IN COLOR, PATTERN, AND FINISH.
 - 13 CONTRACTOR TO SUPPLY AND INSTALL REINFORCED CONCRETE SLAB INCLUDING SUBBASE, AFTER COMPLETION OF FOOTINGS, FOUNDATION, FLOOR THICKENING, PLUMBING, AND SUMP PIT INSTALLATION. COORDINATE WITH STRUCTURAL AND MECHANICAL DRAWINGS. REFER TO FLOOR PATTERN PLAN FOR PROPOSED FLOOR FINISHES (VCT, TERRAZZO).
 - 14 CONTRACTOR TO SUPPLY AND INSTALL NEW RADIATOR, REFER TO MECHANICAL DRAWINGS.
 - 15 CONTRACTOR TO SUPPLY AND INSTALL NEW WEeping TILE AT NEW ELEVATOR PIT FOOTING. REFER TO STRUCTURAL AND MECHANICAL DRAWINGS FOR COORDINATION AND DETAILS.
 - 16 CONTRACTOR TO INFILL EXISTING WINDOW OPENING TO MATCH EXISTING WALL CONSTRUCTION (MASONRY AND CONCRETE BLOCK WALL). EXISTING STEEL LINTEL TO REMAIN. INSTALL NEW BRICK (BRAMPTON BRICK - CHATEAU BROWN) AND AIR BARRIER AT INFILL WINDOW OPENING AND BELOW AREA WHERE EXISTING BRICK WAS REMOVED (UNDER EXISTING WINDOW).
 - 17 CONTRACTOR TO INFILL EXISTING DUCT OPENING WITH NEW CONCRETE BLOCK TO MATCH EXISTING. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
 - 18 CONTRACTOR TO SUPPLY AND INSTALL NEW FLOOR FINISHES IN ACCORDANCE WITH THE FLOOR PATTERN PLAN AND THE ROOM FINISH SCHEDULE.
 - 19 CONTRACTOR TO INFILL EXISTING WINDOW OPENING TO MATCH EXISTING WALL CONSTRUCTION (MASONRY AND CONCRETE BLOCK WALL). EXISTING STEEL LINTEL TO REMAIN. INSTALL EXISTING SALVAGED BRICK FROM EXISTING PRINCIPAL OFFICE X137A AT THIS LOCATION, IF SALVAGED BRICK QUANTITY IS INSUFFICIENT FOR COMPLETE INFILL, USE BRAMPTON BRICK CHATEAU BROWN AND BLEND WITH EXISTING SALVAGED BRICK.
 - 20 CONTRACTOR TO SUPPLY AND INSTALL NEW CALL FOR ASSISTANCE SYSTEM CW AUDIBLE/VISUAL INDICATOR CONNECTED TO MAIN OFFICE. REFER ELEC. DRAWINGS.
 - 21 CONTRACTOR TO INSTALL EXISTING GLAZING SALVAGED FROM EXISTING PRINCIPAL ROOM X137A AT THIS WINDOW LOCATION (WHERE A/C UNIT WAS PREVIOUSLY INSTALLED). CONTRACTOR TO MAKE ALL NECESSARY ADJUSTMENTS FOR PROPER INSTALLATION OF THE EXISTING GLAZING.
 - 22 CONTRACTOR TO EXTEND MILLWORK M1 COUNTER TOP AND BELOW MILLWORK TO EXTERIOR WALL. REFER TO ELEVATION DRAWINGS.
 - 23 CONTRACTOR TO REINSTALL EXISTING MILLWORK AND MOUNT IT TIGHT TO THE NEW T-BAR CEILING. COORDINATE INSTALLATION WITH THE PROPOSED CEILING HEIGHT AND ADJACENT FINISHES.



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| 03 | ISSUED FOR TENDER | JUNE 5-2026 |
| 02 | ISSUED FOR PERMIT | MAY 04-2026 |
| 01 | ISSUED FOR COORDINATION | FEB-10-2026 |
| NO | ISSUED | DATE |

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANTS.

BURNHAMTHORPE PUBLIC SCHOOL - ELEVATOR & ACCESSIBLE WASHROOM RENOVATION

LEGAL DESCRIPTION
 BLOCK 'C' REGISTERED PLAN 716
 CITY OF MISSISSAUGA
 REGIONAL MUNICIPALITY OF PEELE



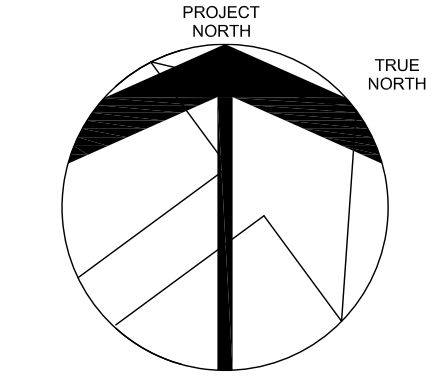
PART GROUND FLOOR PROPOSED FLOOR PLAN



105 - 1839 IRONDALE WAY
 DAKVILLE, ON L6H 5V8
 (905) 815-5506 ext@hossackarch.com

