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A0.0

Drawn by : AM,SR, Checked by : AM Scale : 1 : 1

Revision Schedule

Particular	Date	No.
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**CRESTVIEW PUBLIC SCHOOL
 RENOVATION**

153 MONTCALM DRIVE
 KITCHENER, ON
 N2B 2R6
22057

Project Name:
Project Location:
Project Number:

Client:
 CRESTVIEW PUBLIC SCHOOL

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 All dimensions and measurements must be checked and verified by the General Contractor.

COVER PAGE

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WALL TYPE LEGEND		
TYPE	DESIGN	CONSTRUCTION
1		WALL TYPE 1 INTERIOR FINISH CONC. BLOCK WALL (REFER TO STRUCT. DWGS) INTERIOR FINISH ADHESIVE MUST EVENLY COVER THE ENTIRE CONCRETE INTERFACE. IN ORDER TO PREVENT THE FORMATION OF SMALL AIR POCKETS BETWEEN THE TWO MATERIALS REFER TO THE ADHESIVE MANUFACTURER'S INSTALLATION GUIDELINES.
2		WALL TYPE 2 INTERIOR FINISH 16mm ABUSE RESISTANT GYPSUM BOARD 92/152mm METAL STUDS @ 400 O.C. C/W SOUND ATTENUATION BATTIS (STC RATING 55) 16mm GYPSUM BOARD INTERIOR FINISH WHERE 1 HR FIRE SEPARATION IS REQUIRED AS PER LIFE SAFETY PLANS, INSTALL AS PER ULC DESIGN NO. W407 SIM. TO GA FILE NO. WP1072 SOUND TEST NRCC 816-NV NOTE: 152MM 18 GAUGE STUDS AT 400MM O.C. WITH SLOTTED DEFLECTION TOP TRACK.
3		WALL TYPE 3 38mm VICWEST AD2000 SERIES (COLOUR TO BE DECIDED) 25mm GALV. METAL FURRING @ 400MM O.C. FASTENED W/ STAINLESS STEEL MASONRY SCREWS TO EXISTING BRICK
4		

FLOOR TYPE LEGEND		
TYPE	DESIGN	CONSTRUCTION
F1		NEW SPORTS FLOORING. REFER TO SPECS. EXISTING CONCRETE FLOOR SLAB. PREP EXISTING SLAB TO RECEIVE NEW FLOOR FINISH AS PER SPECIFICATIONS.
F2		

ROOM FINISH SCHEDULE										
No.	NAME	Area	FLOOR		WALL FINISH			CEILING		COMMENTS
			FINISH	BASE	NORTH	SOUTH	WEST	EAST	FINISH	
1	LIBRARY	179 m²	CRP	RB	P	P	P	P	ACT/GB	
2	MEETING ROOM	8 m²	VCT	RB	N/A	N/A	N/A	N/A	ACT	
3	UNIV. WASHROOM	16 m²	PT	RB	PT/P	PT/P	PT/P	PT/P	ACT	
4	CHANGE ROOM	12 m²	VSF	RB	P	P	P	P	ACT	PROVIDE NEW PAINTING WALLS. PATCH AND REPAIR ALL WALLS
5	QUIET ROOM	20 m²	VSF	RB	P/PL BD/PADD	P/PL BD/PADD	P/PL BD/PADD	P/PL BD/PADD	ACT	
6	VESTIBULE B	9 m²	EX	EX	EX	EX	EX	EX	ACT	PATCH AND REPAIR ALL SURFACES. PAINT CONCRETE BLOCK WHERE EXISTING. CLEAN BRICK FINISH WHERE EXISTING.
7	VESTIBULE A	8 m²	EX	EX	EX	EX	EX	EX	ACT	PATCH AND REPAIR ALL SURFACES. PAINT CONCRETE BLOCK WHERE EXISTING. CLEAN BRICK FINISH WHERE EXISTING.
8	Room	Not Placed								
9	Room	61 m²								

GENERAL ABBREVIATIONS

A/F/F	- ABOVE FINISHED FLOOR
A/F	- ABOVE FINISHED
ADJ.	- ADJUSTABLE
ARCH.	- ARCHITECTURAL
BAR.	- BARRIER
BB.	- BASKETBALL BACKSTOP
BD	- BOARD
BF	- BARRIER FREE
BFP	- BACK FLOW PREVENTER
BFS	- BADMINTON FLOOR SOCKET
B/N/C	- BULL NOSE CORNER
CB	- CALL BUTTON STATION
CCJ	- COMPARTMENT CONTROL JOINT
CH	- CABINET HEATER
CHB	- CHALK BOARD
CH.TBL.	- CHANGE TABLE
CJ	- CONTROL JOINT
CM	- CONTROL MODULE
COH	- COAT HOOK
COMP.	- COMPRESSIBLE
CONT.	- CONTINUOUS
CP	- CONTROL PANEL
CV	- CONTROL VALVE
C/W	- COMPLETE WITH
DBL	- DOUBLE
DC	- DROPPED CURB
DF	- DRINKING FOUNTAIN
DWG.	- DRAWING
DS	- DOWNSPOUT
DST.	- DISTANCE
DISP.	- DISPLAY CASE
ECS	- EMERGENCY PUSH BUTTON
ELEV.	- ELEVATION
EM	- EMERGENCY PUSH BUTTON
EW	- EYE WASH STATION
EX	- EXISTING
EXP.	- EXPOSED
EXIST.	- EXISTING
FB	- FIRE BLANKET
FD	- FLOOR DRAIN
FDG	- FOLD DOWN GRAB BAR
FDNL	- FOUNDATION
F/D/C	- FIRE DEPARTMENT CONNECTION
FEC	- FIRE EXTINGUISHER CABINET
FE	- FIRE EXTINGUISHER
FLEX.	- FLEXIBLE
FL	- FLOOR
FLRNG.	- FLOORING
F/R/R	- FIRE RESISTANCE RATING
FS	- FOLD DOWN SHOWER SEAT
FTG.S	- FOOTINGS
F/V	- FIELD VERIFY
GALV.	- GALVANIZED
GB	- GRAB BAR
GD	- GARBAGE DISPOSAL
GEN	- GENERAL
HB	- HOSE BIB
HD	- HAND DRYER
HDCP	- HANDICAPPED
HO	- HOLD OPEN
HORIZ.	- HORIZONTAL
INSUL.	- INSULATION
KP	- KEY PAD
L	- LOCK
M / MIR	- MIRROR
MANUF.	- MANUFACTURED
MAX.	- MAXIMUM
MECH.	- MECHANICAL
MIN.	- MINIMUM
MS	- MOP SINK
N/I/C	- NOT IN CONTRACT
NO.	- NUMBER
NTS	- NOT TO SCALE
O.H.	- OVERHANG
O.T.A.	- OPEN TO ABOVE
PER.(S)	- PERIMETER / PERIMETERS
PB	- POWER OPERATOR PUSH BUTTON
PT/D	- PAPER TOWEL DISPENSER / DISPOSAL
P/P	- POURED IN PLACE
PRE-FIN.	- PRE-FINISHED
PRES.TR	- PRESERVATIVE TREATED
RCH	- RECESSED CAB HEATER
REQ.D	- REQUIRED
R.C.P	- REFLECTED CEILING PLAN
REIN.F	- REINFORCED
REF.	- REFERENCE
RD	- ROOF DRAIN
RM	- ROOM
RWL	- RAIN WATER LEADER
SCD	- TOILET SEAT COVER DISPENSER
SCHEDULES	- SCHEDULES
SD	- SCUPPER DRAIN
SH	- SOAP HOLDER
SHF	- SHELF
SND	- SANITARY NAPKIN DISPOSAL
SNV	- SANITARY NAPKIN VENDING DISPENSER
SPD	- SOAP DISPENSER
SPEC.D	- SPECIFIED
STRUCT.	- STRUCTURAL
S/W	- SIDEWALK
TB	- TACK BOARD
TC	- TEACHER'S CABINET/CLOSET
THERM	- THERMAL
TM	- TILTED MIRROR
TOB	- TOWEL BAR
TPD	- TOILET PAPER DISPENSER
TYP.	- TYPICAL
U/C	- UNDER CUT
U/S	- UNDERSIDE
VAP.	- VAPOUR
VERT.	- VERTICAL
VFS	- VOLLEYBALL FLOOR SOCKET
W	- WITH
WB	- WHITE BOARD / MARKER BOARD
W.C.	- WHEEL CHAIR
WR	- WASTE RECEPTACLE
WW	- WHITE WALL
/	- PER
%	- PERCENT
@	- AT
o/c	- ON CENTER

MATERIALS ABBREVIATIONS

AB	- ARCHITECTURAL BLOCK
ACT	- ACOUSTIC CEILING TILE
AWP	- ACOUSTIC WALL PANEL
AT	- ACOUSTIC TILE
AL	- ALUMINIUM
AN	- ANODIZED
AN(C)	- ANODIZED COLOURED
B	- BRICK
B&B	- BOARD & BATTEN
BPG	- BACK PAINTED GLASS
CAR	- CARPET
CB	- CONCRETE BLOCK
CEM	- CEMENT BOARD
CET / CT	- CERAMIC TILE
CONC	- CONCRETE
C(H)	- HARDENED & SEALED CONCRETE
C(S)	- SEALED CONCRETE
C(P)	- HARDENED, SEALED & POLISHED CONCRETE
EM	- EXPANDED METAL
EP	- EPOXY PAINT & PRIMER
ESF	- EPOXY SEALED FLOORING
ET	- EPOXY TERRAZZO
F	- FIRELITE GLAZING
F	- FLOCKED TILE (CARPETING)
FT	- FLOOR TILE
GYP.BD.	- GYPSUM BOARD
GLB	- GLASS BLOCK
GLBL	- GLAZED BLOCK
GL	- GLAZING / GLASS
GMW	- GEORGIAN WIRE GLAZING
GMA	- GYM MAT
GNT	- GLASS MOSAIC TILE
GWB	- GYPSUM BOARD
HMB	- HOLLOW METAL
HWD.	- HARDWOOD
HDG	- HOT DIPPED GALVANIZED
L/C/C	- LEAD COATED COPPER
LINO	- LINOLEUM
LVT	- LUXURY VINYL TILE
LVP	- LUXURY VINYL PLANK
LXG	- LEXAN GLAZING
MAR	- MARMOLEUM
MAS	- MASONITE
MS	- MASONRY
MTL	- METAL
MW.	- MOVABLE WALL SYSTEM
NAT.	- NATURAL - EXPOSED
PB	- PARTICLE BOARD
P	- PRECAST CONCRETE
P / PTD.	- PARTED
PF	- PREFINISHED
PL	- PLASTER
PLAM	- PLASTIC LAMINATE
PLYWD	- PLYWOOD
PSP	- PIERCED STEEL PLANKING
PT	- PORCELAIN TILE
POF	- PARQUET FLOORING
QT	- QUARRY TILE
R	- RUBBER
RB	- RUBBER BASE
RSE	- RESILIENT SHEET FLOORING
S	- STONE
SAFF	- SAFETY FLOORING
SC	- SPECIAL COATING
SF	- SPORTS FLOORING
SG	- LAMINATED SAFETY GLASS
SGL	- SPANDREL GLAZING
SHV	- SHEET VINYL FLOORING
S.S.	- SOLID SURFACE
SPC	- SPECIAL COATING
ST	- STUCCO
STL	- STEEL
S/S	- STAINLESS STEEL
STLTL	- STAINLESS STEEL
SVV	- STAINED & VARNISHED
T	- TEMPERED GLAZING / GLASS
TDG	- TEMPERED DOUBLE GLAZING / GLASS
TBB	- TILE BACKER BOARD
TECTUM	- TECTUM ACOUSTIC PANEL
TERR	- TERRAZZO
T.S.	- TOP SOIL
TURF	- ARTIFICIAL TURF
U	- POLYURETHANE
VCGB	- VINYL COATED GYPSUM BOARD
VCP	- VENEER CORE PLYWOOD
VCT	- VINYL COMPOSITE TILE
VFP	- VINYL PLANK FLOORING
VR	- VENTED RUBBER BASE
WD	- WOOD
WP	- WATER PROOFING

BUILDING OBC MATRIX		
FIRM NAME :	+VG ARCHITECTS CERTIFICATE OF PRACTICE NUMBER: 3353 50 DALHOUSIE STREET, BRANTFORD, ONTARIO N3T 2H8 TEL (519) 754-1652, FAX (519) 754-0830 THE ARCHITECTURAL FIRM NOTED ABOVE HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES.	
NAME & LOCATION OF PROJECT:	CRESTVIEW PUBLIC SCHOOL 153 MONTCALM DRIVE, KITCHENER, ONTARIO N2B 2R6, CANADA	
PROJECT DESCRIPTION:	2012 OBC, AMENDED JAN. 1ST, 2022	REMARKS
PUBLIC SCHOOL		EXISTING USE AND CLASSIFICATION: GROUP "A" DIVISION 2 - SCHOOL NON-COMBUSTIBLE CONSTRUCTION, 1 STOREY, NON-SPRINKLERED. ORIGINALLY BUILT IN 1966, WITH AN ADDITION IN 1968 AND 1991.
PROVIDE BUILDING WITH BARRIER-FREE ACCESSIBILITY BY PROVIDING NEW 2 BARRIER FREE MAIN ENTRANCES ON MAIN LEVEL, INCLUDING NEW BARRIER FREE UNIVERSAL WASHROOM. RENOVATION OF EXISTING LIBRARY AND GYMNASIUM.		
PER DIV. 8 - 11.3.3.1(1) BASIC RENOVATION CONSTRUCTION IS BEING CARRIED OUT TO MAINTAIN THE EXISTING PERFORMANCE LEVEL OF THE BUILDING. SIMILAR MATERIALS AND COMPONENTS ARE BEING USED TO INSTALL NEW FINISHES, CEILINGS, PARTITION WALLS AND DOOR ASSEMBLIES THROUGHOUT. THE EXISTING BUILDING IS OF NON-COMBUSTIBLE CONSTRUCTION, NON-SPRINKLERED AND HAS A FIRE ALARM SYSTEM. THERE IS NO PROPOSED INCREASE TO THE CURRENT OCCUPANT LOAD.		
THE NEW ADDITION & RENOVATION TO EXISTING CONSTRUCTION WILL NOT ADVERSELY AFFECT THE EARLY WARNING AND EVACUATION SYSTEMS, FIRE SEPARATIONS OR THE STRUCTURAL ADEQUACY OR WILL NOT CREATE AN UNHEALTHY ENVIRONMENT IN THE BUILDING		
ALTERATIONS TO THE EXISTING STRUCTURAL, PLUMBING, SEWER, SPRINKLER SYSTEM AND ALTERATIONS TO THE EARLY WARNING AND EVACUATION SYSTEMS ARE DESIGNED TO MEET THE REQUIREMENTS OF OTHER PARTS OF THE CODE.		
PROJECT TYPE:		PART 3 AND PART 11 <input checked="" type="checkbox"/> EXISTING TO REMAIN <input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION <input checked="" type="checkbox"/> BASIC RENOVATION <input type="checkbox"/> CHANGE OF USE
MAJOR OCCUPANCY CLASSIFICATION:	DIV.8 - 3.1.2.1.(1) DIV.A - 1.1.3.1	A2 - SCHOOL TOTAL BUILDING AREA N/A m²
BUILDING AREA (m²)	DIV.A - 1.1.3.1 DIV.A - 1.4.1.2	
BUILDING HEIGHT:	DIV.A - 1.4.1.2 DIV.B - 3.2.1.1	STOREYS ABOVE GRADE: 1 STOREYS BELOW GRADE: 0
EXISTING BUILDING CLASSIFICATION:	DIV.B - 11.2.1.1, DIV.B - 1.1.1.2.1.1A DIV.B - 1.1.1.2.1.C DIV.B - 4.1.2.1.(3) TABLE 4.1.2.1.B	CHANGE IN MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES CONSTRUCTION INDEX: 5 HAZARD INDEX: 6 IMPORTANCE CATEGORIES: <input type="checkbox"/> LOW <input type="checkbox"/> NORMAL <input type="checkbox"/> POST-DISASTER
RENOVATION TYPE:	DIV.B - 11.3.3.1 DIV.B - 11.3.3.2	<input checked="" type="checkbox"/> BASIC RENOVATION <input type="checkbox"/> EXTENSIVE RENOVATION
OCCUPANT LOAD OF RENOVATED AREAS:	DIV.8 - 3.1.1.7.(1)(c)	<input type="checkbox"/> m/PERSON <input checked="" type="checkbox"/> THE NUMBER OF PERSONS FOR WHICH THE RENOVATED AREA IS DESIGNED REMAINS UNCHANGED.
PLUMBING FIXTURES:	GROUP A, DIVISION 2 ELEMENTARY SCHOOL	EXISTING FIXTURES: MALE: 7WC/12URI FEMALE: 16 UNIVERSAL WR: 0 TOTAL: 23WC/12URI DEDICATED STAFF WC: 3 DEDICATED KINDERGARTEN WC: 4 EXISTING TOTAL COUNT 30WC/12URI NEW B.F. UNIVERSAL WASHROOMS: (EXISTING WASHROOM) MALE/FEMALE TOTAL 1 FUTURE TOTAL COUNT 30 WC/12 URI
BARRIER-FREE DESIGN:	DIV.B - 3.8	<input checked="" type="checkbox"/> YES (FOR NEW RENOVATED AREAS) <input type="checkbox"/> NO (EXPLAIN)
BARRIER-FREE ENTRANCE WILL BE PROVIDED TO MAIN LEVEL WITH THIS RENOVATION, INCLUDING ONE NEW BARRIER FREE UNIVERSAL WASHROOM.		
REDUCTION IN PERFORMANCE LEVEL:	DIV.B - 11.4.2 DIV.B - 11.4.2.1 DIV.B - 11.4.2.2 DIV.B - 11.4.2.3 DIV.B - 11.4.2.4 DIV.B - 11.4.2.5 DIV.B - 11.4.2.6	STRUCTURAL <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO INCREASE IN OCCUP. LOAD <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO CHANGE OF MAJOR OCCUP. <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO PLUMBING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO SEWAGE SYSTEM <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO EXTENSION OF COMB. CONSTRUCTION <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
COMPENSATING CONSTRUCTION:	DIV.B - 11.4.3 DIV.B - 11.4.3.2 DIV.B - 11.4.3.3 DIV.B - 11.4.3.4 DIV.B - 11.4.3.5 DIV.B - 11.4.3.6 DIV.B - 11.4.3.7	STRUCTURAL <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO FOR NEW OPENINGS TO BE PROVIDED & EXISTING OPENINGS ARE TO BE FILLED IN THE EXISTING STRUCTURE <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO INCREASE IN OCCUP. LOAD <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO CHANGE OF MAJOR OCCUP. <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO PLUMBING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO SEWAGE SYSTEM <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO NO INCREASE IN OCCUPANT LOAD OR FIXTURE COUNT <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO EXTENSION OF COMB. CONSTRUCTION <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
COMPLIANCE ALTERNATIVES PROPOSED:	DIV.B - 11.5.1.	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
NON-SPRINKLERED BUILDING:		
TRAVEL DISTANCE TO EGRESS AND EXIT DOORS:	DIV.B - 3.3.1.5(1)(c) DIV.B - 3.3.1.5(1)(e) DIV.B - 3.3.1.6 DIV.B - 3.4.2.1.(2)(a) TABLE 3.4.2.1.A DIV.B - 3.4.2.5(1)(f)	EGRESS DOORS: (TYPICAL CLASSROOM) SINGLE EGRESS DOOR FROM ROOM OR SUITE: MAX. TRAVEL DISTANCE = 15m, MAX. AREA = 150m² EGRESS DOORS: (HAZARDOUS CLASSROOM) SINGLE EGRESS DOOR FROM ROOM OR SUITE: MAX. AREA = 100m² MORE THAN ONE EGRESS DOOR FROM ROOM OR SUITE: MAX. TRAVEL DISTANCE = 30m MORE THAN ONE EXIT DOOR REQUIRED MAX. TRAVEL DISTANCE = 15m, MAX. AREA = 150m² LOCATION OF EXITS: (NON-SPRINKLERED) MAX. TRAVEL DISTANCE = 30m
FIRE SEPARATIONS:	DIV.B - 3.3.2.5.(1) DIV.B - 3.3.2.5.(4) DIV.B - 3.4.4.1.(1)	CORRIDOR WALL - 1hr. RFS (if T.D. >30m) CORRIDOR WALL - RFS not required (if T.D. <30m) EXIT WALL - 1hr. RFS

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Revision Schedule		
Particular	Date	No.
ISSUED FOR TENDER	2023.03.06	1

ALL DIMENSIONS MARKED TO AND FROM EXISTING BUILDING ELEMENTS ARE APPROXIMATE AND MUST BE CONFIRMED ON SITE BEFORE STARTING CONSTRUCTION STARTS.

MILLWORK CABINETS ARE TO BE EXTENDED AS REQUIRED TO BE CONTINUOUS THROUGHOUT ALL WALLS WHERE MILLWORK IS REQUIRED. ALL MILLWORK DIMENSIONS ARE INDICATIVE.

MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAIN WALLS AND SCREENS REQUIRED FOR THIS RENOVATION BEFORE ORDERING AND ASSEMBLING

MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAIN WALLS AND SCREENS REQUIRED FOR THIS RENOVATION BEFORE ORDERING AND ASSEMBLING

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MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAIN WALLS AND SCREENS REQUIRED FOR THIS RENOVATION BEFORE ORDERING AND ASSEMBLING

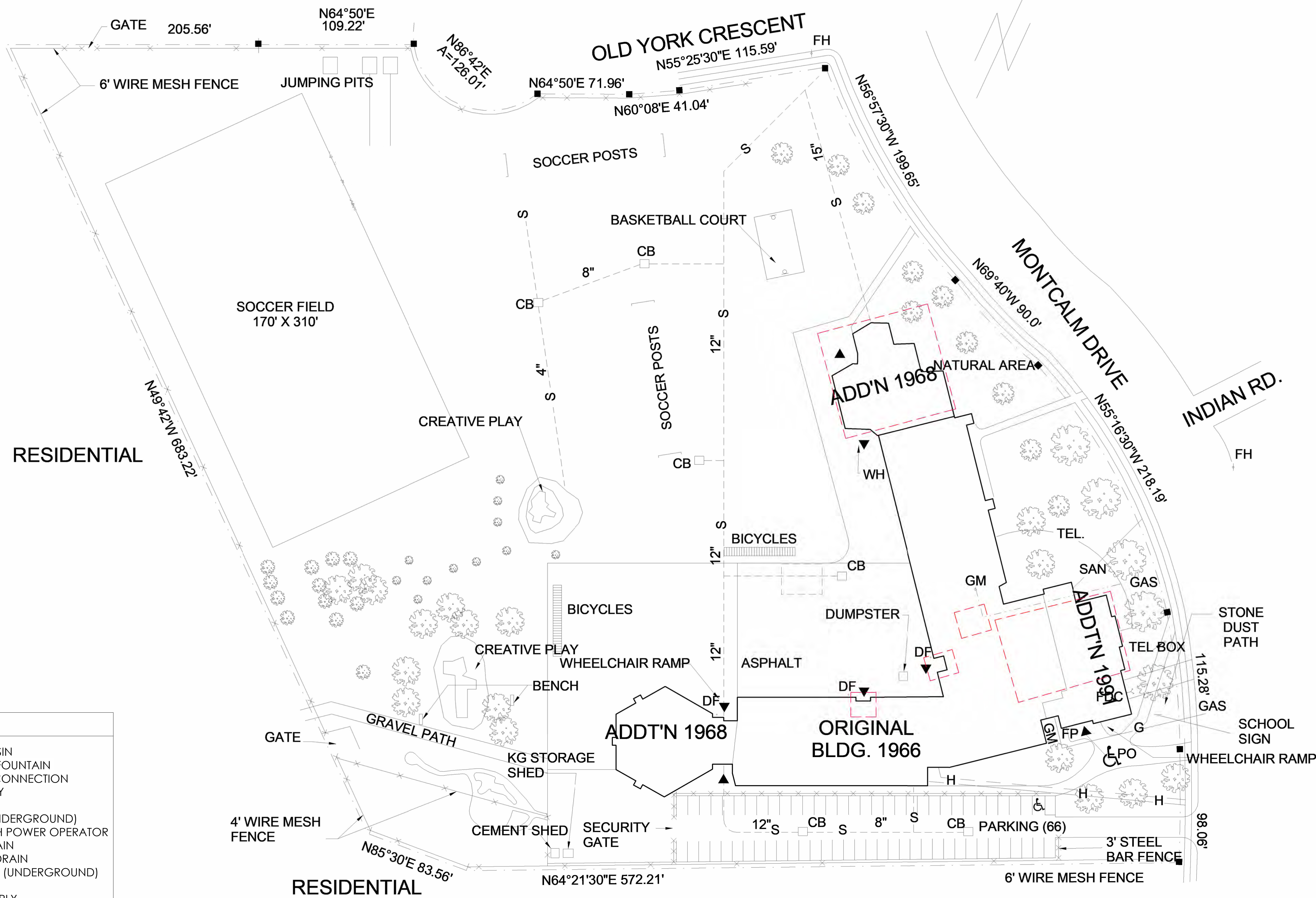
MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAIN WALLS AND SCREEN

GENERAL LEGENDS:

--- SCOPE OF WORK AREA

SITE LEGENDS:

CB	CATCH BASIN
DF	DRINKING FOUNTAIN
FDC	FIRE DEPT CONNECTION
G	GAS SUPPLY
GM	GAS METER
H	HYDRO (UNDERGROUND)
PO	DOOR WITH POWER OPERATOR
S	STORM DRAIN
SAN	SANITARY DRAIN
T	TELEPHONE (UNDERGROUND)
T	TELE. POLE
W	WATER SUPPLY
WH	WHEELCHAIR RAMP
--UF--	U/G FIBRE



2
A2.2
EXISTING SITE PLAN
0 5m 10m 20m
(1 : 500)

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ISSUED FOR TENDER	2023.03.06	1

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MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAIN WALLS AND SCREENS REQUIRED FOR THIS RENOVATION BEFORE ORDERING AND ASSEMBLING.

All dimensions and measurements must be checked and verified by the General Contractor.



CLIENT
CRESTVIEW PUBLIC SCHOOL

PROJECT:
22057
RENOVATION

153 MONTCALM DRIVE
KITCHENER, ON
N2B 2R6

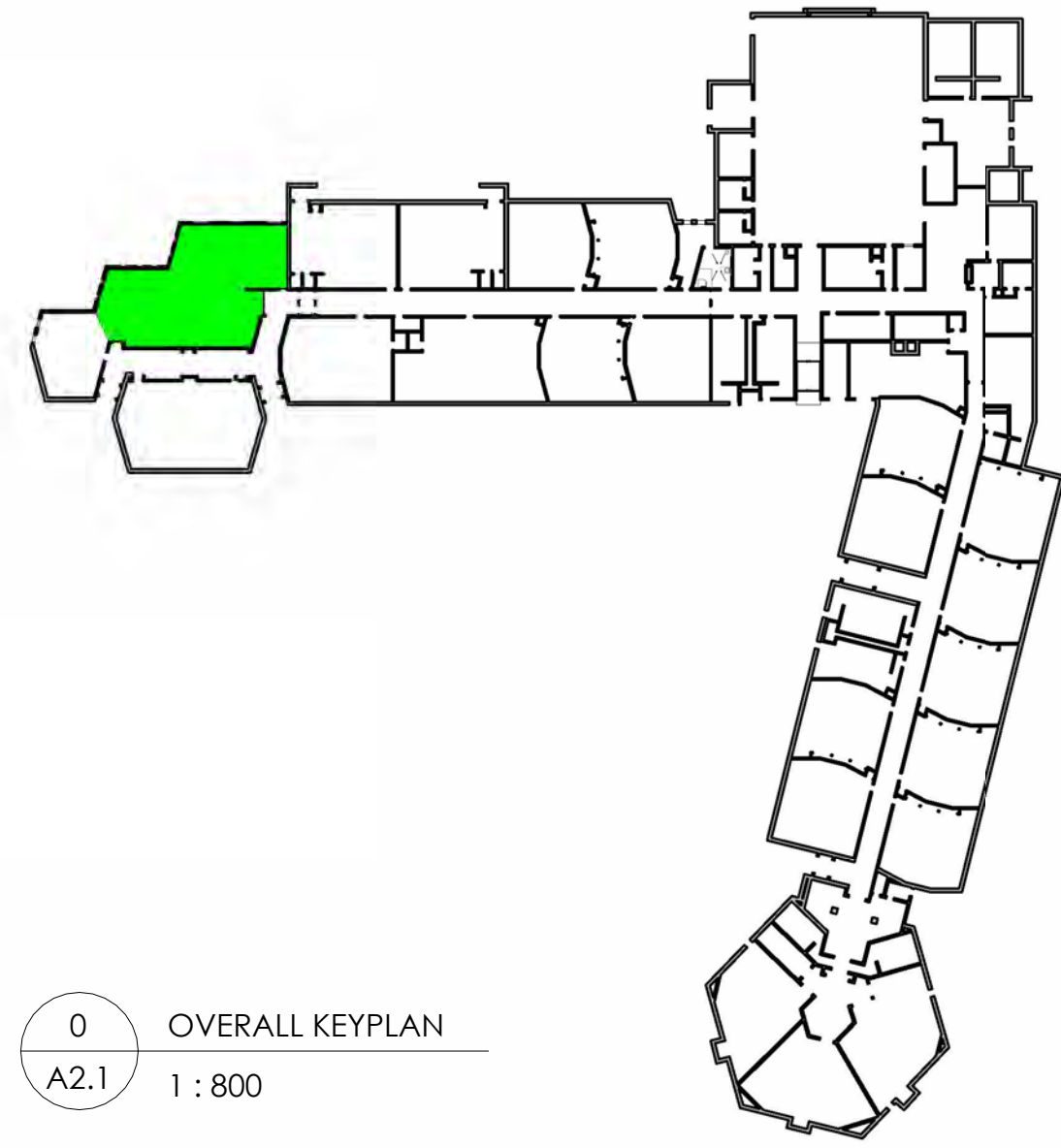
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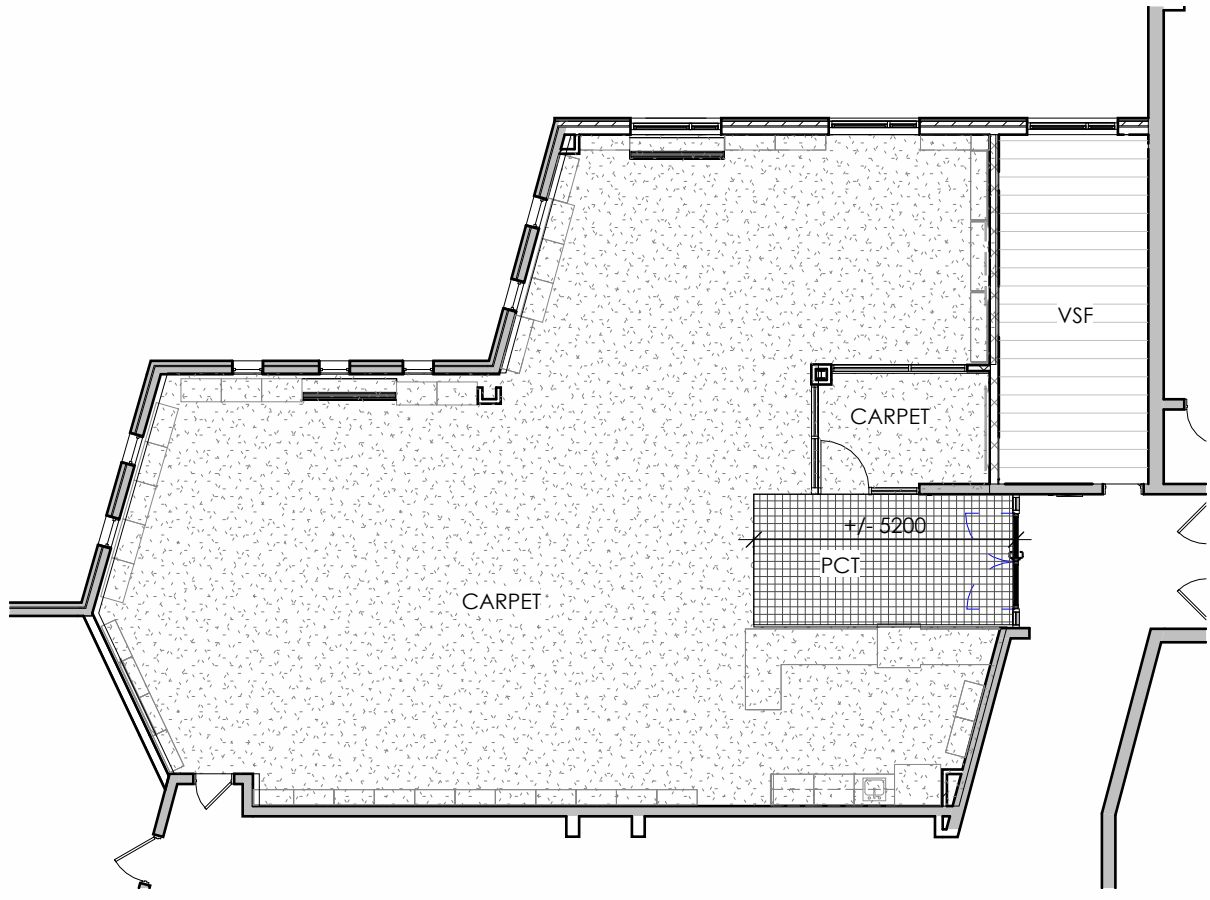
VG ARCHITECTS
THE VENTIN GROUP LTD

A1.1

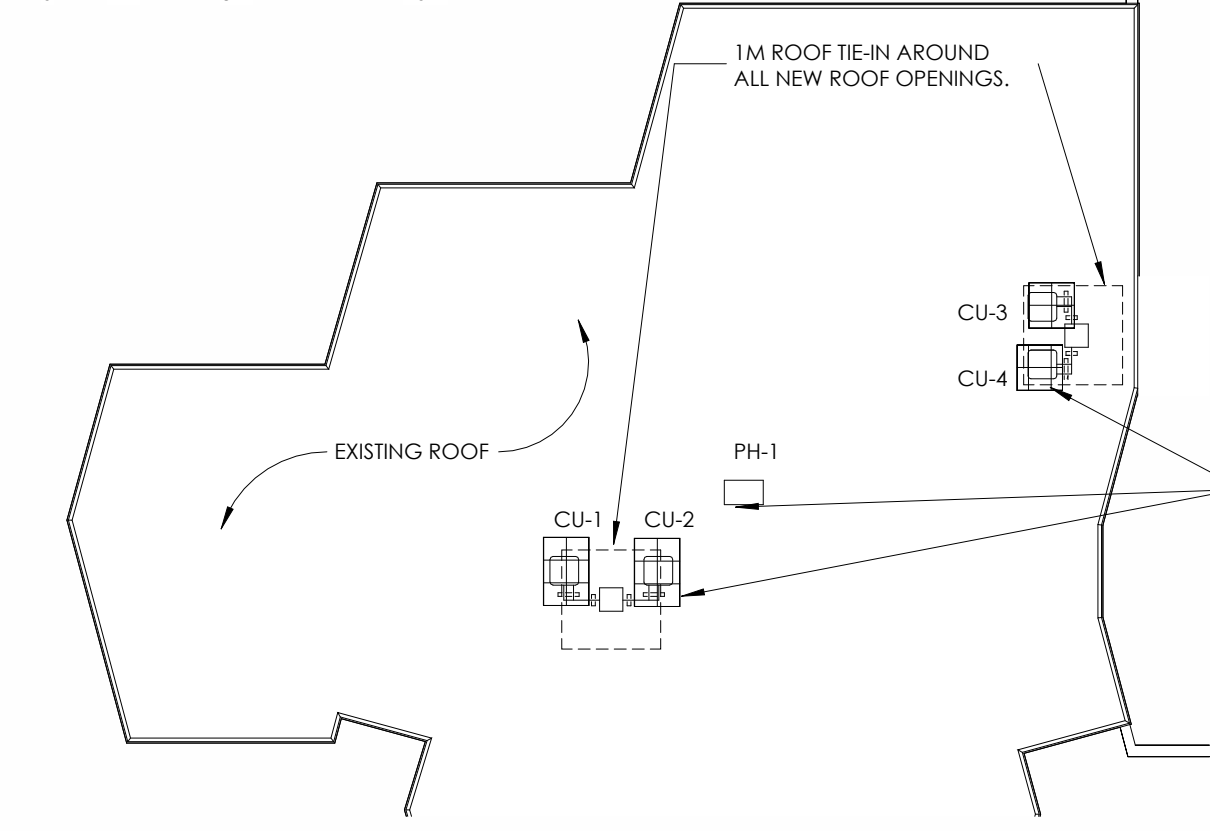
EXISTING SITE PLAN



0 OVERALL KEYPLAN
A2.1 1 : 800



2 LIBRARY RENO. FLOOR FINISH PLAN
A2.1 (1 : 150)



3 ROOF PLAN
A2.1 (1 : 200)

FLOOR PLAN LEGEND

	ELEVATION REFERENCE		WINDOW #		TYP. BF TURNING CIRCLE RADIUS & INDIVIDUAL AREA OF REFUGE LOCATION
	DETAIL REFERENCE		WALL TYPE		PUSH BUTTON FOR POWER DOOR OPERATOR - 610mm MIN. FROM THE DOOR SWING TOWARDS THE BUTTON TO 1500mm MAX. (925mm A/F/F TO CENTER OF BUTTON TYP.)
	WALL SECTION REFERENCE		CURTAIN WALL #		EMERGENCY PUSH BUTTON (925mm A/F/F TO CENTER OF BUTTON TYP.) (450mm A/F/F TO CENTER OF BUTTON IN UNIV. WR. TYP.)
	BUILDING SECTION REFERENCE		SCREEN #		CALL BUTTON (925mm A/F/F TO CENTER OF BUTTON TYP.)
	DATUM		RM. NAME # m2 # SF # OCCUPANT(S)		MILLWORK/EQUIP ITEM IN CONTRACT (COORD. W/ A9 DWG. 3)
	DOOR TYPE (COORD. W/ DOOR SCHEDULES)		ROOM NO.		ITEMS NOT IN CONTRACT - N/I/C (COORD. W/ A9 DWG. 3)
			FLOOR TYPE		EXISTING RADIATOR AND VENTILATOR
			POWER DOOR OPENER		

HATCH IDENTIFICATION MARKER LEGEND

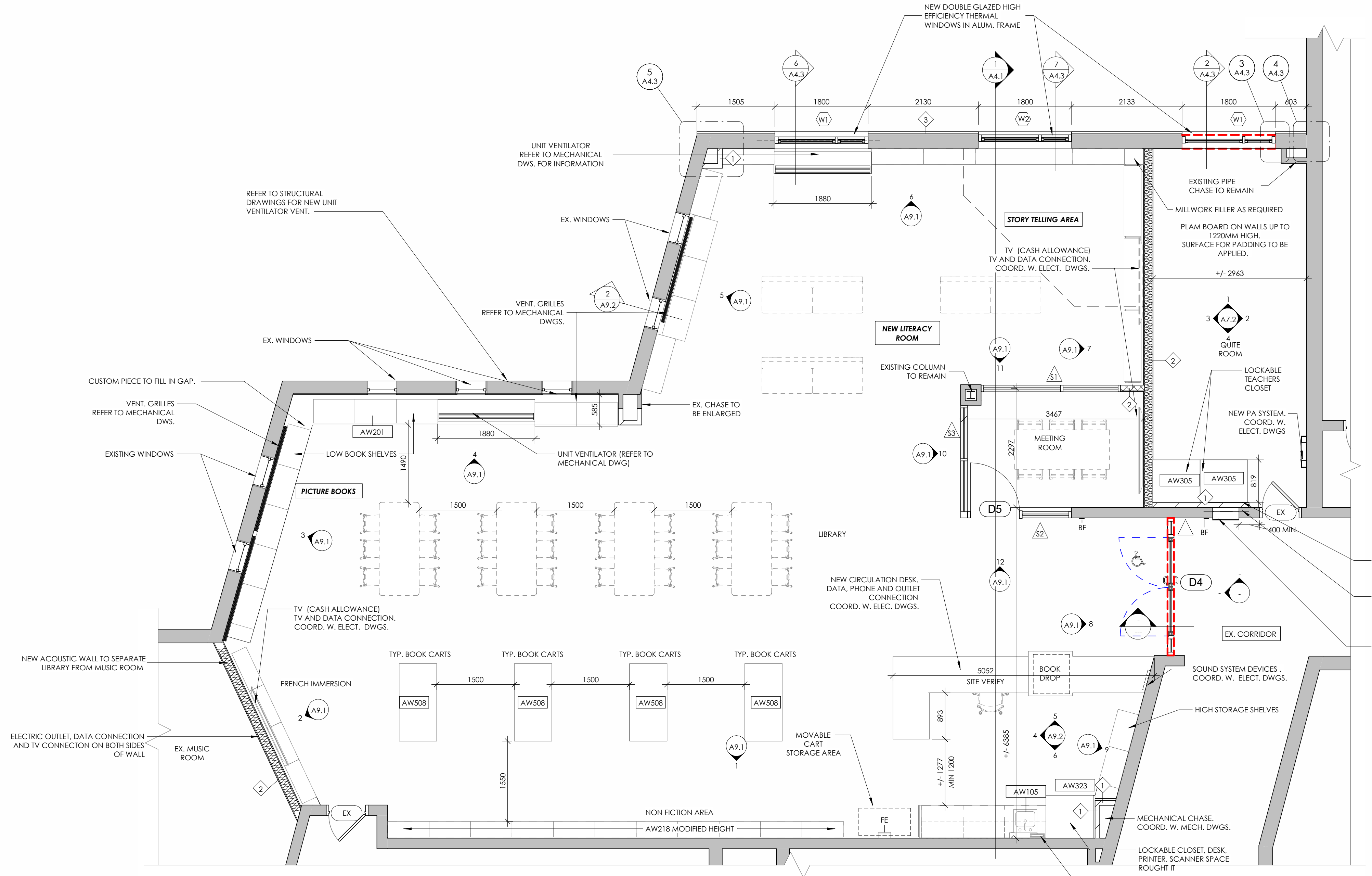
	SCOPE OF WORK
	EXISTING FLOOR, ROOF, CANOPY OR CEILING SURFACES TO BE DEMOLISHED, REPAIRED OR PREPARED AS NOTED. COORDINATE FULL EXTENT WITH ALL OTHERS DISCIPLINES.
	MILLWORK/EQUIP ITEM IN CONTRACT (COORD. W/ A9 DWG. 3)
	ITEMS NOT IN CONTRACT - N/I/C (COORD. W/ A9 DWG. 3)
	EXISTING RADIATOR AND VENTILATOR

WALL IDENTIFICATION MARKER LEGEND (COORD. W/ WALL TYPES)

	NEW CONC. BLOCK WALL SYSTEM
	NEW GYP. BD. ON METAL STUDS WALL SYSTEM
	EXISTING WALL SYSTEM

FLOOR PLAN NOTES:

- SHOP DWG.'S TO BE IN DIMENSION UNITS AS ILLUSTRATED ON THIS DWG. OR THEY WILL BE REJECTED (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE)
- REFER TO DWG. A2.1 FOR GENERAL LEGEND OF SYMBOLS
- ALL DUCT SHAFT ENCLOSURES TO SUIT DUCT SIZES REQUIRED. COORD WITH MECHANICAL DRAWINGS
- UNLESS OTHERWISE NOTED, ALL WALLS ARE TO GO UP TO THE U/S OF DECK ABOVE & BE SEALED TIGHT.
- PROVIDE NEW CONCRETE SLAB IN BOTH IN ENTIRE AREA OF WORK WITH GRANULAR BASE AND THICKENED SLAB WHERE NEW CONCRETE BLOCK WALLS WILL BE LOCATED



1 LIBRARY RENO. FLOOR PLAN
A2.1 (1 : 50)

RENOVATION NOTES

FLOOR NOTES

- INSTALL NEW FLOORING.
- INSTALL NEW TRADITIONAL 4" JOHNSONITE BLACK RUBBER WALL BASE.
- PROVIDE ALUMINUM TRANSITION STRIPS AT ALL DOORWAYS.

WALL NOTES

- PROVIDE NEW WALL PAINT FINISHES.
- PROVIDE NEW SIGNAGES AND GRAPHICS AS REQUIRED.
- PROVIDE NEW 3 WINDOWS ON NORTH SIDE EXTERIOR WALL.
- PROVIDE NEW PARTITION WALLS.
- PROVIDE NEW CEILING.

MECH./ELEC. NOTES

- PROVIDE NEW CEILING LIGHT FIXTURES.
- PROVIDE NEW WIRING AND OUTLETS IF REQUIRED.
- PROVIDE NEW VANITY WITH SINK AND NEW PLUMBING FIXTURES.
- PROVIDE NEW LED SCREEN AND WIRING/OUTLETS AS REQUIRED.

MILLWORK NOTES

- PROVIDE NEW BOOK SHELVES.
- PROVIDE NEW STORAGE UNITS.
- PROVIDE NEW STUDY TABLES WITH CHAIRS AS REQUIRED BY SCHOOL BOARD.
- PROVIDE NEW MEETING ROOM FURNITURE AS REQUIRED.
- PROVIDE NEW BF DOUBLE DOOR.

NOTE: ALL HEATING UNITS AND VANILATOR UNITS LOCATIONS ARE REFER TO MECHANICAL DWGS.