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| SCALE | PROJECT |
| AS SHOWN | 26105 |
| DATE | MARCH 2026 |
| DRAWN | DRAWING |
| CHECKED | GT |
| PRINT DATE | MARCH 4, 2026 |
| CAD FILE | T:26105020 |

1 PARTIAL GROUND FLOOR - PROPOSED FLOOR PLAN
 A03 SCALE 1:50

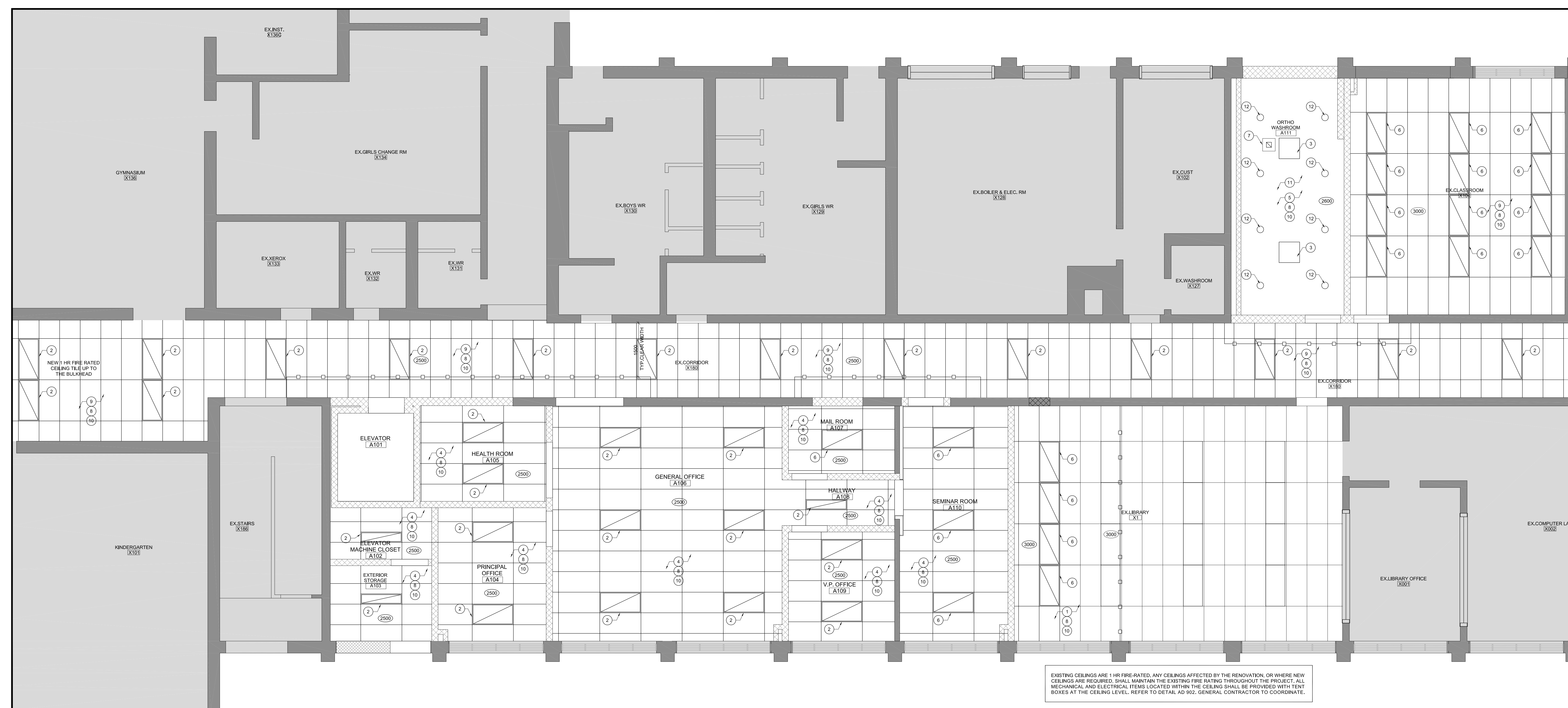


RCP LEGEND

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| | PROPOSED LIFT MED. FRAGILE TRACKLET SYSTEM. SEE SPEC. |
| | LIGHT FIXTURE REFER TO LIGHTING PLANS/LIGHTING SCHEDULES FOR TYPE |
| | FLUSH MOUNTED FLUORESCENT LIGHT FIXTURE - TYPE 1 SEE ELEC. DWGS |
| | NEW ACOUSTIC CEILING PANELS WITH TRIM, TEES, HANGERS, ETC. |
| | SUPPLY DIFFUSER |
| | RETURN DIFFUSER |
| | EXHAUST GRILL |
| | RADIANT PANEL |
| | GYPSON BOARD CEILING TO BE PAINTED, COLOUR TO BE DETERMINED. SEE SPEC. |
| | LIGHT FIXTURE, FOR TYPE AND MOUNTING SEE ELEC. DWGS |
| | CEILING HEIGHT FROM FIN. FLOOR |
| | SPRINKLER. SEE MECH. DWGS. |
| | BRICK VENTS |
| | NEW LIGHT FIXTURE. PATCH AND MAKE GOOD WALL AS RECD. SEE ELEC. DWGS. |
| | GYPSON BOARD |
| | AREA OF EX. CEILING TO REMAIN, UNLESS NOTED OTHERWISE |

CONSTRUCTION NOTES

- G.C. IS TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO REMOVE EXISTING WINDOW COVERINGS, HARDWARE, ETC. AND STORE FREE FROM DIRT AND DAMAGE AND RE-INSTALL AFTER CONSTRUCTION IS COMPLETE.
- CONTRACTOR TO PREPARE AND PAINT ALL EXISTING AND NEW WALLS IN CONSTRUCTION AREA (INCLUDING AREAS IN EXISTING CORRIDORS), REFER TO SPECIFICATION AND SCHEDULES.
- STUFF DECK FLUTES AND ANY TOP OF WALL PENETRATIONS WITH ROXUL AND CAULKING AS REQUIRED TO MAINTAIN EXISTING SMOKE-TIGHT JOINTS FOR EXISTING 0 HOUR FIRE SEPARATION AT CORRIDOR WALLS. REFER TO A01 FIRE SEPARATIONS AND SPECIFICATIONS.
- AREA OF WORK TO BE THOROUGHLY CLEANED TO OWNER SATISFACTION, ALL OF CONSTRUCTION DUST, DEBRIS AND MATERIALS AS PER SPECIFICATION SECTION 07411.
- EXISTING CORRIDOR CEILING HEIGHTS ARE TO BE INSTALLED TO MATCH EXISTING HEIGHT SEAMLESSLY. CONTRACTOR TO FIELD VERIFY AS REQUIRED.
- RE-INSTALL/MODIFY EXISTING ACOUSTIC CEILING GRID, TILES, PERIMETER TRIM, HANGERS, ETC.(FIRE RATED CEILING) AS REQUIRED FOR NEW RENOVATION. FIELD VERIFY AS RECD PRIOR TO CONSTRUCTION. IF NEW TILES, GRID, ETC. ARE REQUIRED, CONTRACTOR TO ENSURE NEW MATERIALS MATCH EXISTING.
- CONTRACTOR SHALL INSTALL NEW LIGHTING FIXTURES, INCLUDING ALL REQUIRED HARDWARE, HANGERS, WIRING, AND FIRE-RATED TENT COVERS, AS NECESSARY FOR A COMPLETE INSTALLATION. REFER TO THE ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. NEW LIGHTING FIXTURES AND FIRE-RATED TENT COVERS SHALL BE PROVIDED BY THE SCHOOL BOARD.
- CONTRACTOR TO INSTALL NEW 600mm x 600mm FIRE RATED ACCESS PANEL IN CEILING SPACE.
- CONTRACTOR TO INSTALL NEW FIRE RATED ACOUSTIC CEILING TILES, GRID, PERIMETER TRIM W/RES HANGERS, ETC. SEE MECH./ELEC. DWGS., TYP. NEW TILES AND GRID TO MATCH EXISTING. CONTRACTOR TO FIELD VERIFY AS REQUIRED.REFER TO SPECS.
- 92mm METAL STUDS @ 16" O/C WITH 12mm MOLD & MILDEW RESISTANT GYPSON PAINT FINISH. REFER TO MECH/ELEC. DWGS. FOR ROUGH-INS AND DEVICE LOCATIONS.
- CONTRACTOR TO REINSTALL EXISTING LED LIGHTING FIXTURES, HARDWARE, HANGERS, WIRING, TENTING COVERS ETC. AS REQUIRED FOR INSTALLATION. REFER ELEC. DWGS.
- CONTRACTOR TO INSTALL NEW CEILING MOUNTED EXHAUST FAN. REFER TO MECH/ELEC. DWGS. NEW TENTING TO ALL MECHANICAL FIXTURES. REFER TO DETAIL A902.
- CONTRACTOR SHALL INSTALL OR REINSTALL EXISTING AND/OR NEW MECHANICAL ITEMS AS REQUIRED, PROVIDE ALL NECESSARY PROTECTION, INCLUDING TENTING, DURING THE WORK. REFER TO MECHANICAL DRAWINGS, MAINTAIN EXISTING FIRE-RATED CEILING ASSEMBLY IN ITS EXISTING CONDITION.
- CONTRACTOR TO SUPPLY AND INSTALL NEW FIRE-RATED ACOUSTIC CEILING TILES ON EXISTING GRID, PROVIDE NEW GRID, PERIMETER TRIM, WIRES, HANGERS, AND ASSOCIATED COMPONENTS AS REQUIRED DUE TO WALL DEMOLITION OR MECHANICAL WORK. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS. TYPICAL NEW CEILING TILES AND GRID SHALL MATCH EXISTING. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND REFER TO SPECIFICATIONS.
- CONTRACTOR SHALL INSTALL OR REINSTALL EXISTING AND/OR NEW ELECTRICAL ITEMS AS REQUIRED, PROVIDE ALL NECESSARY PROTECTION, INCLUDING TENTING, DURING THE WORK. REFER TO ELECTRICAL DRAWINGS, MAINTAIN EXISTING FIRE-RATED CEILING ASSEMBLY IN ITS EXISTING CONDITION.
- CONTRACTOR TO APPLY SPRAY-APPLIED FIREPROOFING TO THE UNDERSIDE OF EXISTING FLOOR DECK TO ACHIEVE PRE-ENGINEERED ULC FIRE-RESISTANCE RATING - ULC F906 FOR THE ENTIRE ROOM.
- CONTRACTOR TO SUPPLY AND INSTALL NEW POT LIGHT FIXTURES, INCLUDING ALL REQUIRED HARDWARE WIRING AND FIRE RATED TENT COVERS. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.