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PROJECT:
22057
RENOVATION

153 MONTCALM DRIVE
KITCHENER, ON
N2B 2R6

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WATERLOO REGION DISTRICT SCHOOL BOARD

ARCHITECTS
THE VENTIN GROUP LTD

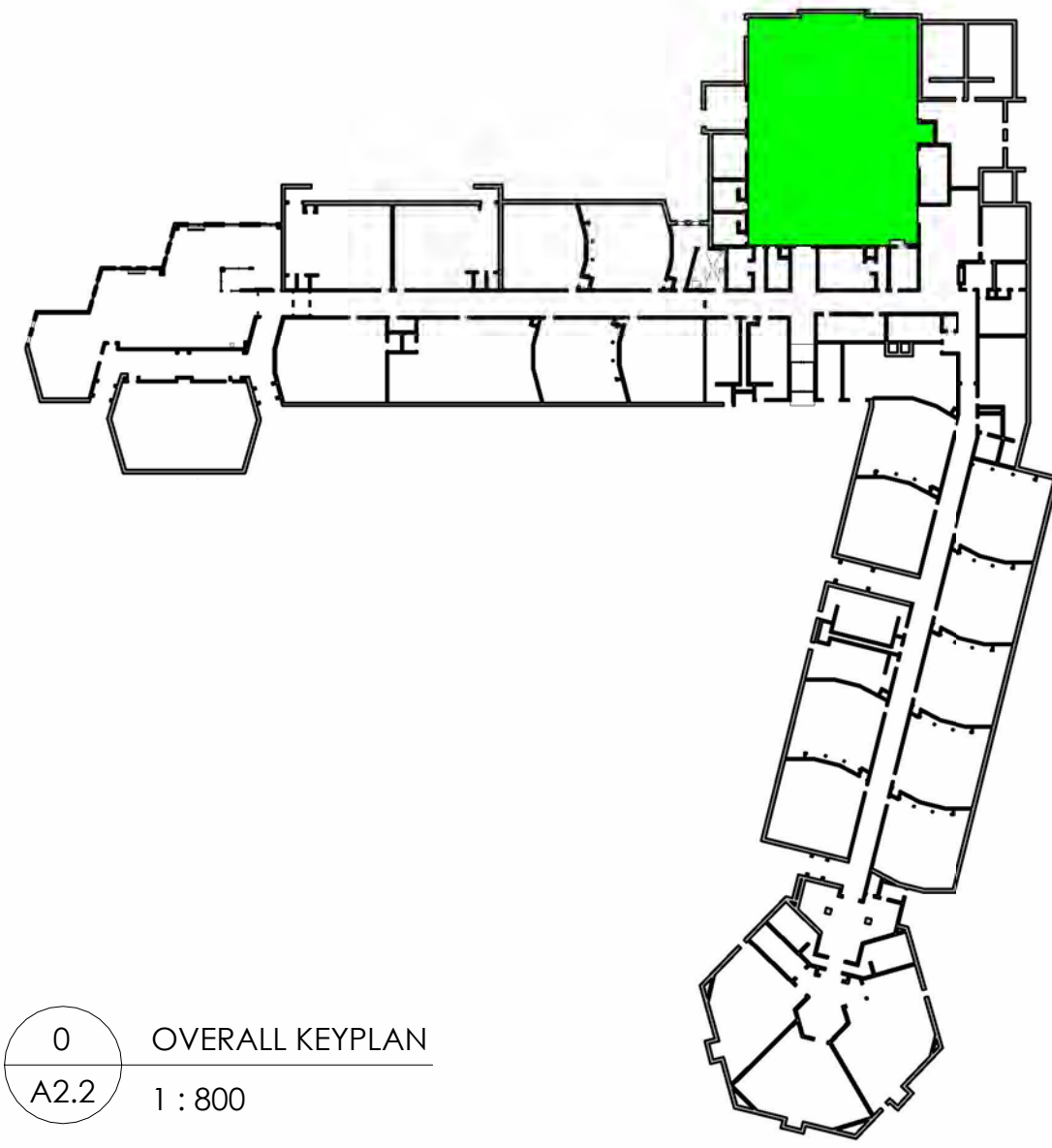
ONTARIO ASSOCIATION OF ARCHITECTS
PAUL SCHREIBER
LICENCE 6498

LIBRARY RENOVATION PLAN

2023-03-06 12:26:26 PM

Drawn by :LJ Checked by :Check@cale : As indicated

All dimensions and measurements must be checked and verified by the General Contractor.



0 OVERALL KEYPLAN
A2.2 1 : 800

RENOVATION NOTES

FLOOR NOTES

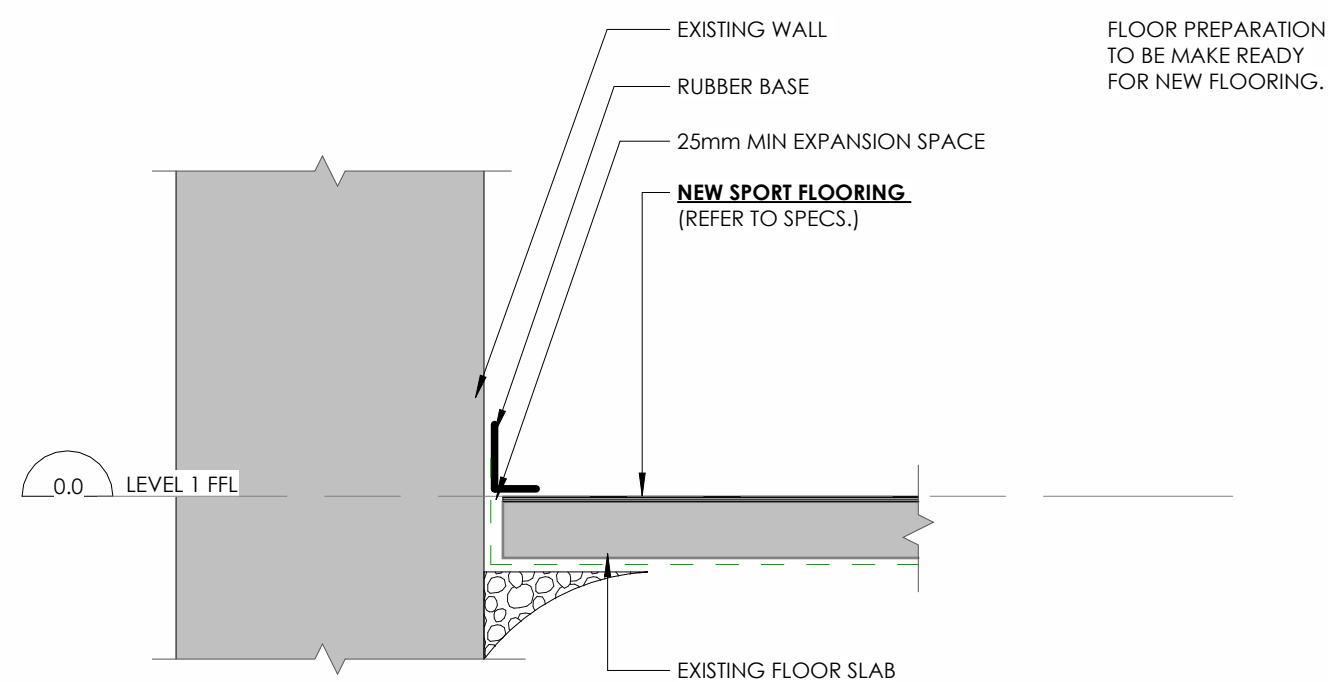
- INSTALL NEW SPORT FLOORING - REFER TO SPECS.
- INSTALL NEW BLACK RUBBER WALL BASE.
- PROVIDE ALUMINUM TRANSITION STRIPS AT ALL DOORWAYS.
- PROVIDE FLOOR SOCKETS BY CORE DRILLING (GYMNASIUM & HEALTH FS2-2.3/8" BRASS)
- PROVIDE GYMNASIUM LINES AND WORK SHOULD BE DONE DURING NON OCCUPIED HOURS WITH PROPER VENTILATION. (GYM LINE DWGS TO BE PROVIDED BY OWNER)

WALL NOTES

- PROVIDE NEW WALL PAINT FINISHES.
- PROVIDE NEW SIGNAGES AND GRAPHICS AS REQUIRED (CASH ALLOWANCE)

MECH./ ELEC. NOTES

- PROVIDE NEW 2 MAIN BASKETBALL BACKBOARD/ALL HARDWARES AS REQUIRED.



3 TYP. FLOOR SECTION DETAILS
A2.2 (1 : 10)

HATCH IDENTIFICATION MARKER LEGEND

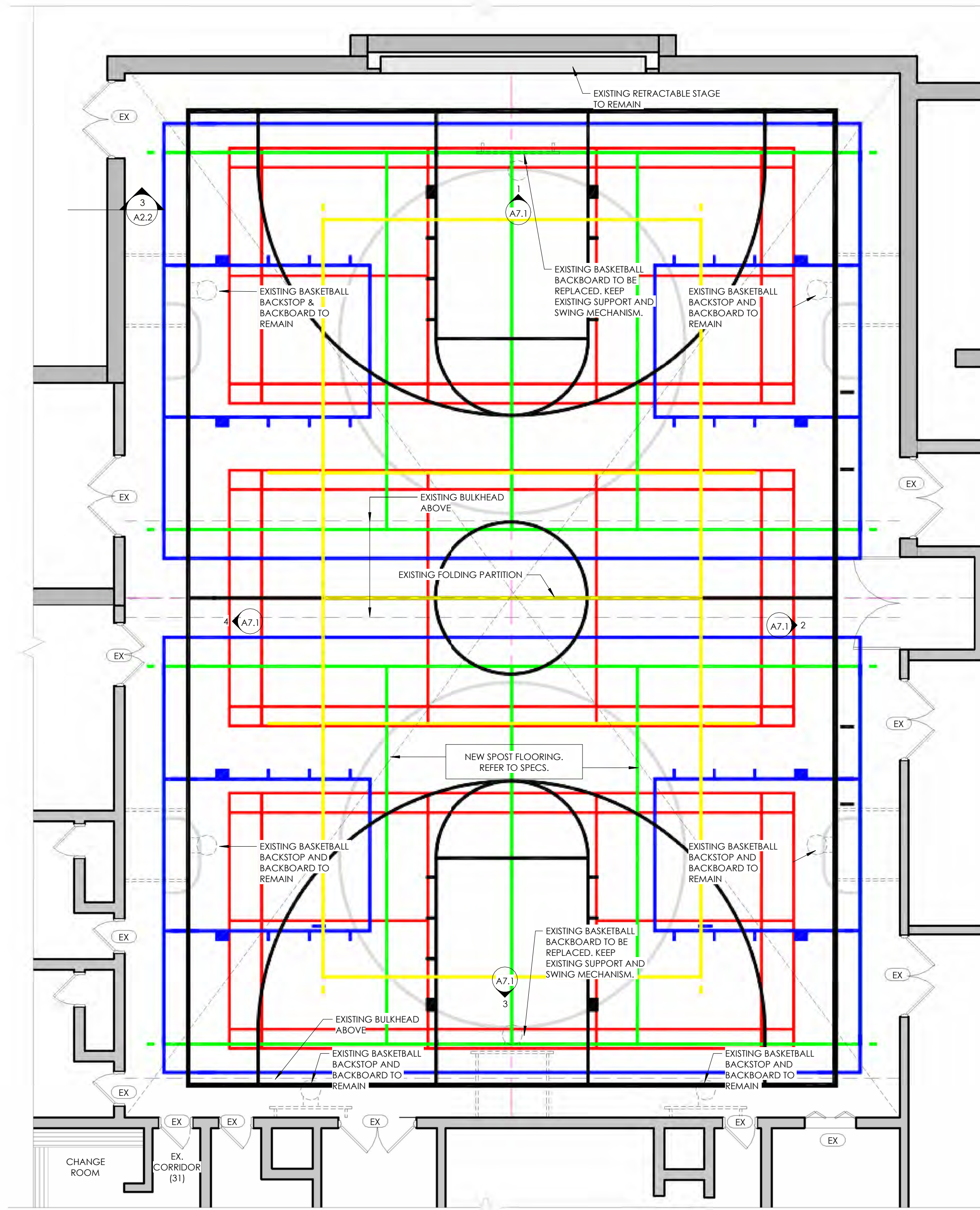
- SCOPE OF WORK
- ▤ EXISTING FLOOR, ROOF, CANOPY OR CEILING SURFACES TO BE DEMOLISHED, REPAIRED OR PREPARED AS NOTED. COORDINATE FULL EXTENT WITH ALL OTHERS DISCIPLINES.
- ▭ MILLWORK/EQUIP ITEM IN CONTRACT (COORD. W/ A9 DWG.S)
- ▭ ITEMS NOT IN CONTRACT - N/I/C (COORD. W/ A9 DWG.S)
- ▭ EXISTING RADIATOR AND VENTILATOR

WALL IDENTIFICATION MARKER LEGEND (COORD. W/ WALL TYPES)

- ▨ NEW CONC. BLOCK WALL SYSTEM
- ▨ NEW GYP. BD. ON METAL STUDS WALL SYSTEM
- ▭ EXISTING WALL SYSTEM

FLOOR PLAN NOTES:

- SHOP DWG.S TO BE IN DIMENSION UNITS AS ILLUSTRATED ON THIS DWG. OR THEY WILL BE REJECTED (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE)
- REFER TO DWG A2.1 FOR GENERAL LEGEND OF SYMBOLS
- ALL DUCT SHAFT ENCLOSURES TO SUIT DUCT SIZES REQUIRED. COORD WITH MECHANICAL DRAWINGS
- UNLESS OTHERWISE NOTED, ALL WALLS ARE TO GO UP TO THE U/S OF DECK ABOVE & BE SEALED TIGHT.
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2 GYMNASIUM RENO. FLOOR PLAN
A2.2 (1 : 75)

Revision Schedule

Particular	Date	No.
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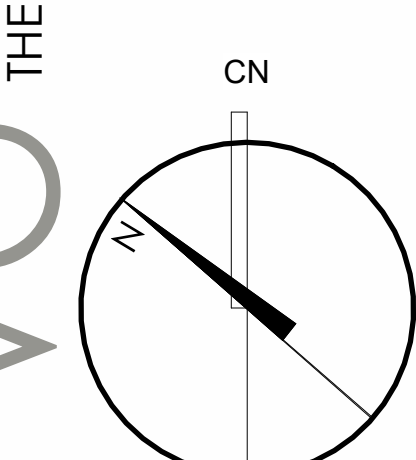
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CRESTVIEW PUBLIC SCHOOL

PROJECT:
22057
RENOVATION

153 MONTCALM DRIVE
KITCHENER, ON
N2B 2R6

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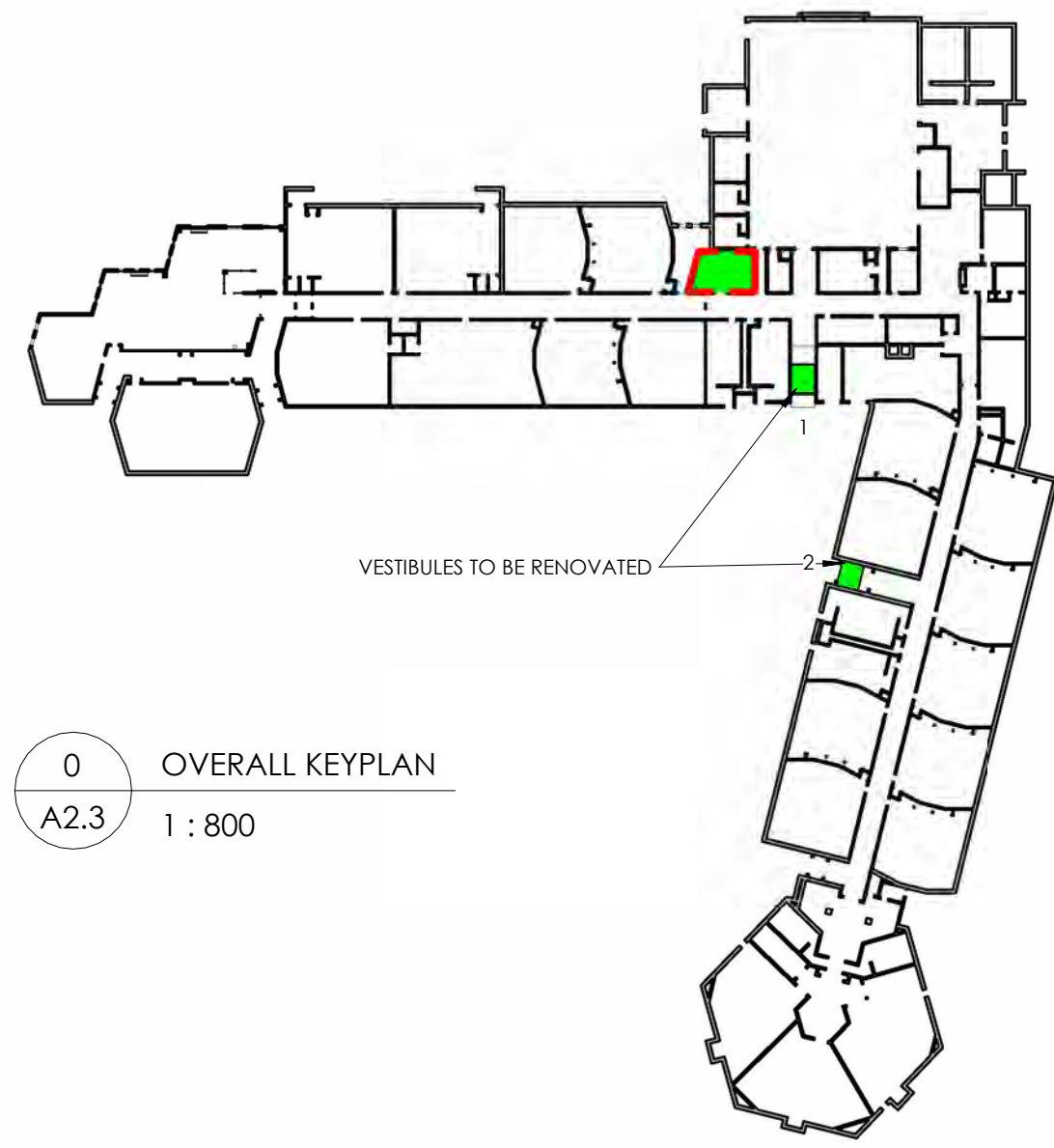
VG ARCHITECTS
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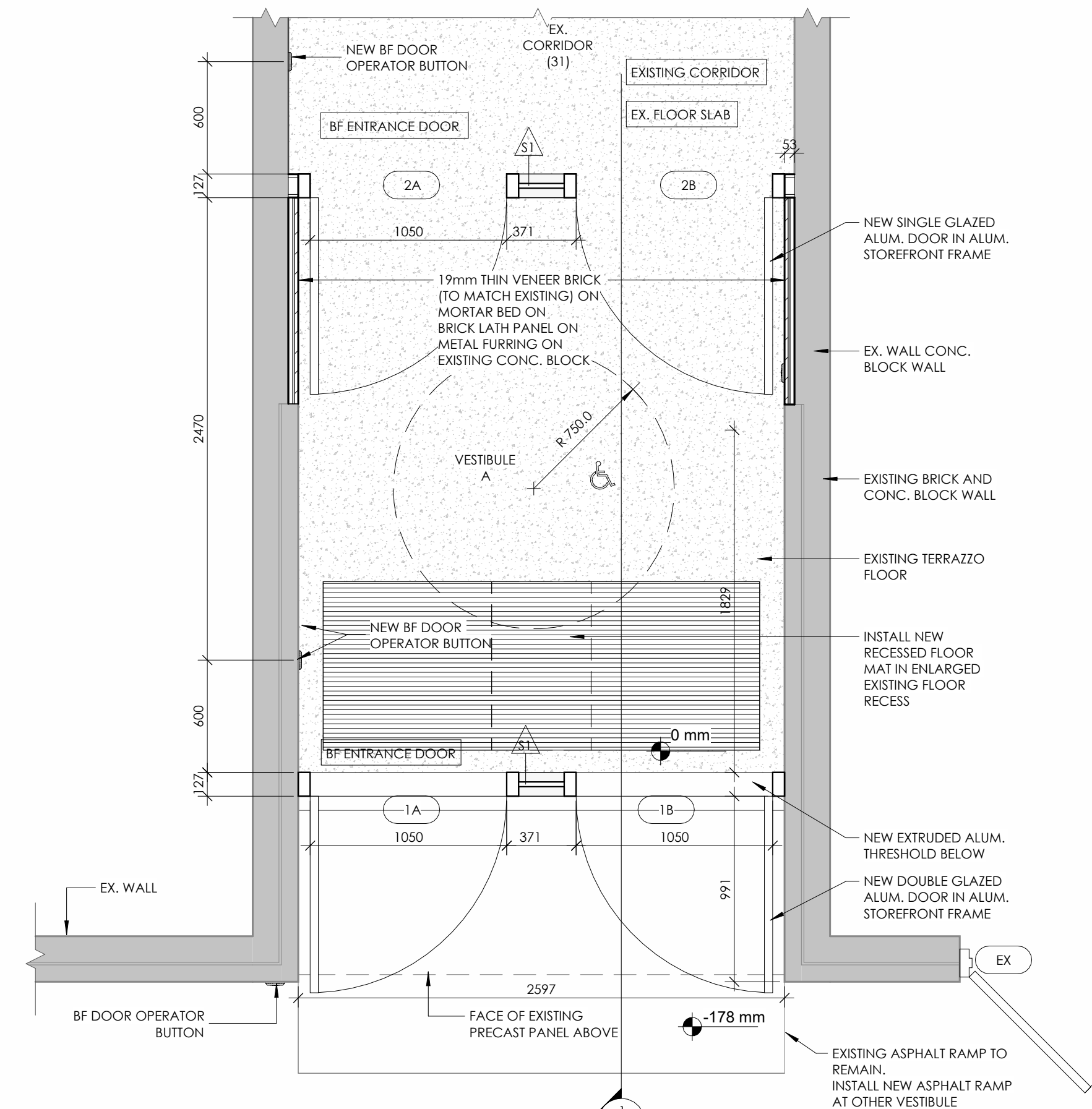
GYMNASIUM RENOVATION PLAN