EXISTING CEILINGS ARE 1 HR FIRE-RATED. ANY CEILINGS AFFECTED BY THE RENOVATION, OR WHERE NEW CEILINGS ARE REQUIRED, SHALL MAINTAIN THE EXISTING FIRE RATING THROUGHOUT THE PROJECT. ALL MECHANICAL AND ELECTRICAL ITEMS LOCATED WITHIN THE CEILING SHALL BE PROVIDED WITH TENT BOXES AT THE CEILING LEVEL. REFER TO DETAIL AD 902, GENERAL CONTRACTOR TO COORDINATE.

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| 04 | ISSUED FOR TENDER | JUNE-5-2026 |
| 03 | ISSUED FOR PERMIT COMMENTS | MAY-25-2026 |
| 02 | ISSUED FOR PERMIT | MAY-04-2026 |
| 01 | ISSUED FOR COORDINATION | FEB-10-2026 |
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BURNHAMTHORPE PUBLIC SCHOOL - ELEVATOR & ACCESSIBLE WASHROOM RENOVATION

LEGAL DESCRIPTION
 BLOCK 'C' REGISTERED PLAN 716
 CITY OF MISSISSAUGA
 REGIONAL MUNICIPALITY OF PEELE



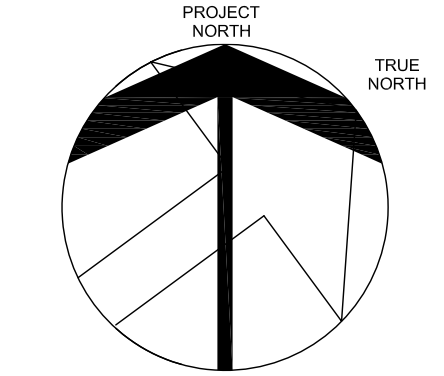
PART GROUND FLOOR PROPOSED REFLECTIVE CEILING FLOOR PLAN



105 - 1839 IRONDAK WAY
 DAKVILLE, ON L6H 5V8
 (905) 815-5556 info@hossackarch.com

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| SCALE | PROJECT |
| AS SHOWN | 26105 |
| DATE | DRAWING |
| MARCH 2026 | |
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| PRINT DATE | MARCH 4, 2026 |
| CAD FILE | T:\26105002 |

1 PARTIAL GROUND FLOOR - PROPOSED RCP PLAN
 A05 SCALE: 1:50



FIRE SEPARATION LEGEND

- EX. 1 HOUR FIRE SEPARATION
- 2 HOUR FIRE WALL
- TRAVEL DISTANCE
- PROPOSED AREA OF WORK
- EXISTING ROOMS, NOT IN SCOPE OF WORK
- EXISTING WALLS TO REMAIN
- TEMPORARY DUST PROTECTION HOARDING, (P-10)

CONSTRUCTION NOTES

G.C. IS TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.

CONTRACTOR TO REMOVE EXISTING WINDOW COVERINGS, HARDWARE, ETC. AND STORE FREE FROM DIRT AND DAMAGE AND RE-INSTALL AFTER CONSTRUCTION IS COMPLETE.

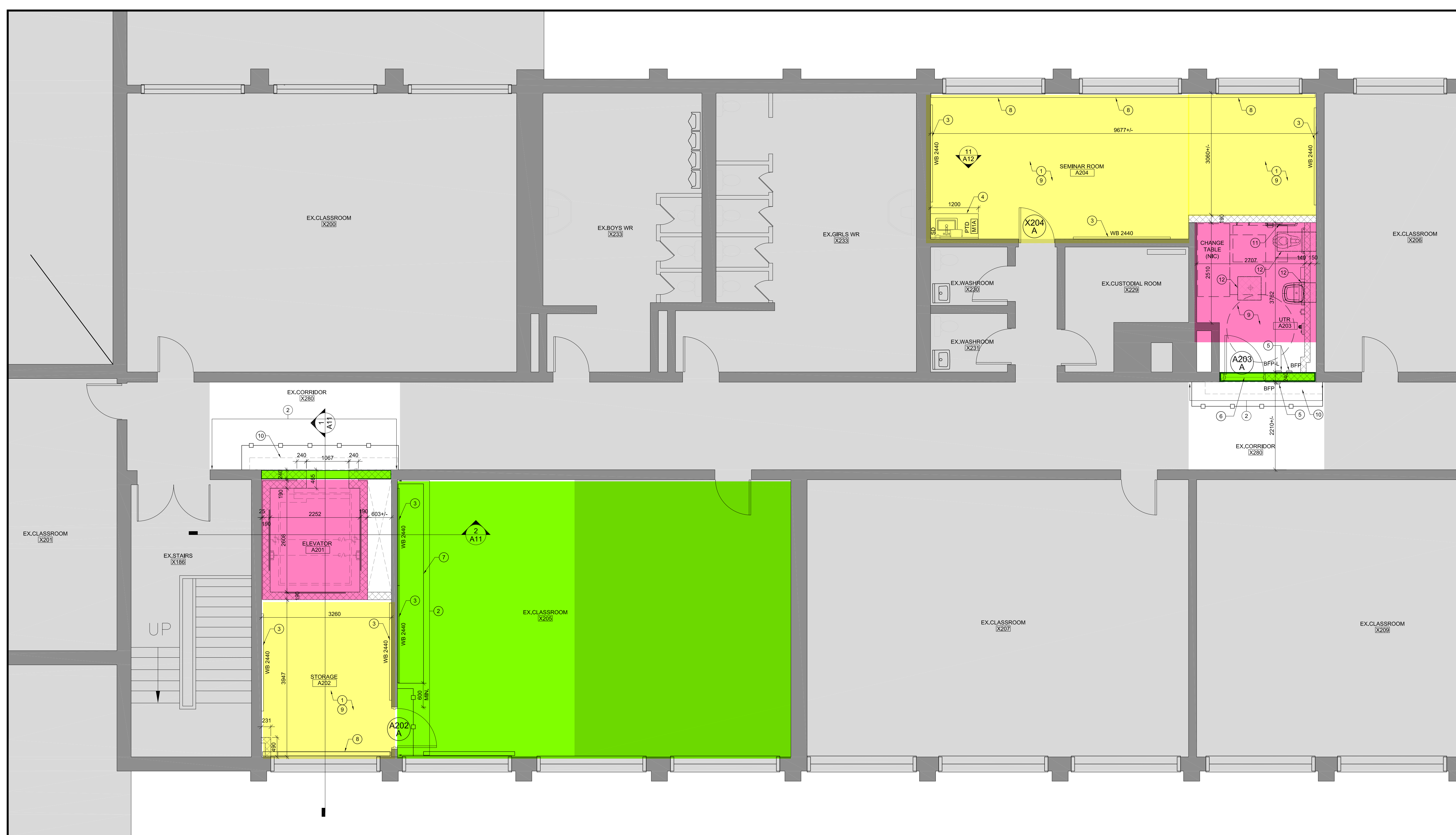
CONTRACTOR TO PATCH ALL EXISTING HOLES IN EXISTING BLOCK, PREPARE AND PAINT ALL EXISTING AND NEW WALLS IN CONSTRUCTION AREA (INCLUDING AREAS IN EXISTING CORRIDORS AS NOTED ON FLOOR PLAN), REFER TO SPECIFICATION AND SCHEDULES.

CONTRACTOR TO PAINT ALL EXISTING DOORS, FRAMES, ETC. USED FOR CONSTRUCTION ACCESS TO MATCH EXISTING PRIOR TO PROJECT COMPLETION. REFER TO DOOR SCHEDULE.

STUFF DECK FLUTES AND ANY TOP OF WALL PENETRATIONS WITH ROULU AND CAULKING AS REQUIRED TO MAINTAIN EXISTING SMOKE-TIGHT JOINTS FOR EXISTING 1 HOUR FIRE SEPARATION AT CORRIDOR WALLS. REFER TO A01 FIRE SEPARATIONS AND SPECIFICATIONS.

AREA OF WORK TO BE THOROUGHLY CLEANED TO OWNER SATISFACTION, ALL OF CONSTRUCTION DUST, DEBRIS AND MATERIALS AS PER SPECIFICATION SECTION 01741.