A2.2

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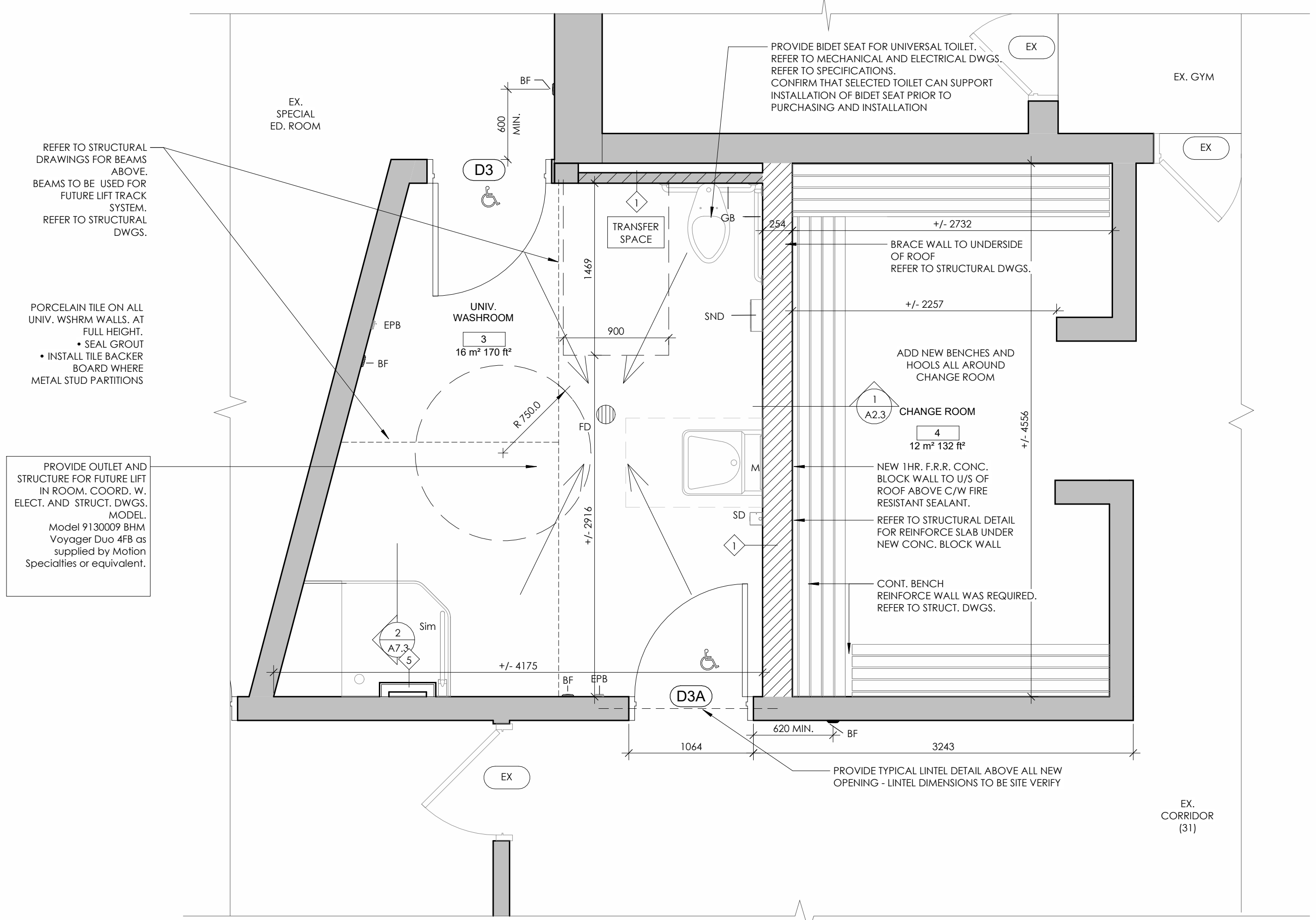
0 OVERALL KEYPLAN
A2.3 1 : 800



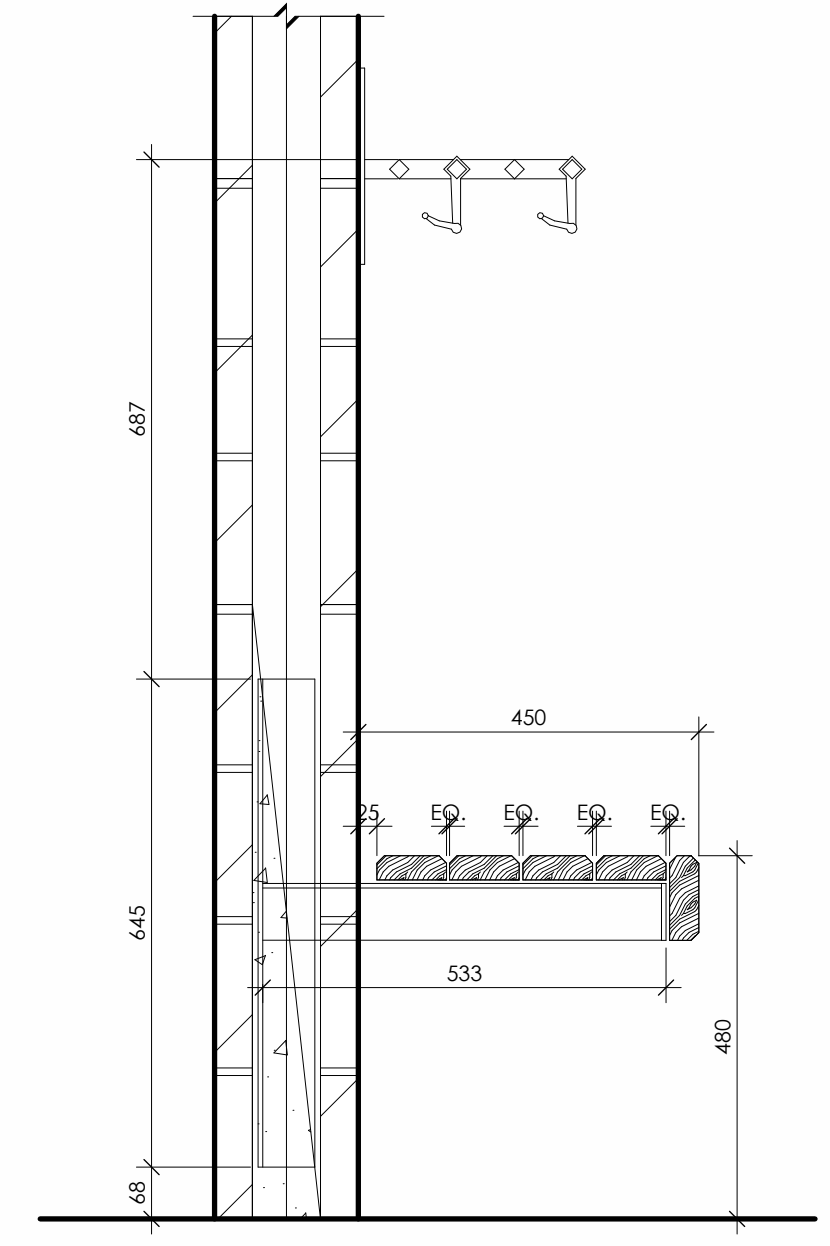
4 VESTIBULE 1 & 2 RENOVATION PLAN
A2.3 1 : 25

- RENOVATION NOTES**
- UNIVERSAL WASHROOM**
- FLOOR NOTES**
- INSTALL NEW PORCELAIN TILE FINISH FLOORING. NON-SLIP FINISH. FLOOR TILE SIZE: 305X305MM SEAL GROUT
 - PORCELAIN TILE WALL BASE TO MATCH FLOOR TILE
 - PROVIDE ALUMINUM TRANSITION STRIPS AT ALL DOORWAYS.
 - PATCH AND REPAIR ALL FLOORS DAMAGED BY DEMOLITION WORK. PROVIDE TRANSITION STRIPS BETWEEN NEW AND EXISTING FLOOR FINISHES. PROVIDE NEW VAPOUR SEAL COATING TO EXISTING FLOOR UNDER NEW FLOOR FINISHES TYP.
- WALL NOTES**
- PROVIDE NEW SIGNAGES AND GRAPHICS AS REQUIRED.
 - PROVIDE NEW PARTITION AND PLUMBING WALLS.
 - PROVIDE NEW CEILING.
 - PROVIDE NEW PORCELAIN TILE WALL FINISH.
 - PROVIDE NEW BF DOORS AND FRAMES
- MECH./ELEC. NOTES**
- PROVIDE NEW CEILING LIGHT FIXTURES.
 - PROVIDE NEW WIRING AND OUTLETS IF REQUIRED.
 - PROVIDE NEW VANITY WITH SINK, NEW PLUMBING FIXTURES AND ACCESSORIES.
 - PROVIDE NEW WATER CLOSET, PLUMBING FIXTURES AND ACCESSORIES.
 - PROVIDE NEW FLOOR DRAIN IF REQUIRED.
 - PROVIDE NEW EMERGENCY PUSH BUTTONS AND DOOR OPERATOR BUTTONS.
- BARRIER FREE ENTRANCE TYPICAL**
- FLOOR NOTES**
- PROVIDE NEW ALUMINUM THRESHOLD AT EXTERIOR VESTIBULE DOORS
- WALL NOTES**
- PROVIDE NEW SIGNAGES AND GRAPHICS AS REQUIRED.
- MECH./ELEC. NOTES**
- PROVIDE NEW WIRING AND OUTLETS IF REQUIRED.
 - PROVIDE NEW DOOR OPERATOR BUTTONS.
 - PROVIDE NEW BF DOORS AND FRAMES

- GENERAL NOTES**
- CONTRACTOR SHALL VERIFY ALL ROUGH-IN & PLUMBING ROUGH-IN, FIXTURE & ACCESSORY MOUNTING HEIGHTS & OTHER NON-TYPICAL SPACES W/ OWNER / OPERATOR PRIOR TO CONSTRUCTION. THE ABOVE NOTED HEIGHTS SHALL BE CONFIRMED TO BE IN ACCORDANCE W/ THE LATEST O.B.C. PRIOR TO ROUGH-IN & INSTALLATION.
 - CONCRETE BLOCK IN WASHROOMS W/O WALL FINISH TO HAVE SPECIAL PERFORMANCE COATING APPLIED W/ RUBBER BASE.
 - COORDINATE W/ ARCHITECT FOR FINISH & COLOURS PRIOR TO INSTALLATION.
 - SHOP DRAWINGS TO BE IN DIMENSION UNITS AS ILLUSTRATED ON THIS DRAWING OR THEY WILL BE REJECTED



2 UNIVERSAL WASHROOM & CHANGEROOM RENOVATION PLAN
A2.3 1 : 30



1 TYPICAL BENCH W/ SHELF & HOOKS SECTION
A2.3 1 : 10

FLOOR PLAN LEGEND

# Ref	# Ref	# Ref	# Ref

HATCH IDENTIFICATION MARKER LEGEND

WALL IDENTIFICATION MARKER LEGEND (COORD. W/ WALL TYPES)

FLOOR PLAN NOTES:

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CLIENT
CRESTVIEW PUBLIC SCHOOL

PROJECT:
22057
RENOVATION

153 MONTCALM DRIVE
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VG ARCHITECTS
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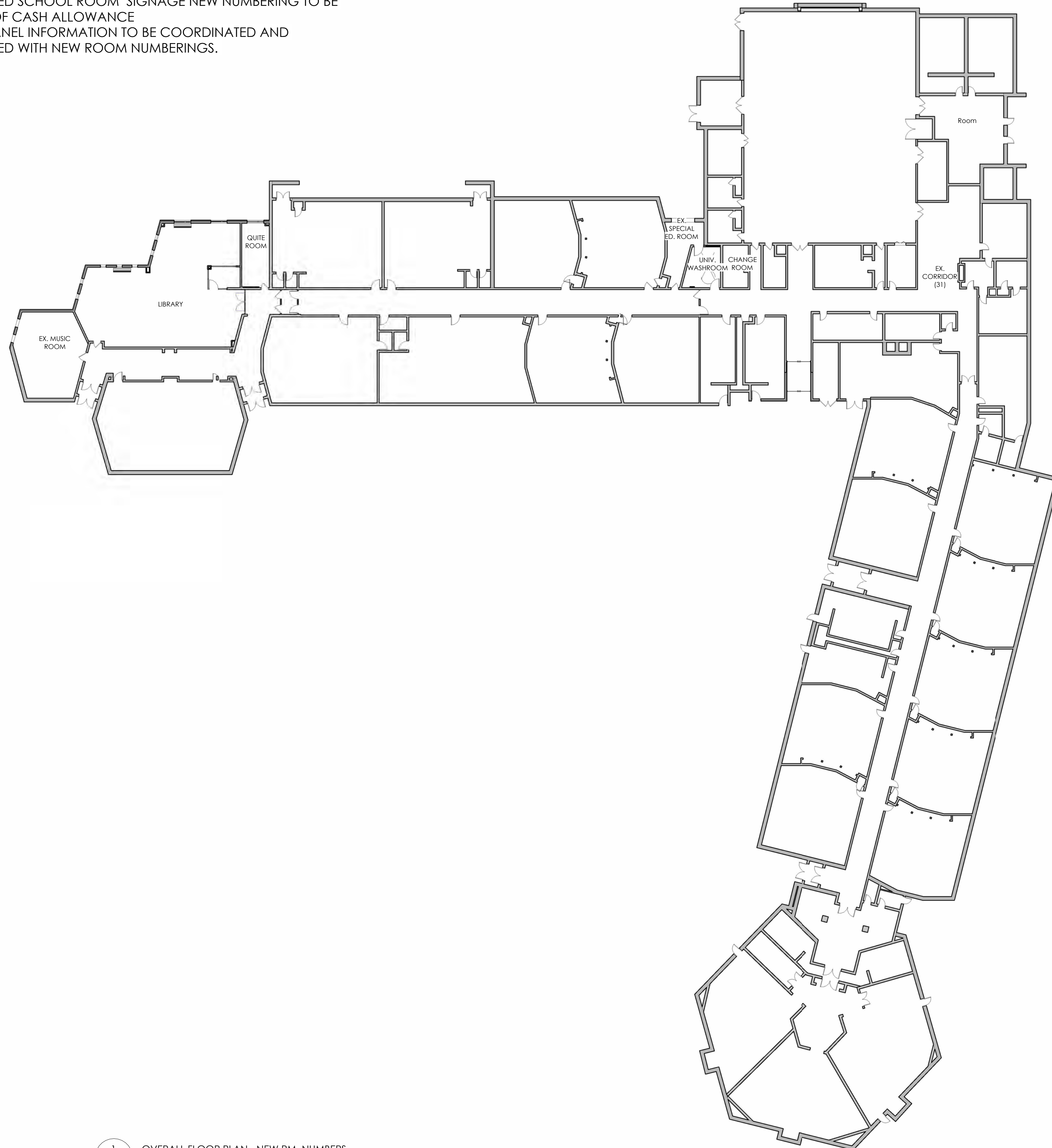


NEW UNIVERSAL WASHROOM & VESTIBULES

A2.3

GC TO COORDINATE WITH THE WRDSB FOR NEW NUMBERING OF SCHOOL ROOMS

UPDATED SCHOOL ROOM SIGNAGE NEW NUMBERING TO BE PART OF CASH ALLOWANCE
 FIRE PANEL INFORMATION TO BE COORDINATED AND UPDATED WITH NEW ROOM NUMBERINGS.



1 OVERALL FLOOR PLAN - NEW RM. NUMBERS
 A2.4 1 : 250

Revision Schedule		
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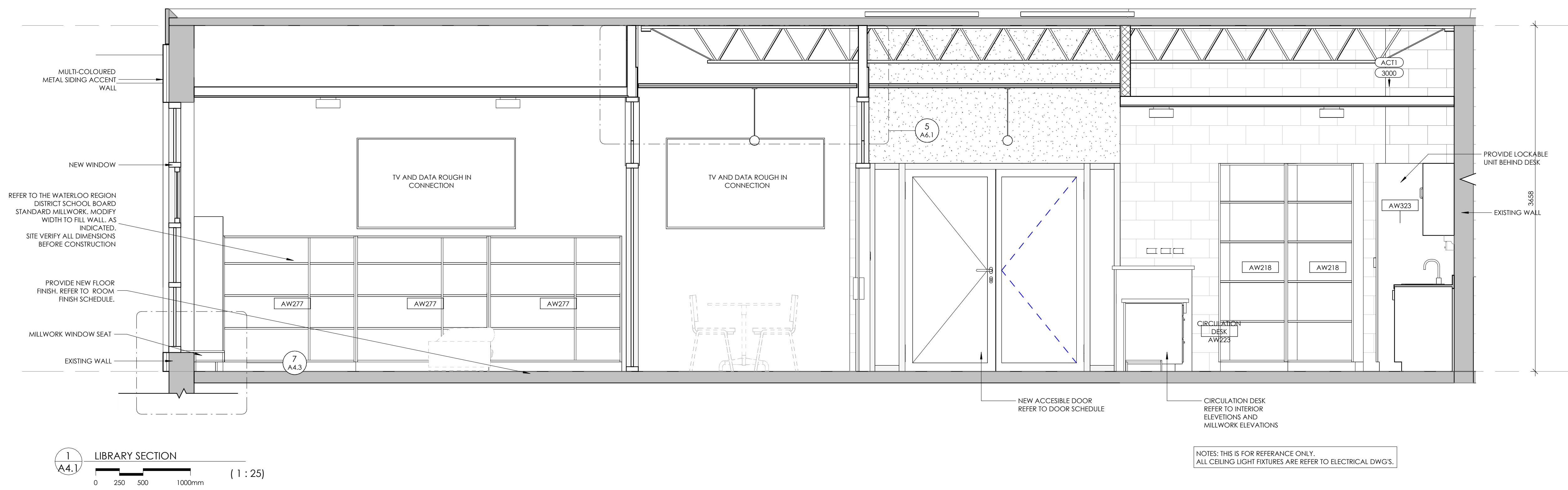
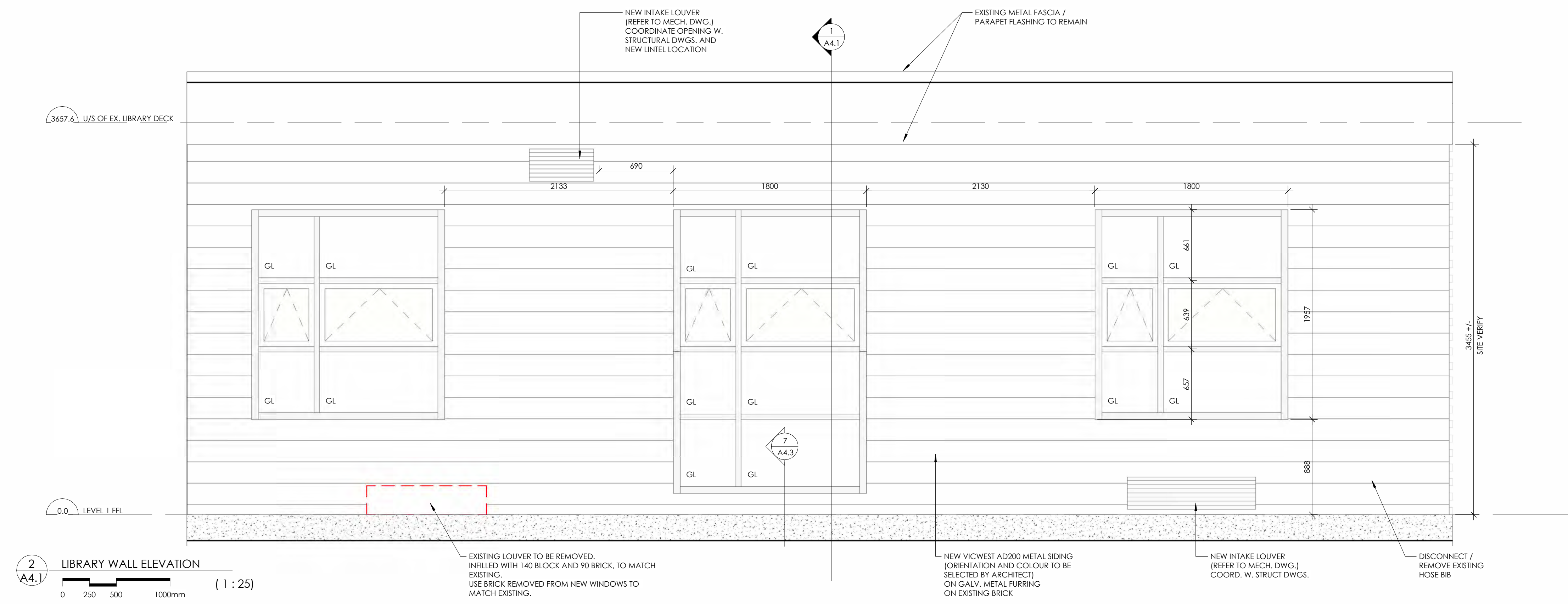
A2.4

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LEVEL 1 - NEW RM. NUMBERS

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Revision Schedule		
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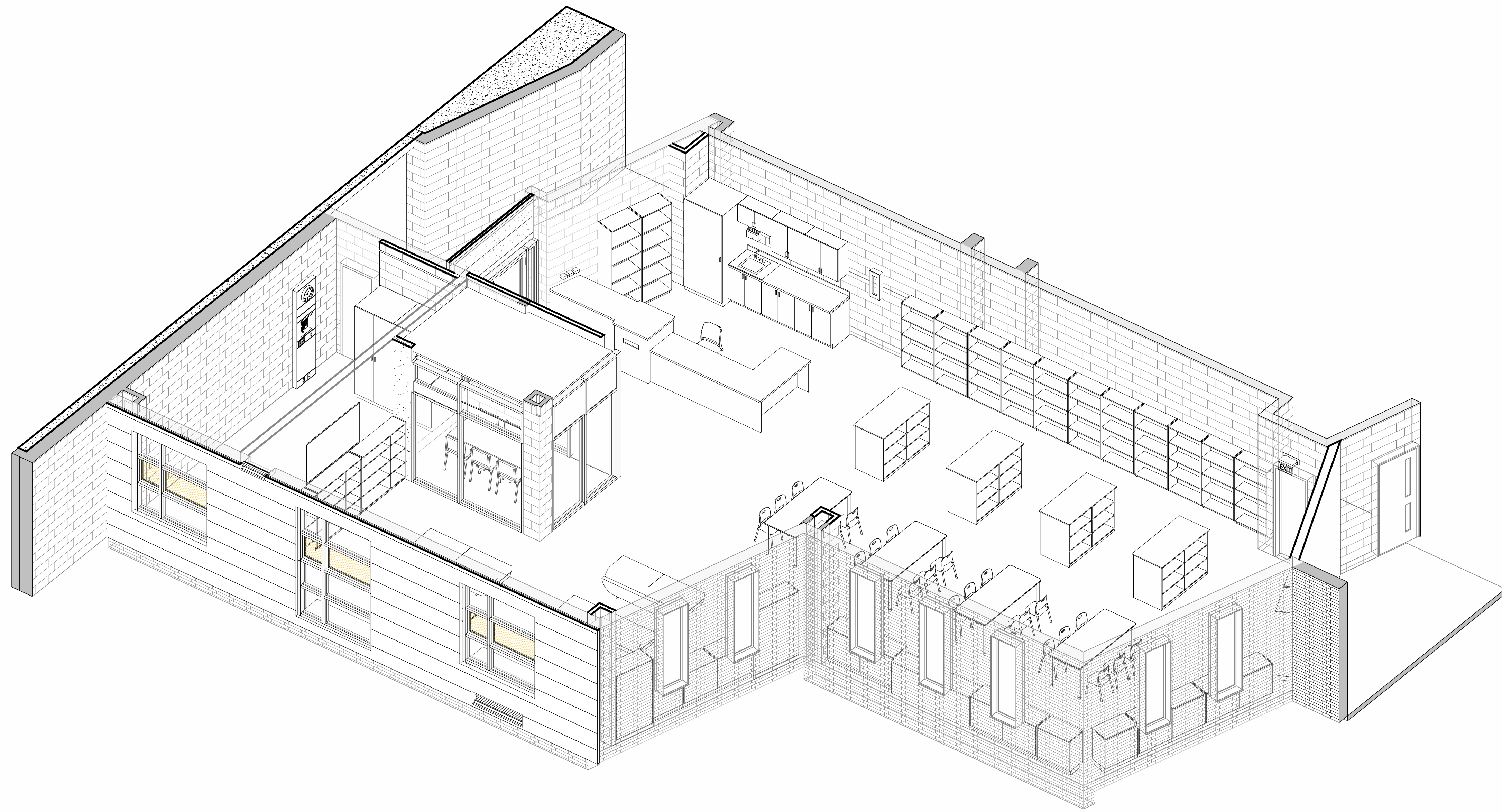
LIBRARY ELEV. & SECTIONS