- 1 PATCH AND REPAIR EXISTING CONCRETE BLOCK WALL AS REQUIRED, INCLUDING FILLING CRACKS, Voids, AND SURFACE IMPERFECTIONS, TO PROVIDE A SMOOTH SURFACE READY TO RECEIVE NEW PAINT FINISH. REFER TO ROOM FINISH SCHEDULE.
- 2 CONTRACTOR TO PREPARE, PRIME, AND APPLY PAINT FINISH TO EXISTING AND NEW CONCRETE BLOCK WALLS, TO THE EXTENT SHOWN ON THE DRAWINGS. NEW PAINT FINISH SHALL MATCH EXISTING ADJACENT COLOUR AND FINISH.
- 3 CONTRACTOR TO SUPPLY AND INSTALL NEW WHITEBOARD OR TACK BOARD UNITS AT LOCATIONS INDICATED ON THE DRAWINGS, COMPLETE WITH ALL REQUIRED MOUNTING HARDWARE. REFER TO SPECIFICATIONS.
- 4 CONTRACTOR TO SUPPLY AND INSTALL NEW MILLWORK UNITS, WITH OR WITHOUT SINK AS INDICATED ON THE DRAWINGS, INCLUDING ALL ASSOCIATED PLUMBING CONNECTIONS IN ACCORDANCE WITH MECHANICAL DRAWINGS. REFER TO MECHANICAL DRAWINGS FOR DETAILS.
- 5 CONTRACTOR TO SUPPLY AND INSTALL NEW BARRIER-FREE PUSH BUTTON AND/OR BARRIER-FREE LOCK UNITS, RECESSED INTO THE BLOCK WALL, AT LOCATIONS INDICATED ON THE DRAWINGS. INSTALLATION TO COMPLY WITH ELECTRICAL DRAWINGS AND HARDWARE SCHEDULE REQUIREMENTS.
- 6 CONTRACTOR TO ENSURE NEW FLOOR FINISH IS FLUSH WITH EXISTING PORCELAIN TILE FLOORING WITHOUT ANY THRESHOLDS.
- 7 PORTION OF EXISTING MILLWORK TO REMAIN.
- 8 CONTRACTOR TO SUPPLY AND INSTALL NEW RADIATOR. REFER TO MECHANICAL DRAWINGS.
- 9 CONTRACTOR TO SUPPLY AND INSTALL NEW FLOOR FINISHES IN ACCORDANCE WITH THE FLOOR PATTERN PLAN AND THE ROOM FINISH SCHEDULE.
- 10 CONTRACTOR TO SUPPLY AND INSTALL NEW PORCELAIN TILE TO MATCH EXISTING.
- 11 CONTRACTOR TO SUPPLY AND INSTALL NEW CALL FOR ASSISTANCE SYSTEM C/W AUDIBLE VISUAL INDICATOR CONNECTED TO MAIN OFFICE. REFER ELEC. DRAWINGS.
- 12 CONTRACTOR TO INFILL EXISTING METAL DECK WITH CONCRETE TO MATCH EXISTING FLOOR ELEVATION AFTER COMPLETION OF MECHANICAL WORK. PREPARE EXISTING FLOOR SURFACE FOR NEW FINISHES. REFER TO MECHANICAL DRAWINGS AND ROOM FINISH SCHEDULE.



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| 02 | ISSUED FOR PERMIT | MAY 04-2026 |
| 01 | ISSUED FOR COORDINATION | FEB-10-2026 |
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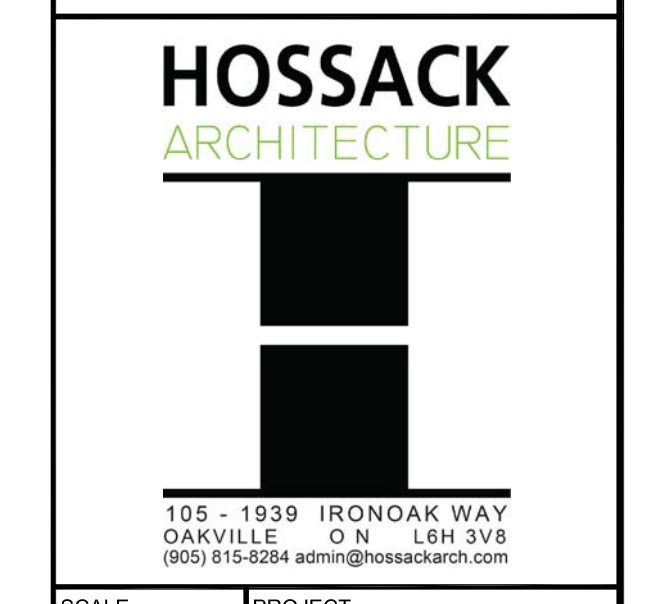
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BURNHAMTHORPE PUBLIC SCHOOL - ELEVATOR & ACCESSIBLE WASHROOM RENOVATION

LEGAL DESCRIPTION
 BLOCK 'C' REGISTERED PLAN 716
 CITY OF MISSISSAUGA
 REGIONAL MUNICIPALITY OF PEEI



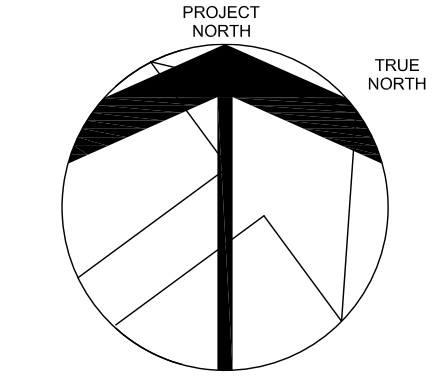
PART SECOND FLOOR PROPOSED FLOOR PLAN



105 - 1839 IRONDAK WAY
 OAKVILLE, ON L6H 5V8
 (905) 815-5506 ext@hossackarch.com

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| SCALE | PROJECT |
| AS SHOWN | 26105 |
| DATE | DRAWING |
| MARCH 2026 | GY |
| DRAWN | ST |
| CHECKED | A07 |
| PRINT DATE | MARCH 4, 2026 |
| CAD FILE | T:26105020 |

1 PARTIAL SECOND FLOOR - PROPOSED FLOOR PLAN
 A07 SCALE 1:50



RCP LEGEND

- PROPOSED LIFT MED. FRAGILE TRACKLET SYSTEM. SEE SPEC.
- LIGHT FIXTURE REFER TO LIGHTING PLANS/ LIGHTING SCHEDULES FOR TYPE
- FLUSH MOUNTED FLOURESCENT LIGHT FIXTURE - TYPE 1 SEE ELECT. DWGS
- NEW ACOUSTIC CEILING PANELS WITH TRIM, TEES, HANGERS, ETC.
- SUPPLY DIFFUSER
- RETURN DIFFUSER
- EXHAUST GRILL
- RP RADANT PANEL
- GYPSUM BOARD CEILING TO BE PAINTED, COLOUR TO BE DETERMINED. SEE SPEC.
- LIGHT FIXTURE, FOR TYPE AND MOUNTING SEE ELECT. DWGS
- CEILING HEIGHT FROM FIN. FLOOR
- SPRINKLER, SEE MECH. DWGS.
- BV BRICK VENTS
- LF NEW LIGHT FIXTURE, PATCH AND MAKE GOOD WALL AS RECD. SEE ELECT. DWGS.
- GB GYPSUM BOARD