A4.1

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2 LIBRARY 3D SECTION 2
A4.2



1 LIBRARY ISOMETRIC
A4.2

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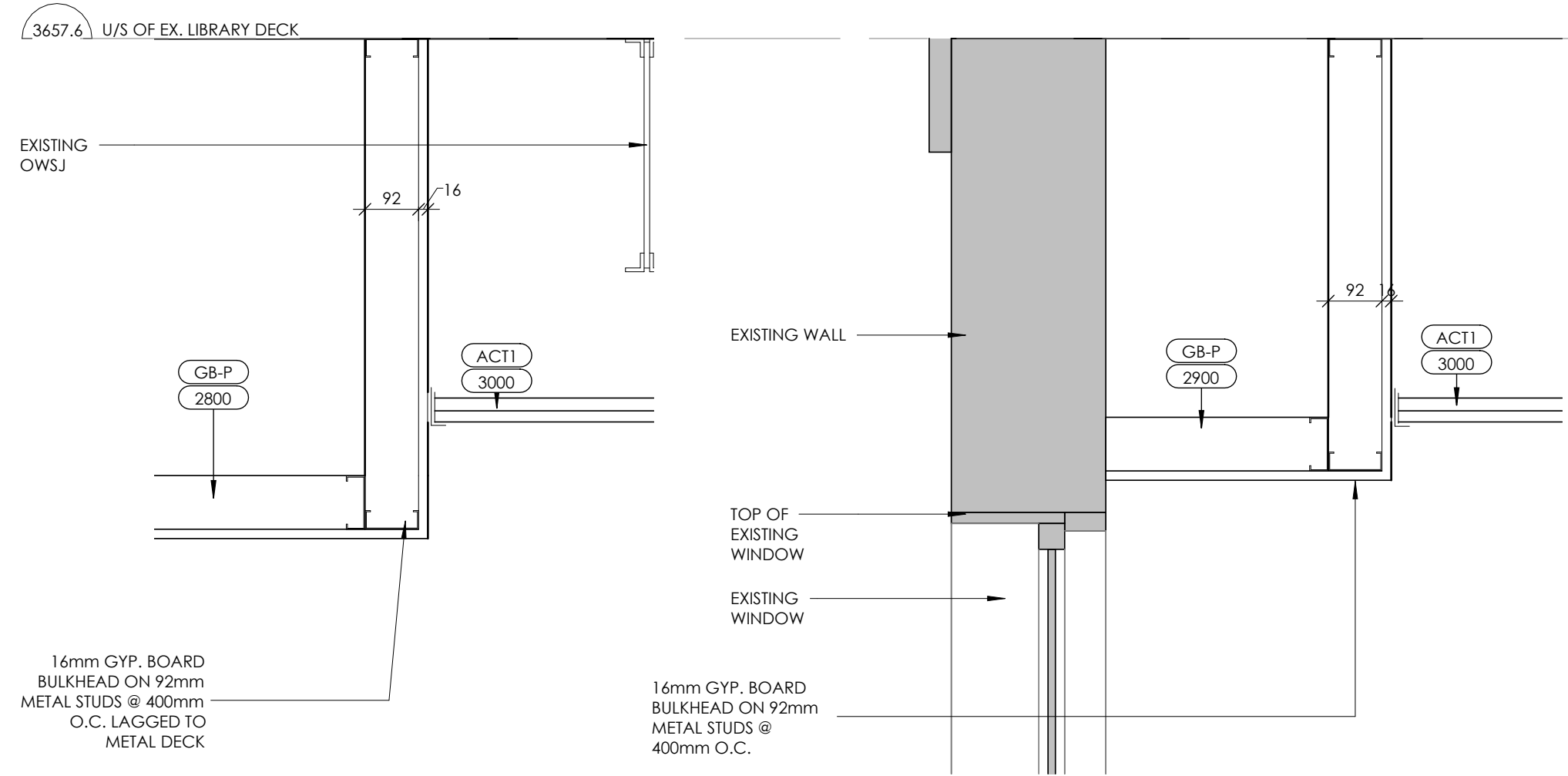
3D VIEWS - LIBRARY

A4.2

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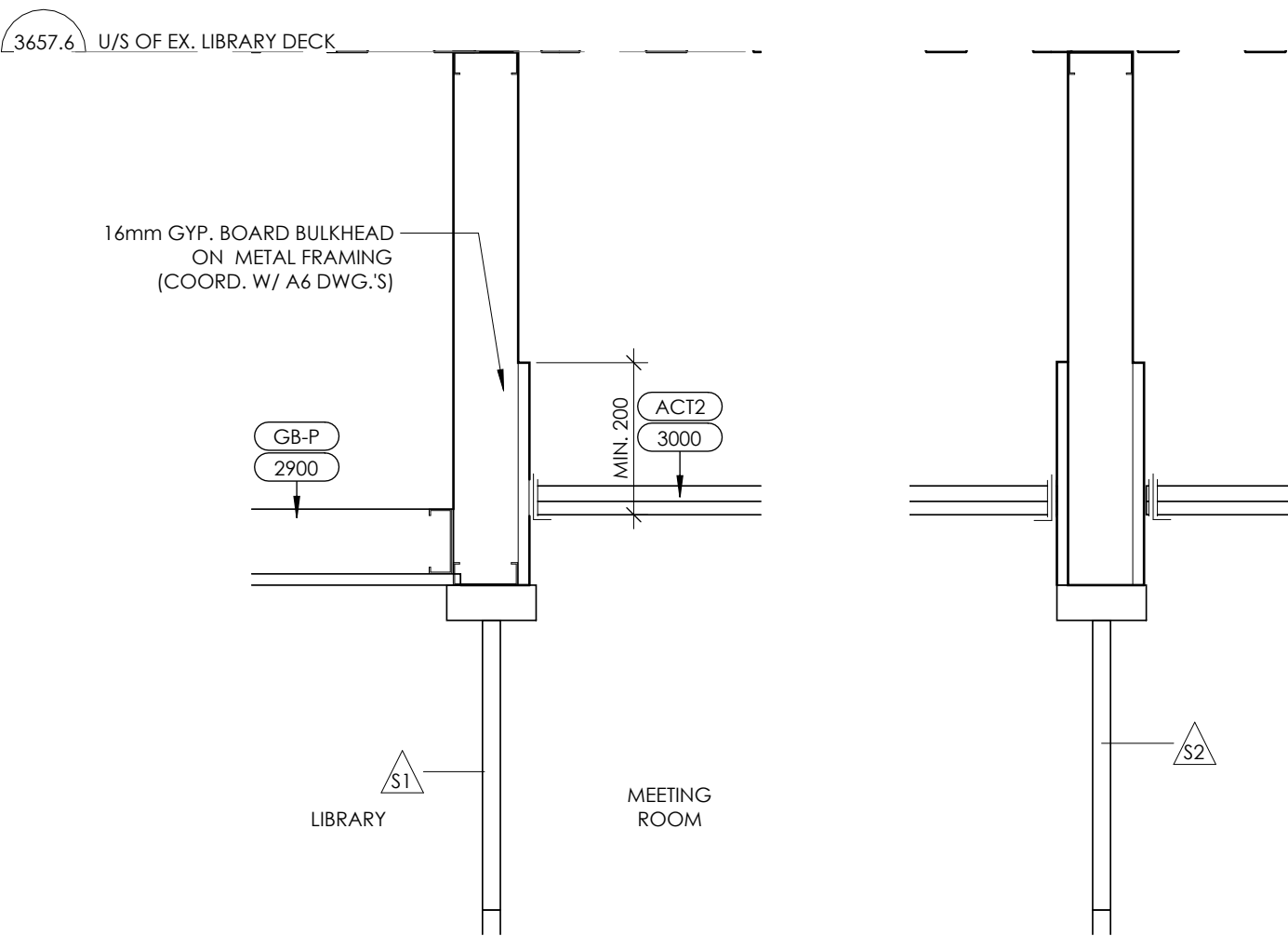
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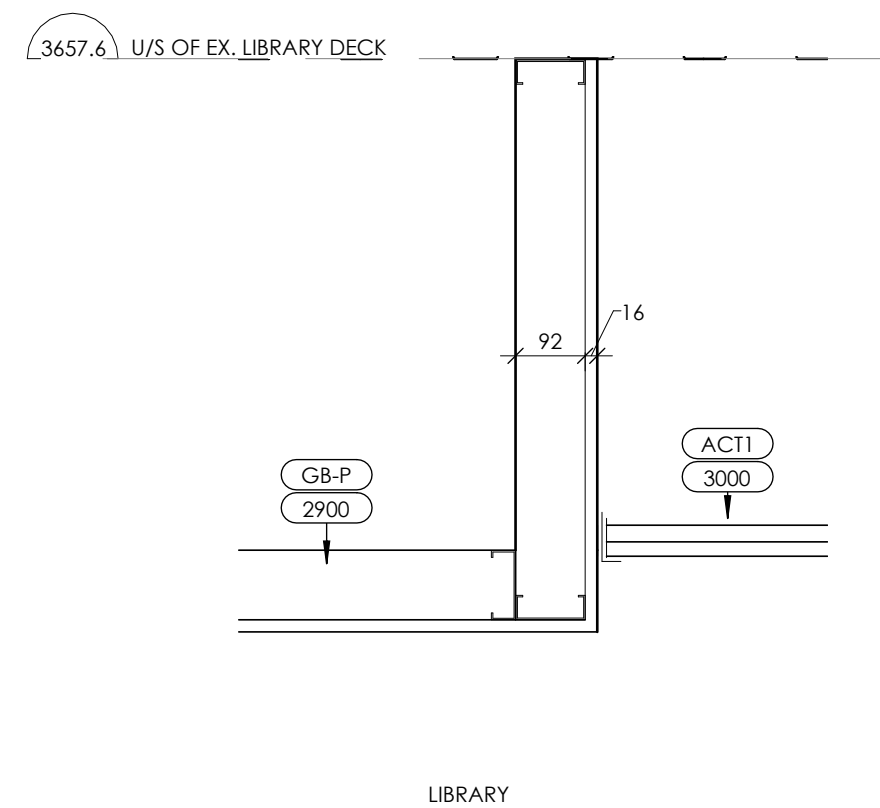


3 CEILING DETAIL (1:10)

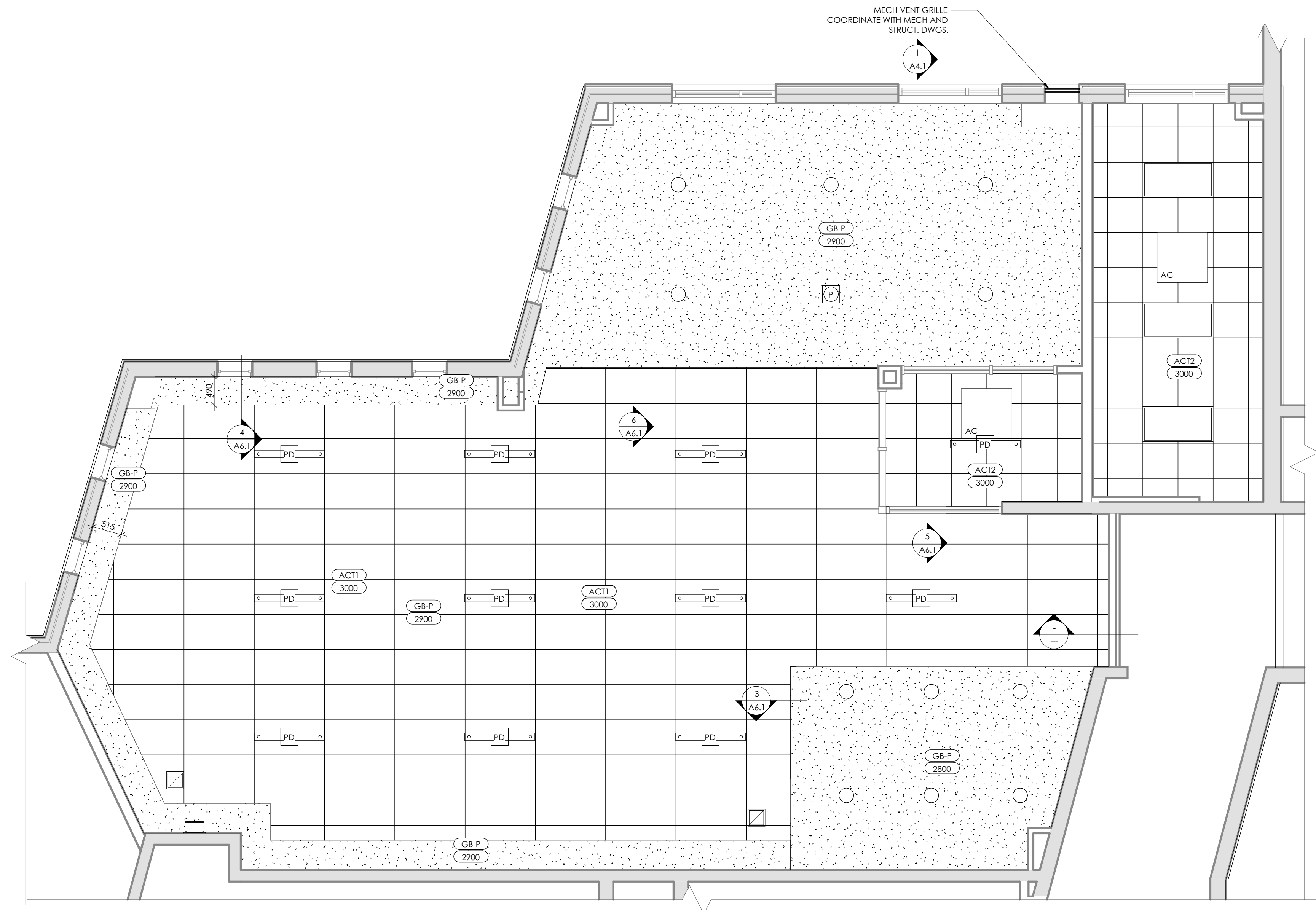
4 CEILING DETAIL (1:10)



5 CEILING DETAIL (1:10)



6 CEILING DETAIL (1:10)



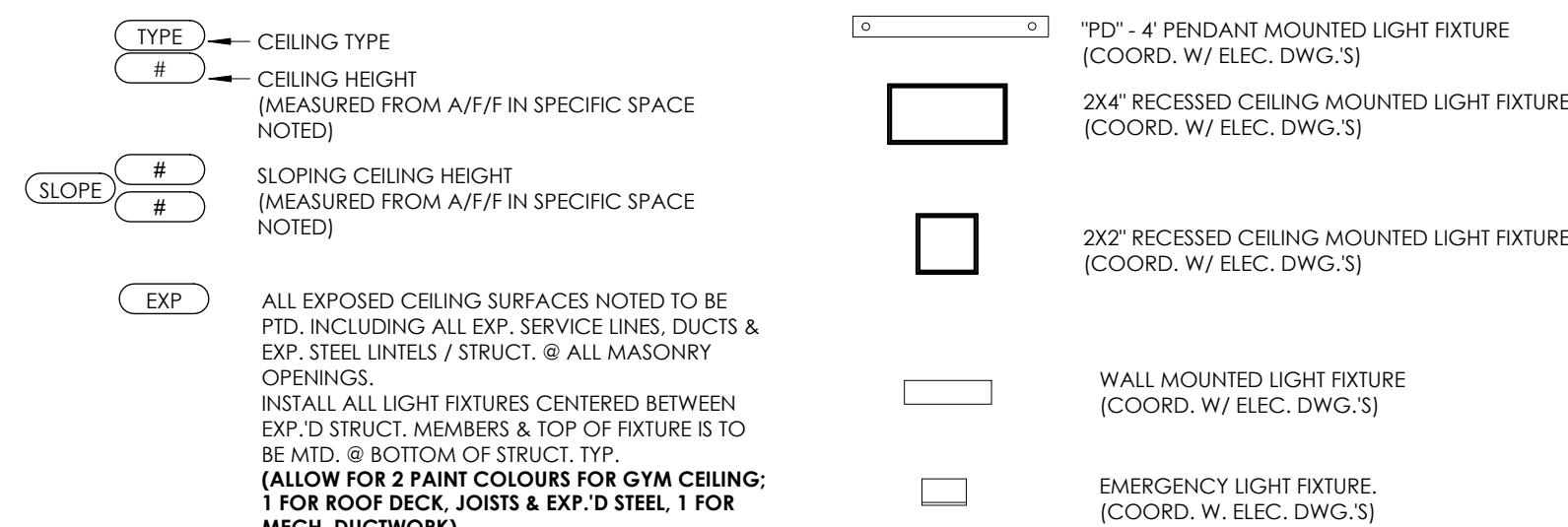
1 LIBRARY REFLECTED CEILING PLAN (1:50)

NOTES: THIS IS FOR REFERENCE ONLY. ALL CEILING LIGHT FIXTURES ARE REFER TO ELECTRICAL DWGS.

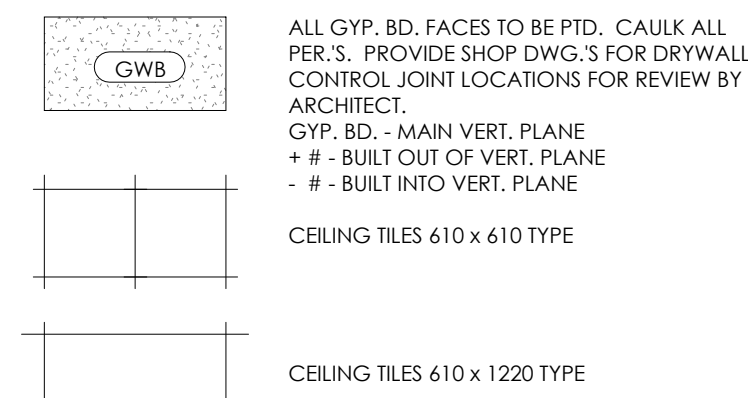
GENERAL NOTES

- COORD. W/ MECH. & ELEC. DWG.S FOR ALL CEILING MTD. OR RECESSED ITEMS
- FINAL LOCATION OF ALL MECH. & ELEC. FIXTURES TO BE CONFIRMED PRIOR TO INSTALL.
- COORD. ALL MECH. & ELEC. ITEMS W/ ARCH. DWGS. & REPORT ANY DISCREPANCIES PRIOR TO ANY WORK
- UNLESS DIMENSIONED OTHERWISE, CEILING TILES TO BE STARTED AS SHOWN FROM THE CENTER POINT OF ROOMS TYP.
- ALL INT. CEILING BULKHEAD SYSTEMS TO BE CONSTRUCTED W/ METAL FRAMING TYP.
- ALL GYP BD. CEILINGS ARE TO RECEIVE 13mm RESILIENT CHANNELS @ 400mm o/c MAX. & ANY ASSOCIATED BLOCKING TO ACHIEVE A UNIFORM / FLAT CEILING SURFACE
- SHOP DWG.S TO BE IN DIMENSION UNITS AS ILLUSTRATED ON THIS DWG. OR THEY WILL BE REJECTED (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE); ALSO AIR GRILLES ARE TO REFERENCE THE RM. # THEY ARE INSTALLED (& ANY OTHER ITEMS TYP.)
- NOT ALL EXP.'D MECH. EQUIP. / DUCTING IS SHOWN, ONLY DIFFUSER OR OTHER IMPORTANT ITEM INFO., COORD. W/ MECH. DWG.S FOR REMAINING TYP.
- REFER TO & COORD. W. MECH. DWG.S FOR LOCATION OF DIFFUSERS AND DUCTWORK.
- REFER TO & COORD. W. ELEC. DWG.S FOR LOCATION AND TYPES OF LIGHT FIXTURES.

REFLECTED CEILING PLAN LEGEND



HATCH IDENTIFICATION MARKER LEGEND



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MILLWORK CABINETS ARE TO BE EXTENDED AS REQUIRED TO BE CONTINUOUS THROUGHOUT ALL WALLS WERE MILLWORK IS REQUIRED. ALL MILLWORK DIMENSIONS ARE INDICATIVE.

MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAINWALLS AND SCREENS REQUIRED FOR THIS RENOVATION BEFORE ORDERING AND ASSEMBLING

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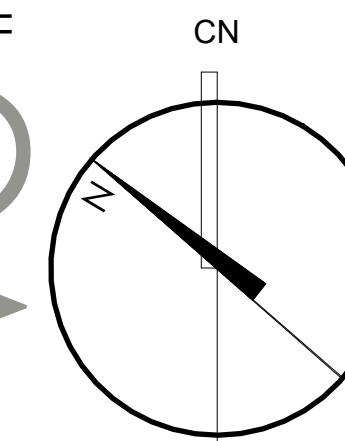
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CRESTVIEW PUBLIC SCHOOL

PROJECT:
22057
RENOVATION

153 MONTCALM DRIVE
KITCHENER, ON
N2B 2R6

ORIGINAL PAGE SIZE ARCH D - 24" X 36"

VG ARCHITECTS
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LIBRARY RCP & CEILING DETAILS

A6.1

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Revision Schedule

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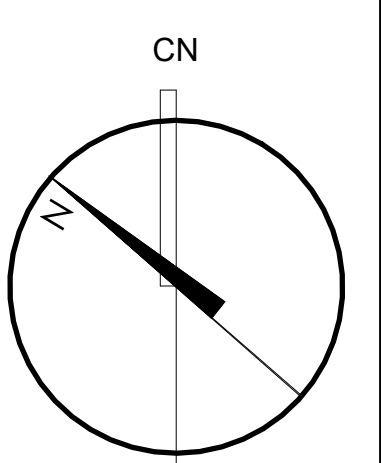
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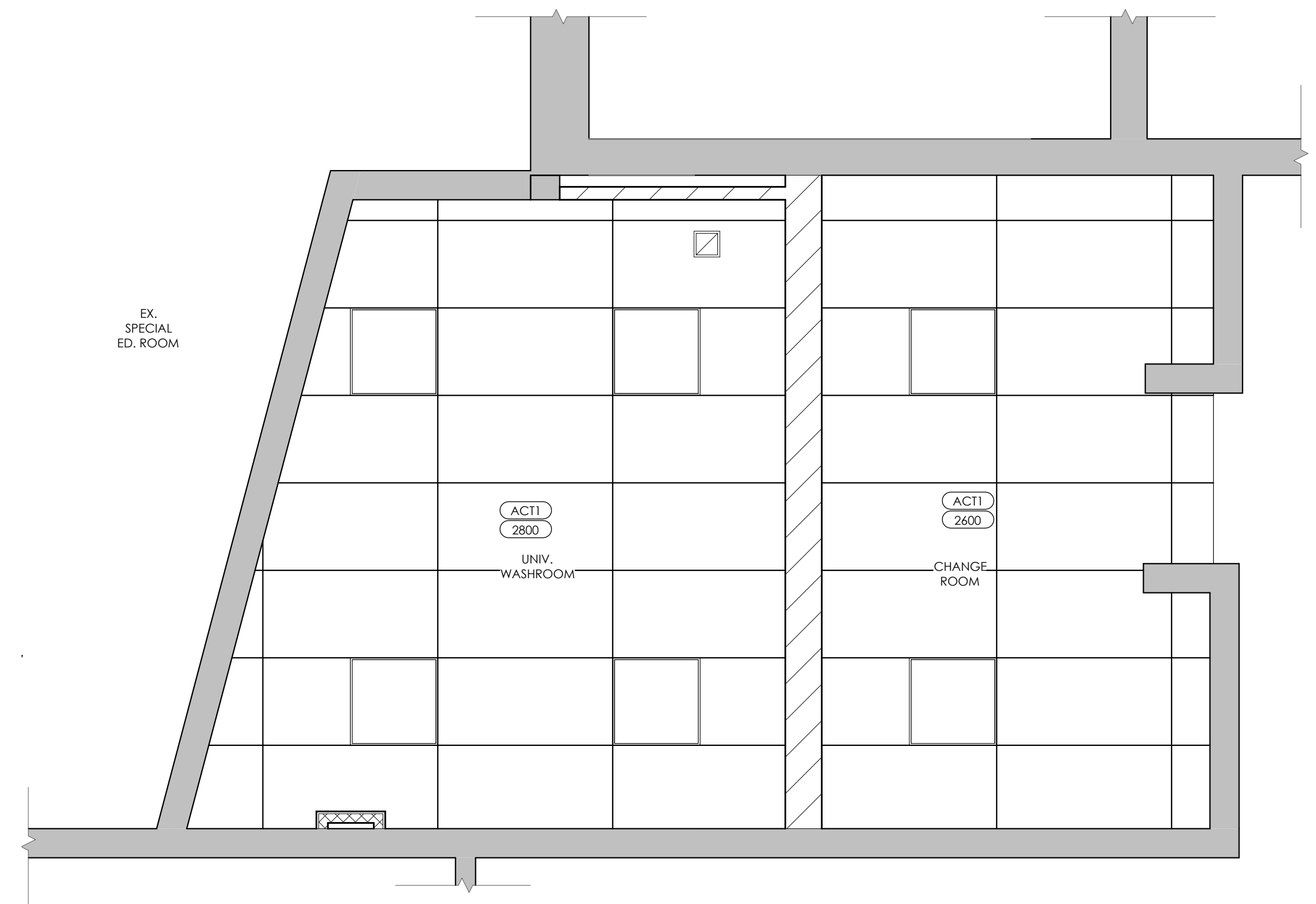
+VVG ARCHITECTS
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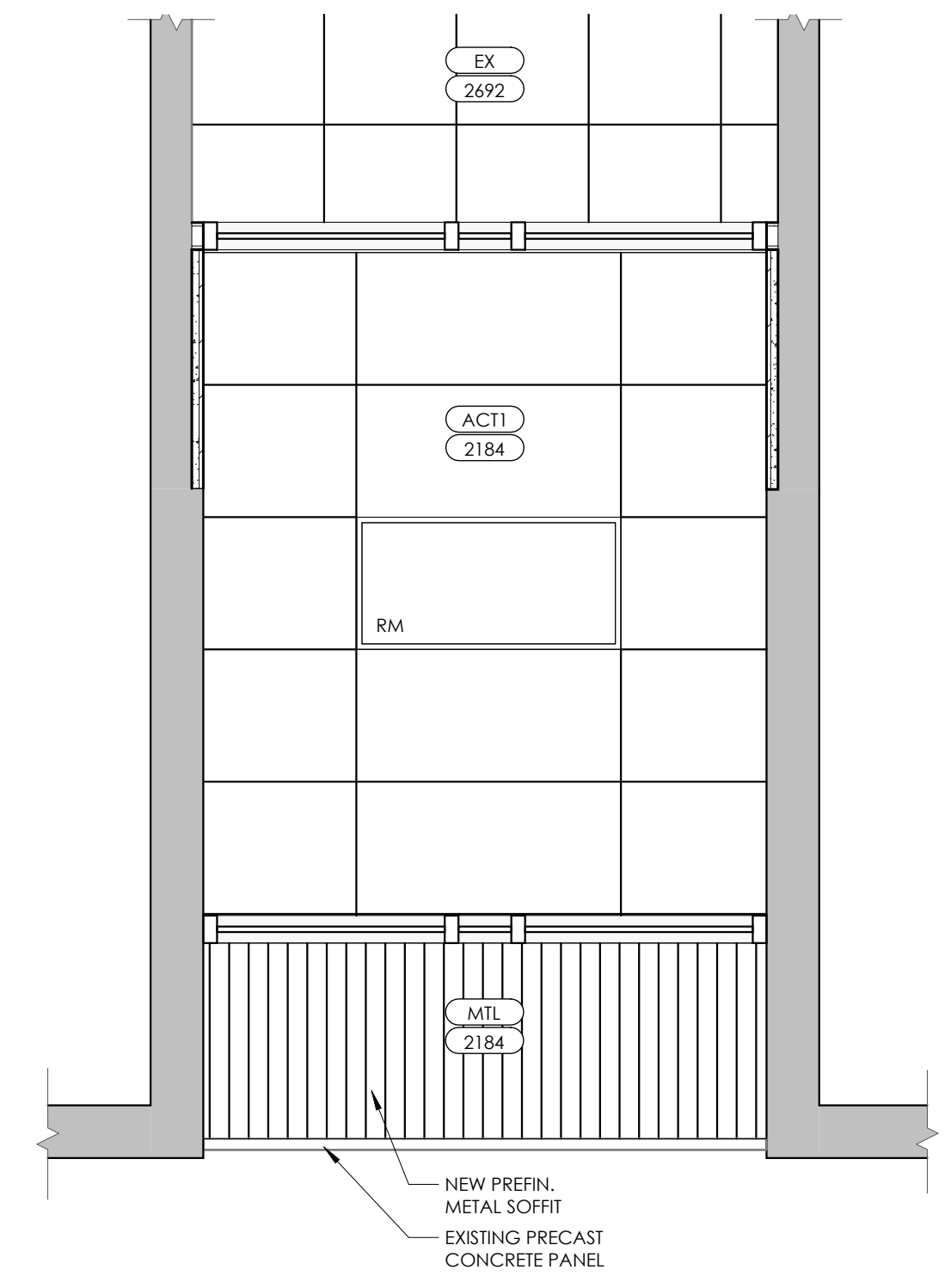
BF WSHRM & VESTIBULES RCP

A6.2

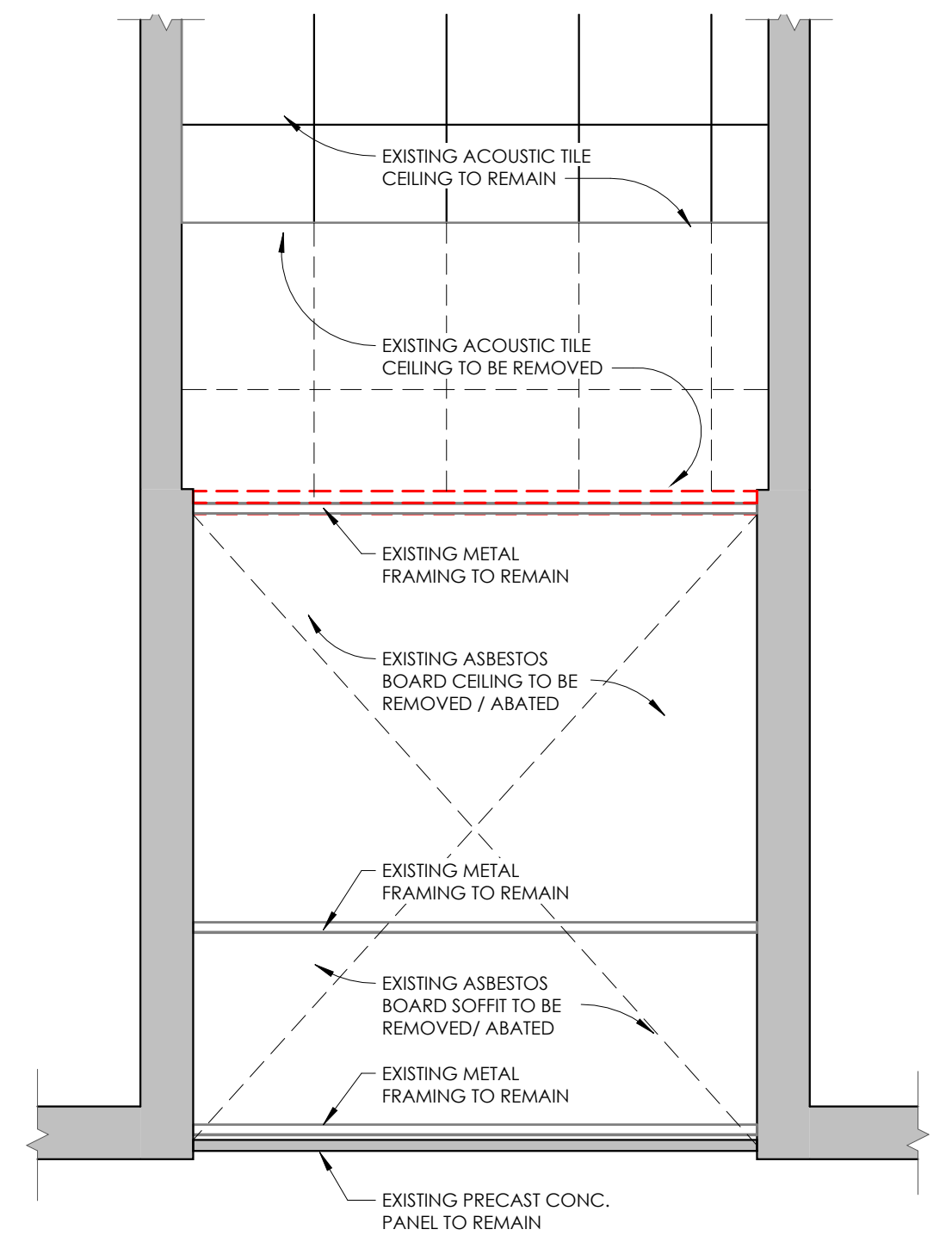
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1 REFLECTED CEILING PLAN - BF WASHROOM
A6.2 0 300 600 1500mm (1 : 30)



2 REFLECTED CEILING PLAN - VESTIBULE 1 & 2
A6.2 0 300 600 1500mm (1 : 30)



3 DEMOLITION REFLECTED CEILING PLAN - VESTIBULE 1 & 2
A6.2 0 300 600 1500mm (1 : 30)

NOTES: THIS IS FOR REFERENCE ONLY.
ALL CEILING LIGHT FIXTURES ARE REFER TO ELECTRICAL DWGS.

GENERAL NOTES

- COORD. W/ MECH. & ELEC. DWG.'S FOR ALL CEILING MTD. OR RECESSED ITEMS
- FINAL LOCATION OF ALL MECH. & ELEC. FIXTURES TO BE CONFIRMED PRIOR TO INSTALL.
- COORD. ALL MECH. & ELEC. ITEMS W/ ARCH. DWGS. & REPORT ANY DISCREPANCIES PRIOR TO ANY WORK.
- UNLESS DIMENSIONED OTHERWISE, CEILING TILES TO BE STARTED AS SHOWN FROM THE CENTER POINT OF ROOMS TYP.
- ALL INT. CEILING BULKHEAD SYSTEMS TO BE CONSTRUCTED W/ METAL FRAMING TYP.
- ALL GYP BD. CEILINGS ARE TO RECEIVE 13mm RESILIENT CHANNELS @ 400mm o/c MAX. & ANY ASSOCIATED BLOCKING TO ACHIEVE A UNIFORM / FLAT CEILING SURFACE
- SHOP DWG.'S TO BE IN DIMENSION UNITS AS ILLUSTRATED ON THIS DWG. OR THEY WILL BE REJECTED (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE); ALSO AIR GRILLES ARE TO REFERENCE THE RM. # THEY ARE INSTALLED (& ANY OTHER ITEMS TYP.)
- NOT ALL EXP.'D MECH. EQUIP. / DUCTING IS SHOWN, ONLY DIFFUSER OR OTHER IMPORTANT ITEM INFO. COORD. W/ MECH. DWG.'S FOR REMAINING TYP.
- REFER TO & COORD. W. MECH. DWG.'S FOR LOCATION OF DIFFUSERS AND DUCTWORK.
- REFER TO & COORD. W. ELEC. DWG.'S FOR LOCATION AND TYPES OF LIGHT FIXTURES.

REFLECTED CEILING PLAN LEGEND

- TYPE → CEILING TYPE
- # → CEILING HEIGHT (MEASURED FROM A/F/F IN SPECIFIC SPACE NOTED)
- SLOPE # → SLOPING CEILING HEIGHT (MEASURED FROM A/F/F IN SPECIFIC SPACE NOTED)
- EXP → ALL EXPOSED CEILING SURFACES NOTED TO BE PTD, INCLUDING ALL EXP. SERVICE LINES, DUCTS & EXP. STEEL LITELES / STRUCT. @ ALL MASONRY OPENINGS.
INSTALL ALL LIGHT FIXTURES CENTERED BETWEEN EXP.'D STRUCT. MEMBERS & TOP OF FIXTURE IS TO BE MTD. @ BOTTOM OF STRUCT. TYP.
(ALLOW FOR 2" PAINT COLOURS FOR GYM CEILING- 1" FOR ROOF DECK, JOISTS & EXP.'D STEEL 1" FOR MECH. DUCTWORK)

- "PD" - 4" PENDANT MOUNTED LIGHT FIXTURE (COORD. W/ ELEC. DWG.'S)
- 2X4" RECESSED CEILING MOUNTED LIGHT FIXTURE (COORD. W/ ELEC. DWG.'S)
- 2X2" RECESSED CEILING MOUNTED LIGHT FIXTURE (COORD. W/ ELEC. DWG.'S)
- WALL MOUNTED LIGHT FIXTURE (COORD. W/ ELEC. DWG.'S)
- EMERGENCY LIGHT FIXTURE. (COORD. W. ELEC. DWG.'S)

HATCH IDENTIFICATION MARKER LEGEND

- GWB → ALL GYP. BD. FACES TO BE PTD. CAULK ALL PER.'S. PROVIDE SHOP DWG.'S FOR DRYWALL CONTROL JOINT LOCATIONS FOR REVIEW BY ARCHITECT.
GYP. BD. - MAIN VERT. PLANE
+ # - BUILT OUT OF VERT. PLANE
- # - BUILT INTO VERT. PLANE
- → CEILING TILES 610 x 610 TYPE
- → CEILING TILES 610 x 1220 TYPE
- → SUPPLY DIFFUSER (COORD. W. MECH. DWGS.)
- → RETURN GRILLE/EXHAUST VENT. (COORD. W. MECH. DWGS.)

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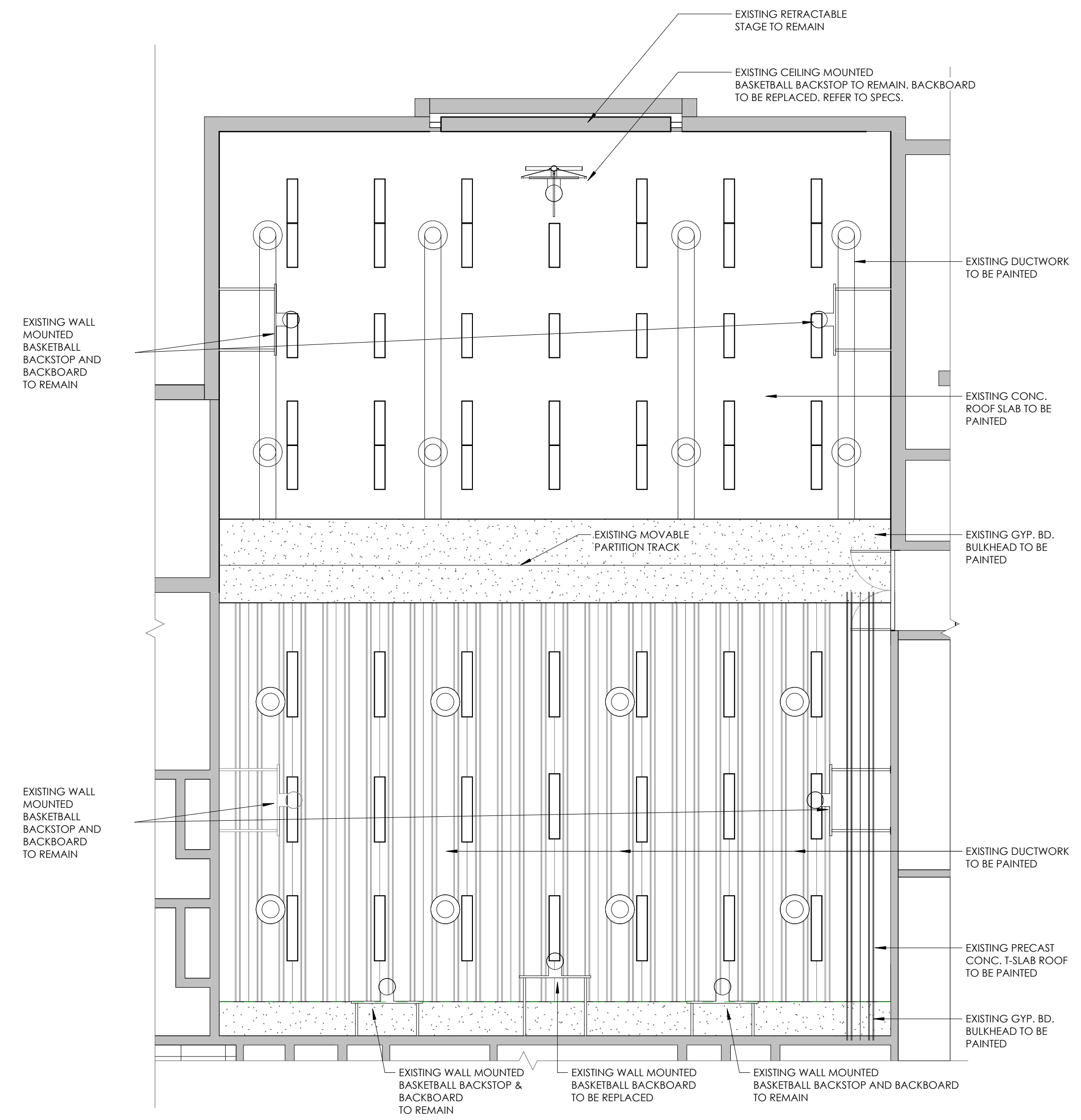


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1 REFLECTED CEILING PLAN - GYM
A6.3 (1 : 100)

GENERAL NOTES

- COORD. W/ MECH. & ELEC. DWG.'S FOR RESPECTIVE CEILING MTD. OR RECESSED ITEMS
- NOT ALL EXP.'D MECH. EQUIP. / DUCTING IS SHOWN, ONLY DIFFUSER OR OTHER IMPORTANT ITEM INFO., COORD. W/ MECH. DWG.'S FOR REMAINING TYP.
- EXISTING LIGHT FIXTURES, DIFFUSERS AND DUCTWORK TO REMAIN

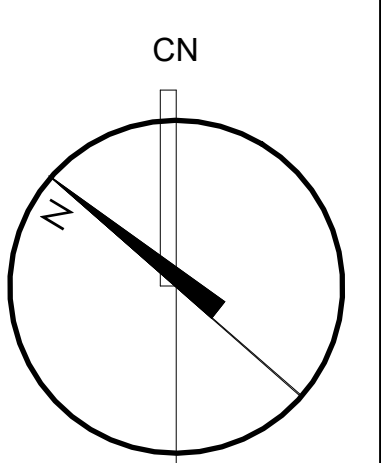
REFLECTED CEILING PLAN LEGEND

- TYPE → CEILING TYPE
- # → CEILING HEIGHT (MEASURED FROM A/F/F IN SPECIFIC SPACE NOTED)
- SLOPE # → SLOPING CEILING HEIGHT (MEASURED FROM A/F/F IN SPECIFIC SPACE NOTED)
- EXP → ALL EXPOSED CEILING SURFACES NOTED TO BE PTD. INCLUDING ALL EXP. SERVICE LINES, DUCTS & EXP. STEEL LINTELS / STRUCT. @ ALL MASONRY OPENINGS. (ALLOW FOR 2 PAINT COLOURS FOR GYM CEILING: 1 FOR ROOF DECK, 1 FOR MECH. DUCTWORK)

HATCH IDENTIFICATION MARKER LEGEND

- EXISTING SURFACE MOUNTED LIGHT FIXTURE TO REMAIN
- EMERGENCY LIGHT FIXTURE
- EXISTING SUPPLY DIFFUSER
- ALL EXISTING GYP. BD. FACES TO BE PAINTED
- EXISTING PRECAST CONC. T-SLAB ROOF TO BE PAINTED

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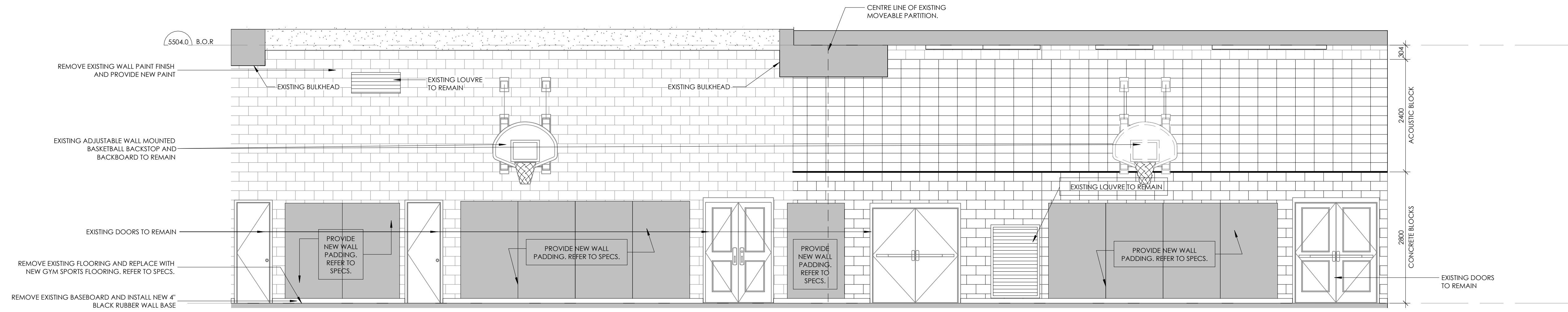
A6.3

GYMNASIUM REFLECTED CEILING PLAN

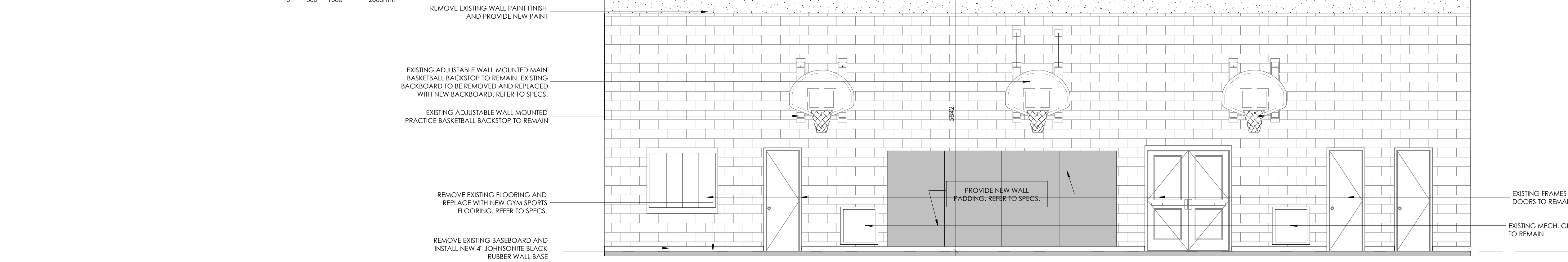
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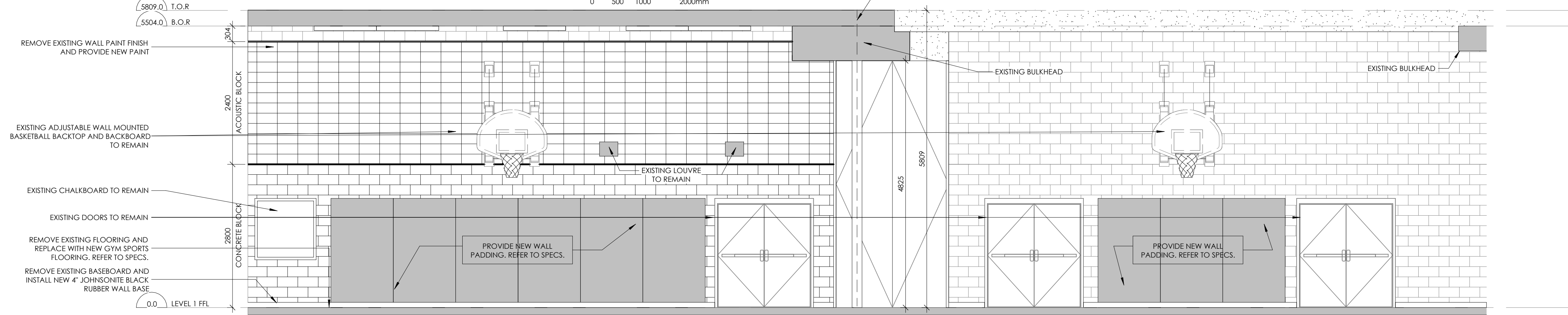
ALL INDICATED DIMENSIONS ARE FOR REFERENCE AND ARE APPROXIMATE. SITE VERIFY ALL DIMENSIONS



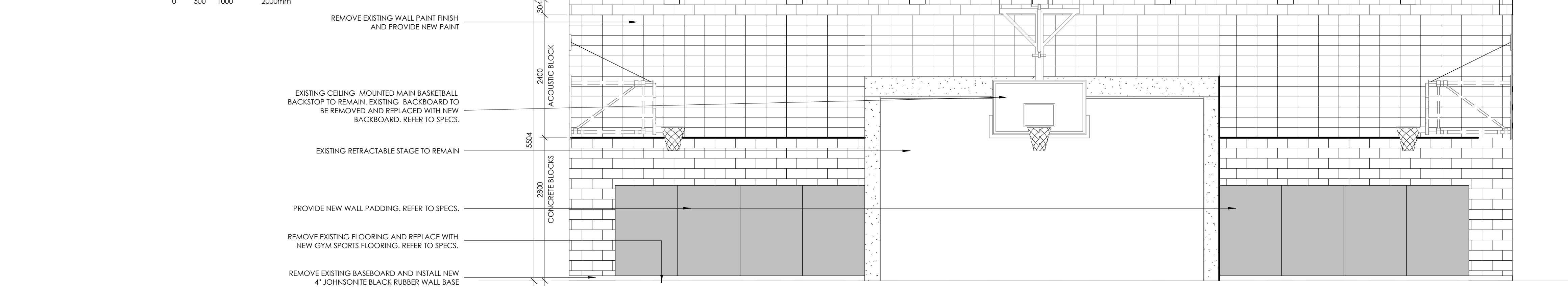
4 WEST INTERIOR ELEVATION (1:50)



3 SOUTH INTERIOR ELEVATION (1:50)



2 EAST INTERIOR ELEVATION (1:50)



1 NORTH INTERIOR ELEVATION (1:50)

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A7.1

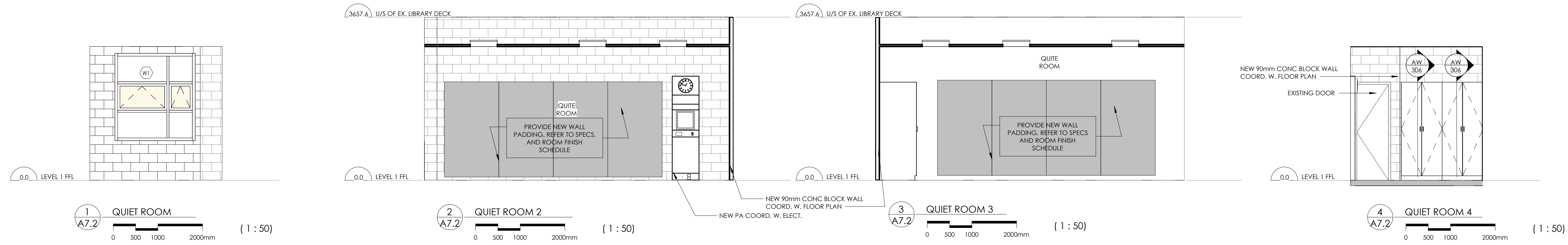
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INTERIOR ELEVATIONS - GYMNASIUM

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QUIET ROOM INTERIOR ELEV.

A7.2

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DOOR SCHEDULE

NO.	LOCATION	DOOR			FRAME					FIRE RATING FOR WALLS (LISTED IN MINUTES - COORD. W/ FIRE SEPARATION DRAWINGS)	GLASS	STC RATING	REMOVABLE MILLION	GRILLE	UNIVERSAL W/ DOOR PACKAGE	POWER DOOR OPERATOR	POWER DOOR OPENER BUTTON	PUSH TO LOCK BUTTON	PUSH TO UNLOCK BUTTON	HOLD OPEN	ELECTRIC STRIKE	DOOR CLOSER	LOCKSET	PANIC HARDWARE	CARD READER	ELECTROMECHANICAL LOCK	INTERCOM	MOTION SENSOR	DOOR STATUS SWITCH	WEATHER STRIPPING	NOTES	
		TYPE	MATL.	FIN.	TYPE	MATL.	FIN.	HEAD	JAMB																							DEPTH
D1	VESTIBULE	2 - 1050 x 2150	E	AL	ANO	F3	AL	ANO	50	50	152	T																				
D2	VESTIBULE	2 - 1050 x 2150	F	AL	ANO	F3	AL	ANO	50	50	152	T																				
D3	BF WASHROOM	1050 x 2150	A	HM	P	F1	HM	P	50	50	152			*	*	*	*	*	*	*	*	*	L									
D3A	BF WASHROOM	1050 x 2150	A	HM	P	F1	HM	P	50	50	152			*	*	*	*	*	*	*	*	*	L									
D4	LIBRARY	950 x 2150	F	AL	ANO	F2	AL	ANO	50	50	152	T										M	L									
D5	MEETING ROOM	950 x 2150	A	WSC	PLAM		AL	ANO	50	50	152											M	L									

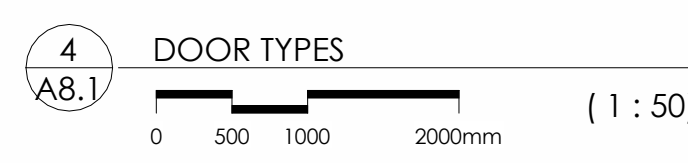
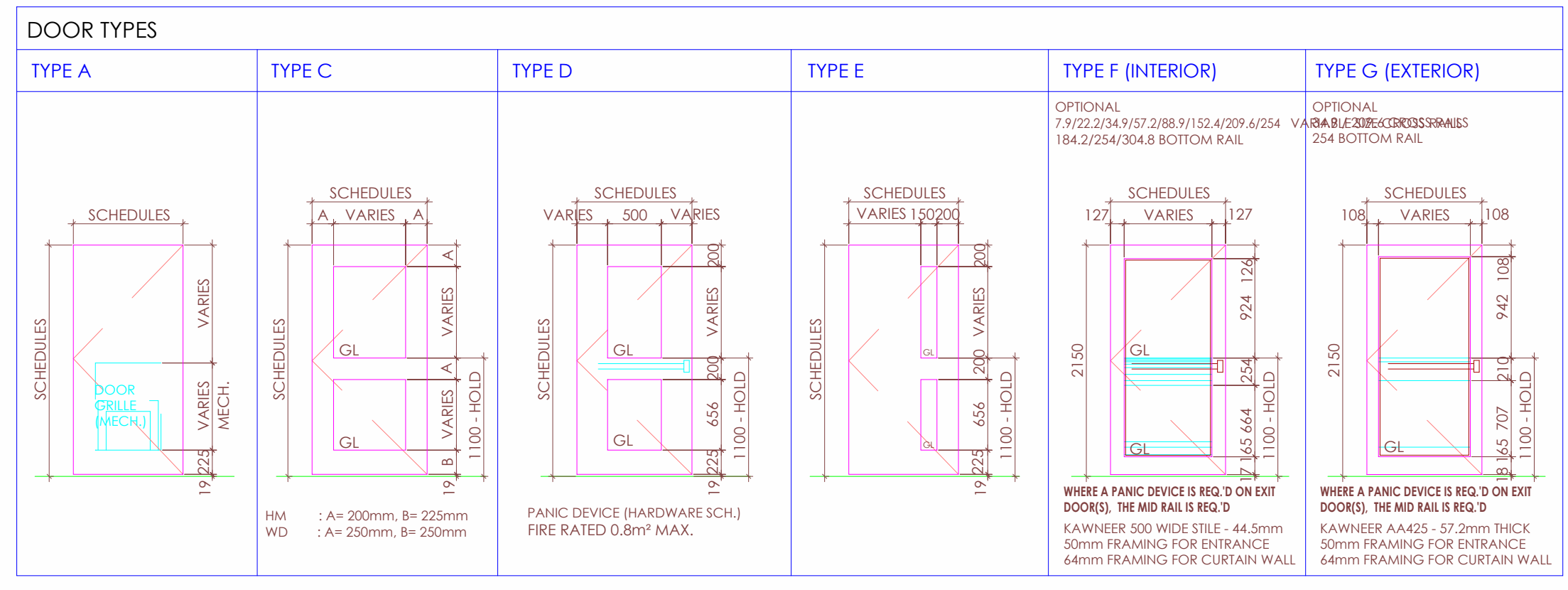
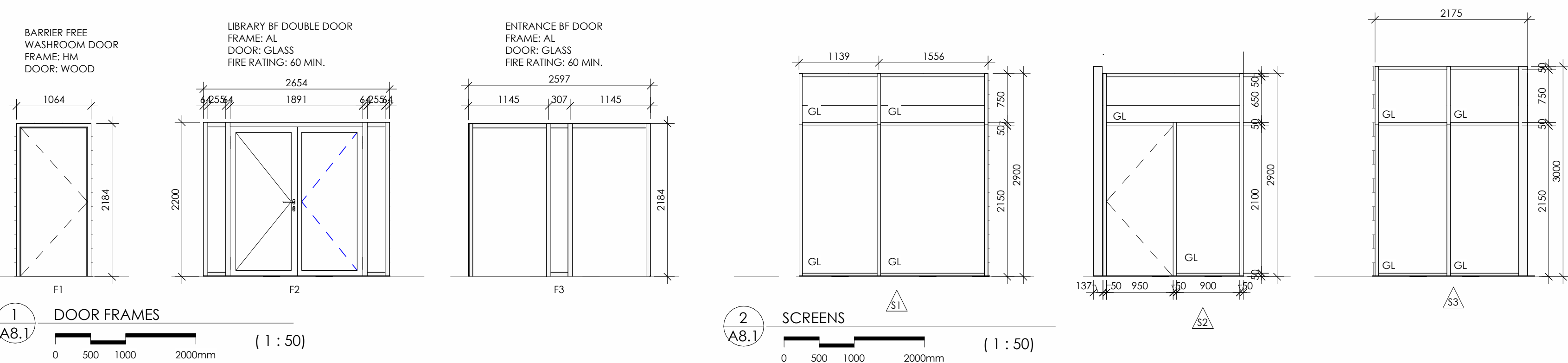
NOTES:
 UNIVERSAL WASHROOM DOOR PACKAGE TO INCLUDES:
 • POWER DOOR OPERATOR
 • OCCUPIED LIGHT
 • POWER DOOR OPENER BUTTONS
 • PUSH TO LOCK
 • PUSH TO UN-LOCK
 • ELECTRIC STRIKE
 • EMERGENCY CALL SYSTEM WITH AUDIBLE & VISUAL SIGNAL DEVICES INSIDE & OUTSIDE OF THE WASHROOM
 • EMERGENCY SIGN

SCREEN SCHEDULE

ROOM #	LOCATION	TYPE	MATL.	FIN.	HEAD	JAMB	DEPTH	FIRE RATING FOR WALLS (LISTED IN MINUTES - COORD. W/ FIRE SEPARATION DRAWINGS)	GLASS	NOTES
	MEETING ROOM	S1	AL	P	50	50	222	00	T	
	MEETING ROOM	S2	AL	P	50	50	222	00	T	
	MEETING ROOM	S3	AL	P	50	50	222	00	T	

WINDOW SCHEDULE

NO.	LOCATION	TYPE	MATL.	FIN.	HEAD	JAMB	DEPTH	FIRE RATING FOR WALLS (LISTED IN MINUTES - COORD. W/ FIRE SEPARATION DRAWINGS)	GLASS	NOTES
W1	LIBRARY	STOREFRONT	AL	ANO	50	50	114		T	
W2	LIBRARY	STOREFRONT	AL	ANO	50	50	114		T	



DOOR & FRAME / SCREEN SCH. NOTES

IT IS THE RESPONSIBILITY OF THE DOOR, FRAME & HARDWARE MANUFACTURER TRADES TO CO-ORDINATE & EXECUTE THEIR WORK TOGETHER.

DIMENSIONS INDICATED ARE R.O. - VERIFY ALL OPENING DIMENSIONS ON SITE PRIOR TO FABRICATION & ORDERING

COORD. WITH TYPICAL DOOR & WINDOW DETAILS PROVIDED

1. COORD. W/ FLOOR PLANS ON LIFE SAFETY DRAWING(S) FOR FIRE SEPARATIONS REQUIRING FIRE RATED DOORS.
 2HR. FIRE SEPARATION TO HAVE 1 1/2 HR. FIRE RATED DOORS/FRAMES.
 1HR. FIRE SEPARATIONS TO HAVE 3/4 HR. FIRE RATED DOORS/FRAMES.
 1/2 HR. FIRE SEPARATIONS TO HAVE 20 MIN. FIRE RATED DOORS/FRAMES.

2. ALL FIRE RATED DOORS & SCREENS W/ GLAZING "GL" TO HAVE "FIRELITE" GLAZING AS REQ'D INCLUDING ALL EXPOSURE SITUATIONS, ALL NON RATED GLAZING TO BE TEMPERED TYP. ALL EXTERIOR DOOR GLAZING TO BE LAMINATED SAFETY GLASS. ALL EXT. DOORS & SCREENS TO HAVE INSULATED DOUBLE GLAZING, INT. SINGLE GLAZING.

3. ALL FRAMES FOR CONC. BLOCK WALLS & GYP. BD. WALLS / PARTITIONS SHALL BE WRAP AROUND TYPE FOR WALL THICKNESS UP TO 190mm (TO BE SHIM / TIGHT FIT ON WALL SYSTEM THAT THEY ARE INSTALLED ON / IN) OVER 190mm WALLS TO RECEIVE 172mm FRAMES.
 (COORD. W/ FLR. PLANS FOR WALL THICKNESS & LOCATIONS)
 (COORD. W/ A8 DETAILS)

GENERAL NOTES:
 COORD. W/ FLOOR PLANS & ELEVATIONS FOR LOCATIONS, REQ'D FRAME WIDTH, 170° DOOR SWINGS & QUANTITY OF REQUIRED DOORS, FRAMES & SCREENS.

ALL FINISH HARDWARE INFO. SHOWN TO BE COORDINATED & VERIFIED W/ THE APPROVED HARDWARE SCHEDULE, INCLUDING BUT NOT LIMITED TO HOLD OPEN DEVICES, ELECTRIC STRIKES, SECURITY KEYPADS, AUTO DOOR OPENERS, CLOSERS, PANIC DEVICES, MAGNETIC HOLD-OPENS, OVERHEAD STOPS, PUSH PLATES, KICK PLATES & ANY OTHER DOOR HARDWARE REQUIREMENTS.

SOUND / ACOUSTIC RATINGS:
 COORD. W/ WALL TYPES FOR SOUND RATINGS (STC) & FLOOR PLANS FOR WALL TYPE LOCATIONS. ALL DOORS, DOOR FRAMES, SCREENS & GLAZING THAT REQUIRE SOUND RATINGS TO HAVE SOUND PROOFING, SEALS @ PER. 3; RECESSED AUTOMATIC DROP DOWN SILLS, DOUBLE GLAZING.
 WOOD FRAMES SHIM VOID FILLED SOLID W/ SOUND BATT INSULATION, HM FRAMES ON CONC. BLOCK CONST. FILLED SOLID W/ MORTAR; HM FRAMES ON METAL / WD. FRAME CONST. TO HAVE BATT INSULATION OF 50mm+25mm FRICTION FIT INTO FRAME BEFORE INSTALL TO ENSURE COMPRESSION OF BATT WHEN INSTALLED

COORD. W/ ELEC. DWG.'S FOR EXIT SIGN & ELEC. EQUIP. LOCATIONS.

ALL ALUMINIUM DOORS TO HAVE CONT. HINGES. ALL H.M. & PLAM COVERED WOOD DOORS TO HAVE 3 BALLBEARING HINGES. ALL EXTERIOR H.M. DOORS TO HAVE 4 HINGES.

ALL EXTERIOR HM. DOORS TO BE INSULATED, 16 Ga., CONT. WELDED C/W STIFFENER PLATES C/W WEATHER STRIPPING, FRAMES TO BE THERMALLY BROKEN

THERMAL BROKEN FRAMES, FILL VOID SOLID W/ SPRAY-IN-PLACE INSUL. TYP. W/ WELDED 10mm TEE ANCHOR, SUPPLY 3 ANCHORS FOR EACH JAMB UP TO 2200mm HIGH, SUPPLY 4 IF JAMB EXCEEDS 2200mm

IN ALL CORRIDOR DOORS & HIGH TRAFFIC AREAS, PROVIDE 16 GAUGE CONTINUOUS WELDED DOORS & HINGES.

ALL WASHROOM DOORS TO BE UNDERCUT BY 25mm (1") UNLESS NOTED BY MECH. MAX. UNDERCUT FOR FIRE RATED DOORS IS 19mm (3/4")

ALL DOORS TO HAVE DOOR STOPS

WOOD DOORS TO RECEIVE OFFSET HINGES

ALL DOORS TO HAVE KICK PLATES BOTH SIDES, FINISH TO MATCH DOOR HARDWARE TYPICAL.

DOORS TO HAVE PROVISION FOR ELECTRIC STRIKE & CARD READERS (EXCEPT WASHROOMS) & ONLY PROVIDE CARD READER WHERE ASKED ON DOOR HARDWARE SCHEDULE.
 (LOCATION OF CARD READER ON DOOR FRAME OR ADJACENT TO DOOR FRAME SHALL BE CONFIRMED BY ARCHITECT & CLIENT PRIOR TO INSTALLATION) COORDINATE WITH ELECTRICAL DRAWINGS.

ALL DOORS INDICATED W/ "HO" HOLD OPENS LOCATED IN FIRE SEPARATION SHOULD HAVE A MAGNETIC HOLD OPEN DEVICE TO RELEASE UPON ACTIVATION OF THE FIRE ALARM C/W CLOSER.

ALL DOORS INDICATED W/ "HO" HOLD OPENS LOCATED WHERE THERE IS NO FIRE SEPARATION SHALL BE PROVIDED W/ MANUAL HOLD OPEN DEVICES.

COORD. W/ AD LIFE SAFETY DWG.'S FOR FIRE SEPARATION LOCATIONS

ALL GLAZING LOWER THAN 1070mm A/F/F (MAIN FLR. LEVELS, STAIR LANDINGS, ETC.) THAT IS NOT PROTECTED BY SOME TYPE OF INTERIOR GUARD, TO BE DESIGNED TO WITHSTAND THE LOADING ON GUARDS AS PER OBC SB-13; WHERE THE DIFFERENCE IN ELEV. BETWEEN THE ADJACENT GROUND OR FLR. LEVEL IS MORE THAN 600mm TYP.
 COORD. W/ GLASS & GLAZING 8800 SECTION

ALL GLASS AND GLAZING LOCATED IN A FIRE RATED WALL SYSTEM / ASSEMBLY OR EXPOSURE SITUATIONS TO BE FIRE RATED GLASS / GLAZING.

ALL GLASS AND GLAZING, CONTRACTOR SHALL VERIFY AND PROVIDE THICKNESS TO BE CONFIRMED BY MANUFACTURER FOR THE ASSEMBLY IN WHICH THE GLAZING IS INSTALLED, TO BE SUBMITTED IN SHOP DRAWINGS STAMPED BY A PROFESSIONAL ENGINEER BEFORE ANY MANUFACTURING. GLAZING TAPE AND METHODS TO BE AS PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE: DOOR(S), SCREEN(S), WINDOW(S), CURTAIN WALL(S), FRAME(S), & THEIR HARDWARE MANUF.'S TRADES COORD. & EXECUTE THEIR WORK TOGETHER & LABEL IDENTIFYING INFO. FOR ALL DOOR(S), SCREEN(S), WINDOW(S), CURTAIN WALL(S), FRAME(S) SCH. TO MATCH THE IDENTIFICATION TAG LABELS HERE, NOT HAVING DIFF. LABELS & DIM. UNITS ON SHOP DWG.'S THAN TENDERED DOCUMENTS TYP. [REVISE & RESUBMIT SHOP DWG.'S WILL BE RETURNED IF THIS FORMAT IS NOT FOLLOWED W/ NO REVIEW UNDERTAKEN]

SHOP DRAWINGS

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE: DOOR(S), SCREEN(S), WINDOW(S), CURTAIN WALL(S), FRAME(S), & THEIR HARDWARE MANUF.'S TRADES COORD. & EXECUTE THEIR WORK TOGETHER & LABEL IDENTIFYING INFO. FOR ALL DOOR(S), SCREEN(S), WINDOW(S), CURTAIN WALL(S), FRAME(S) SCH. TO MATCH THE IDENTIFICATION TAG LABELS HERE, NOT HAVING DIFF. LABELS & DIM. UNITS ON SHOP DWG.'S THAN TENDERED DOCUMENTS TYP. [REVISE & RESUBMIT SHOP DWG.'S WILL BE RETURNED IF THIS FORMAT IS NOT FOLLOWED W/ NO REVIEW UNDERTAKEN]

ALUM. WINDOW / CURTAIN WALL SCH. NOTES

IT IS THE RESPONSIBILITY OF THE WINDOW, CURTAIN WALL & HARDWARE MANUFACTURER TRADES TO CO-ORDINATE & EXECUTE THEIR WORK TOGETHER.