AREA OF EX. CEILING TO REMAIN, UNLESS NOTED OTHERWISE

CONSTRUCTION NOTES

- G.C. IS TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO REMOVE EXISTING WINDOW COVERINGS, HARDWARE, ETC. AND STORE FREE FROM DIRT AND DAMAGE AND RE-INSTALL AFTER CONSTRUCTION IS COMPLETE.
- CONTRACTOR TO PREPARE AND PAINT ALL EXISTING AND NEW WALLS IN CONSTRUCTION AREA (INCLUDING AREAS IN EXISTING CORRIDORS), REFER TO SPECIFICATION AND SCHEDULES.
- STUFF DECK FLUTES AND ANY TOP OF WALL PENETRATIONS WITH ROXUL AND CAULKING AS REQUIRED TO MAINTAIN EXISTING SMOKE-TIGHT JOINTS FOR EXISTING 0 HOUR FIRE SEPARATION AT CORRIDOR WALLS. REFER TO A01 FIRE SEPARATIONS AND SPECIFICATIONS.
- AREA OF WORK TO BE THOROUGHLY CLEANED TO OWNER SATISFACTION, ALL OF CONSTRUCTION DUST, DEBRIS AND MATERIALS AS PER SPECIFICATION SECTION 017411.
- EXISTING CORRIDOR CEILING HEIGHTS ARE TO BE INSTALLED TO MATCH EXISTING HEIGHT SEAMLESSLY, CONTRACTOR TO FIELD VERIFY AS REQUIRED.
- 1 CONTRACTOR TO SUPPLY AND INSTALL NEW FIRE-RATED ACOUSTIC CEILING TILES ON EXISTING GRID. PROVIDE NEW GRID, PERIMETER TRIM, WIRES, HANGERS, AND ASSOCIATED COMPONENTS AS REQUIRED DUE TO WALL DEMOLITION OR MECHANICAL WORK, REFER TO MECHANICAL AND ELECTRICAL DRAWINGS. TYPICAL NEW CEILING TILES AND GRID SHALL MATCH EXISTING. CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND REFER TO SPECIFICATIONS.
 - 2 CONTRACTOR TO SUPPLY AND INSTALL NEW POT LIGHT FIXTURES, INCLUDING ALL REQUIRED HARDWARE WIRING AND FIRE RATED TENT COVERS. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
 - 3 CONTRACTOR TO INSTALL NEW 600mm x 600mm FIRE RATED ACCESS PANEL IN CEILING SPACE.
 - 4 CONTRACTOR TO INSTALL NEW FIRE RATED ACOUSTIC CEILING TILES, GRID, PERIMETER TRIM, WIRES, HANGERS, ETC. SEE MECH./ELECT. DWGS., TYP. NEW TILES AND GRID TO MATCH EXISTING. CONTRACTOR TO FIELD VERIFY AS REQUIRED REFER TO SPECS.
 - 5 82mm METAL STUDS @ 12" O/C WITH 12mm MOLD & MILDEW RESISTANT GYPSUM PAINT FINISH. REFER TO MECH/ELEC. DWGS. FOR ROUGH-INS AND DEVICE LOCATIONS.
 - 6 CONTRACTOR TO REINSTALL EXISTING LED LIGHTING FIXTURES, HARDWARE, HANGERS, WIRING, TENTING COVERS ETC. AS REQUIRED FOR INSTALLATION. REFER ELEC. DWGS.
 - 7 CONTRACTOR TO INSTALL NEW CEILING MOUNTED EXHAUST FAN. REFER TO MECH/ELEC. DWGS. NEW TENTING TO ALL MECHANICAL FIXTURES. REFER TO DETAIL A0902
 - 8 CONTRACTOR SHALL INSTALL OR REINSTALL EXISTING AND/OR NEW MECHANICAL ITEMS AS REQUIRED. PROVIDE ALL NECESSARY PROTECTION, INCLUDING TENTING, FIRE, SMOKE DAMPERS DURING THE WORK. REFER TO MECHANICAL DRAWINGS. MAINTAIN EXISTING FIRE-RATED CEILING ASSEMBLY IN ITS EXISTING CONDITION.
 - 9 NOT USED
 - 10 CONTRACTOR SHALL INSTALL OR REINSTALL EXISTING AND/OR NEW ELECTRICAL ITEMS AS REQUIRED. PROVIDE ALL NECESSARY PROTECTION, INCLUDING TENTING, DURING THE WORK. REFER TO ELECTRICAL DRAWINGS. MAINTAIN EXISTING FIRE-RATED CEILING ASSEMBLY IN ITS EXISTING CONDITION.
 - 11 CONTRACTOR TO APPLY SPRAY-APPLIED FIREPROOFING TO THE UNDERSIDE OF EXISTING ROOF DECK TO ACHIEVE PRE-ENGINEERED ULC FIRE-RESISTANCE RATING - ULC GUL P741 FOR THE ENTIRE ROOM.



EXISTING CEILINGS ARE 1 HR FIRE-RATED. ANY CEILINGS AFFECTED BY THE RENOVATION, OR WHERE NEW CEILINGS ARE REQUIRED, SHALL MAINTAIN THE EXISTING FIRE RATING THROUGHOUT THE PROJECT. ALL MECHANICAL AND ELECTRICAL ITEMS LOCATED WITHIN THE CEILING SHALL BE PROVIDED WITH TENT BOXES AT THE CEILING LEVEL. REFER TO DETAIL-AD 902. GENERAL CONTRACTOR TO COORDINATE.

1 PARTIAL SECOND FLOOR - PROPOSED RCP PLAN
A09 SCALE 1:50

| | | |
|----|----------------------------|-------------|
| 04 | ISSUED FOR TENDER | JUNE-5-2026 |
| 03 | ISSUED FOR PERMIT COMMENTS | MAY-25-2026 |
| 02 | ISSUED FOR PERMIT | MAY-04-2026 |
| 01 | ISSUED FOR COORDINATION | FEB-10-2026 |
| NO | ISSUED | DATE |

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANTS.

BURNHAMTHORPE PUBLIC SCHOOL- ELEVATOR & ACCESSIBLE WASHROOM RENOVATION

LEGAL DESCRIPTION
BLOCK 'C' REGISTERED PLAN 716
CITY OF MISSISSAUGA
REGIONAL MUNICIPALITY OF PEEI



PART SECOND FLOOR PROPOSED REFLECTIVE CEILING FLOOR PLAN



105 - 1839 IRONDAK WAY
DARKVILLE O.N. L6H 5V8
(905) 815-5506 ext@hossackarch.com

| | |
|------------|---------------|
| SCALE | PROJECT |
| AS SHOWN | 26105 |
| DATE | MARCH 2026 |
| DRAWN | GY |
| CHECKED | ST |
| PRINT DATE | MARCH 4, 2026 |
| CAD FILE | T:\26105\02 |