DIMENSIONS INDICATED ARE R.O. - VERIFY ALL OPENING DIMENSIONS ON SITE PRIOR TO FABRICATION & ORDERING

COORD. W/ TYP. DOOR & WINDOW DETAILS PROVIDED

1. COORD. W/ FLR. PLANS ON LIFE SAFETY DWG.(S) FOR FIRE SEPARATIONS REQ'G FIRE RESISTANCE RATINGS FOR EXPOSURE SITUATIONS; HM FRAMING TO BE IMPLEMENTED BEHIND OPENING FRAMING TO NEAREST VERT. &/OR HORIZ. FRAMING MEMBER. (DOOR & FRAME / SCREEN SCH. NOTES 1&2 APPLICABLE)

2. COORD. W/ BLGD. ELEV.'S A3 SERIES DWG.'S & FLR. PLANS A2 SERIES DWG.'S FOR LOCATIONS & QUANTITY OF WINDOWS & CURTAIN WALLS

GENERAL NOTES:

FRAMES:
 (COORD. W/ SPEC.'S)

FINISH:
 CLEAR ANODIZED, DURANAR, DURANAR XL EXT., DURACRON INT.

GLAZING:
 (COORD. W/ SPEC.'S)

OPERATORS:
 INTEGRAL AWNING STYLE OPERATOR C/W HAND CRANK UNLESS OTHERWISE INDICATED. COORD. W/ ELEV.'S FOR OPERATOR LOCATIONS & DIRECTIONS / SWING
 (COORD. W/ SPEC.'S)

SOUND / ACOUSTIC RATINGS:
 COORD. W/ WALL TYPES FOR SOUND RATINGS (STC) & FLR. PLANS FOR WALL TYPE LOCATIONS. ALL OPENINGS & GLAZING THAT REQUIRE SOUND RATINGS TO HAVE SOUND PROOFING, SEALS @ PER. 3; DOUBLE GLAZING. ALL SHIM VOIDS FILLED SOLID W/ SOUND BATT INSUL.

ALL GLAZING LOWER THAN 1070mm A/F/F (MAIN FLR. LEVELS, STAIR LANDINGS, ETC.) THAT IS NOT PROTECTED BY SOME TYPE OF INTERIOR GUARD, TO BE DESIGNED TO WITHSTAND THE LOADING ON GUARDS AS PER OBC SB-13; WHERE THE DIFFERENCE IN ELEV. BETWEEN THE ADJACENT GROUND OR FLR. LEVEL IS MORE THAN 600mm TYP.
 COORD. W/ GLASS & GLAZING 8800 SECTION

ALL GLASS AND GLAZING LOCATED IN A FIRE RATED WALL SYSTEM / ASSEMBLY OR EXPOSURE SITUATIONS TO BE FIRE RATED GLASS / GLAZING.

ALL GLASS AND GLAZING, CONTRACTOR SHALL VERIFY AND PROVIDE THICKNESS TO BE CONFIRMED BY MANUFACTURER FOR THE ASSEMBLY IN WHICH THE GLAZING IS INSTALLED, TO BE SUBMITTED IN SHOP DRAWINGS STAMPED BY A PROFESSIONAL ENGINEER BEFORE ANY MANUFACTURING. GLAZING TAPE TO BE AS PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.

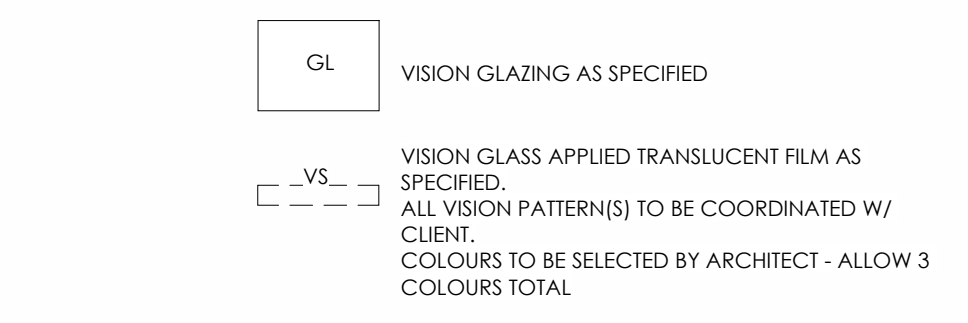
ALL OPENING CLOSURES (INCLUDING BUT LIMITED TO: ENTRANCE FRAMES, CURTAIN WALL FRAMES, WINDOW FRAMES, GLAZING / SPANDREL & SOLID INFILL PANEL, ETC.) SHALL BE DESIGNED TO SAFELY WITHSTAND ALL APPLICABLE LOADS AND SHALL MEET THE STANDARDS OF THE LATEST ONTARIO BUILDING CODE AS CURRENTLY AMENDED.

THIS INCLUDES, BUT LIMITED TO, WIND LOADS, NEGATIVE PRESSURE, DEFLECTION, THERMAL MOVEMENT, LOADS ON GUARDS (WHERE CLOSURE IS REQUIRED TO BE DESIGNED AS A GUARD), ETC.

PROVIDE SHOP DRAWINGS FOR REVIEW SIGNED AND SEALED BY A PROFESSIONAL ENGINEER FOR REVIEW AND APPROVAL. COORDINATE SUBMITTALS WITH SPECIFICATIONS.

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE: DOOR(S), SCREEN(S), WINDOW(S), CURTAIN WALL(S), FRAME(S), & THEIR HARDWARE MANUF.'S TRADES COORD. & EXECUTE THEIR WORK TOGETHER & LABEL IDENTIFYING INFO. FOR ALL DOOR(S), SCREEN(S), WINDOW(S), CURTAIN WALL(S), FRAME(S) SCH. TO MATCH THE IDENTIFICATION TAG LABELS HERE, NOT HAVING DIFF. LABELS & DIM. UNITS ON SHOP DWG.'S THAN TENDERED DOCUMENTS TYP. [REVISE & RESUBMIT SHOP DWG.'S WILL BE RETURNED IF THIS FORMAT IS NOT FOLLOWED W/ NO REVIEW UNDERTAKEN]

HATCH IDENTIFICATION MARKER LEGEND



Revision Schedule		
Particular	Date	No.
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MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAIN WALLS AND SCREENS REQUIRED FOR THIS RENOVATION BEFORE ORDERING AND ASSEMBLING

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PROJECT:
 22057
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153 MONTCALM DRIVE
 KITCHENER, ON
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ORIGINAL PAGE SIZE ARCH D - 24" X 36"



A8.1

All dimensions and measurements must be checked and verified by the General Contractor.

WINDOW AND DOOR SCHEDULES
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Revision Schedule

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22057
RENOVATION

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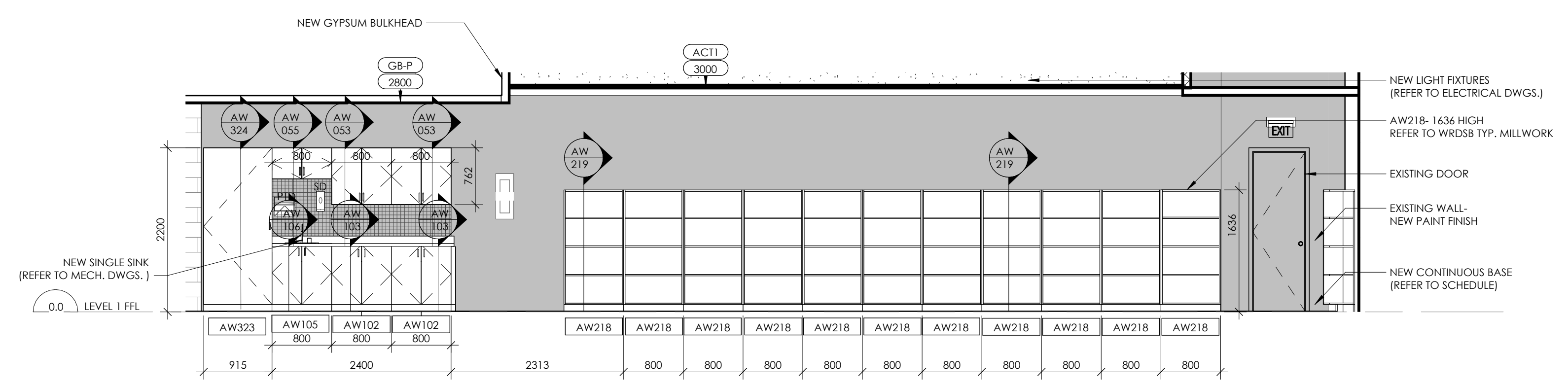
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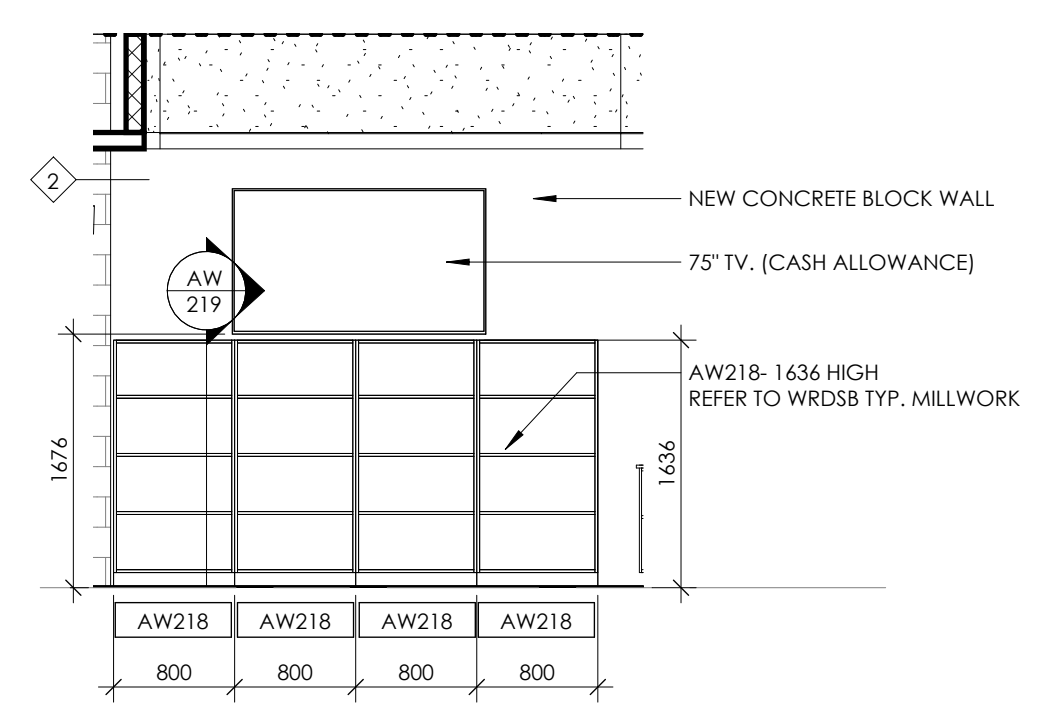


MILLWORK ELEVATIONS - LIBRARY

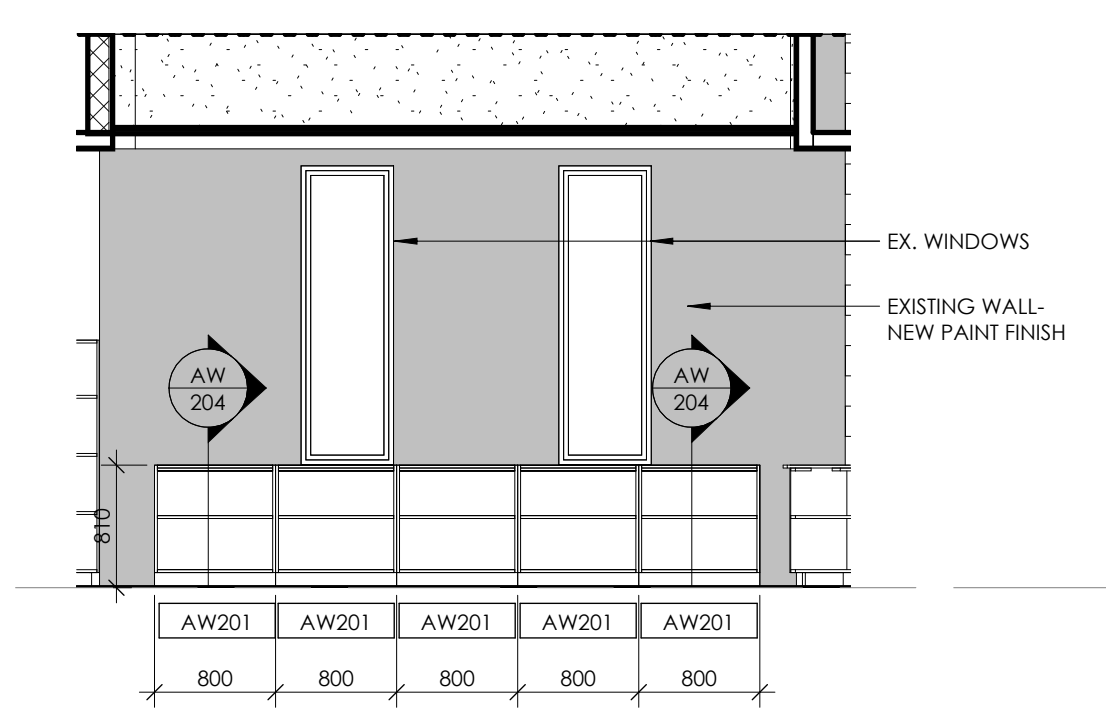
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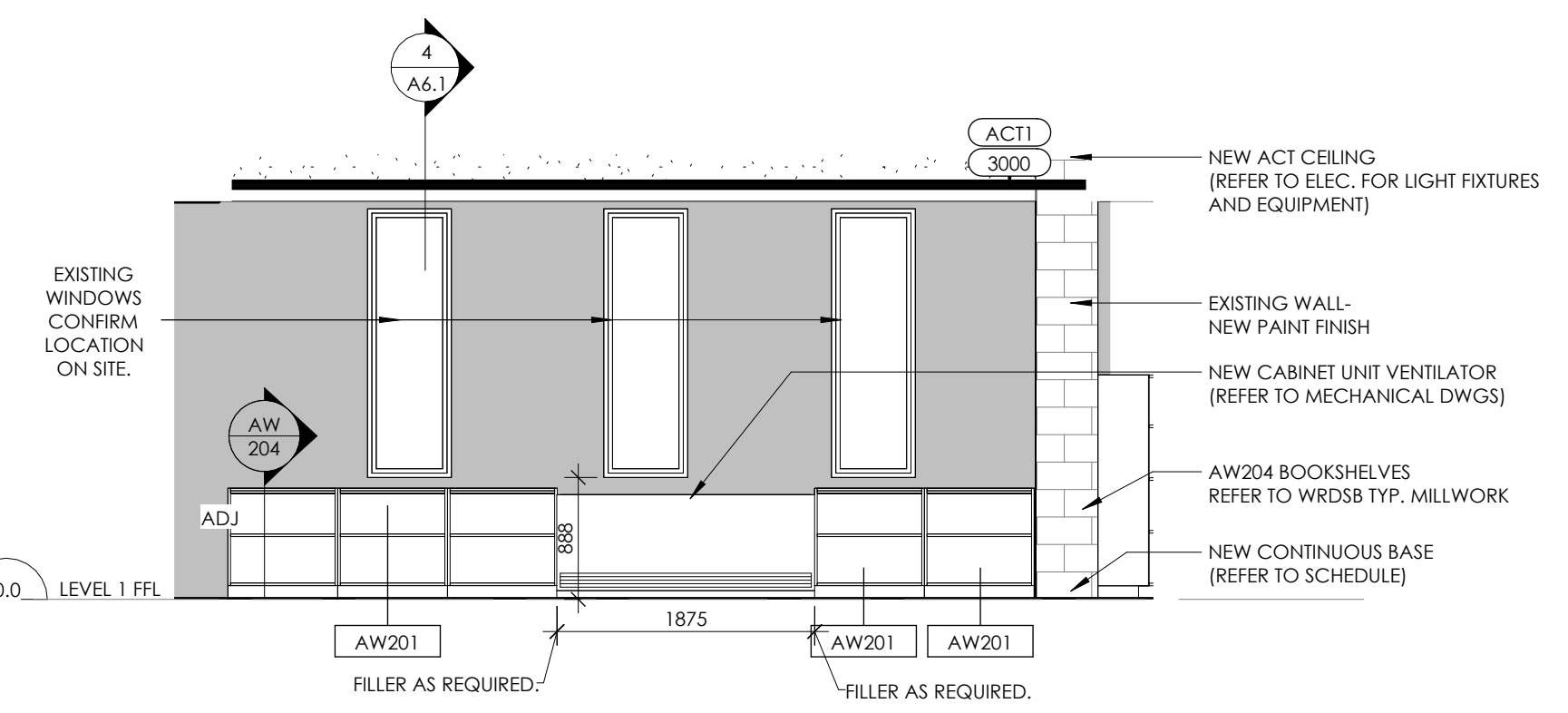
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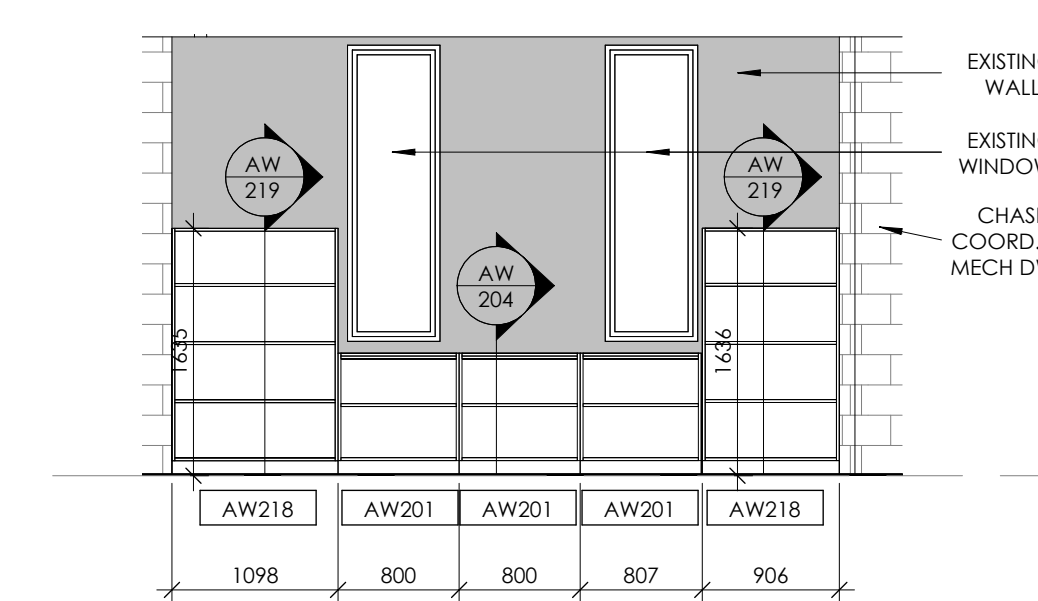
2 INTERIOR ELEVATION
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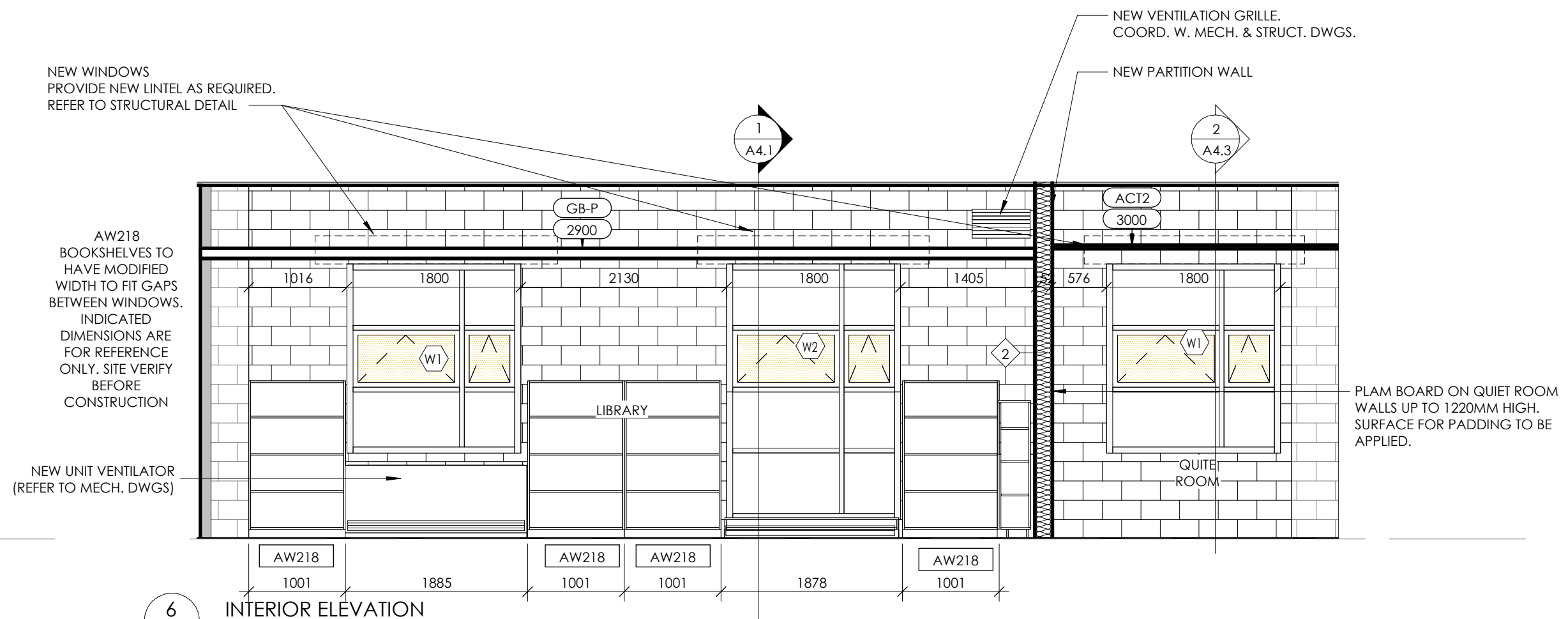
3 INTERIOR ELEVATION
A9.1 (1:50)



4 INTERIOR ELEVATION
A9.1 (1:50)

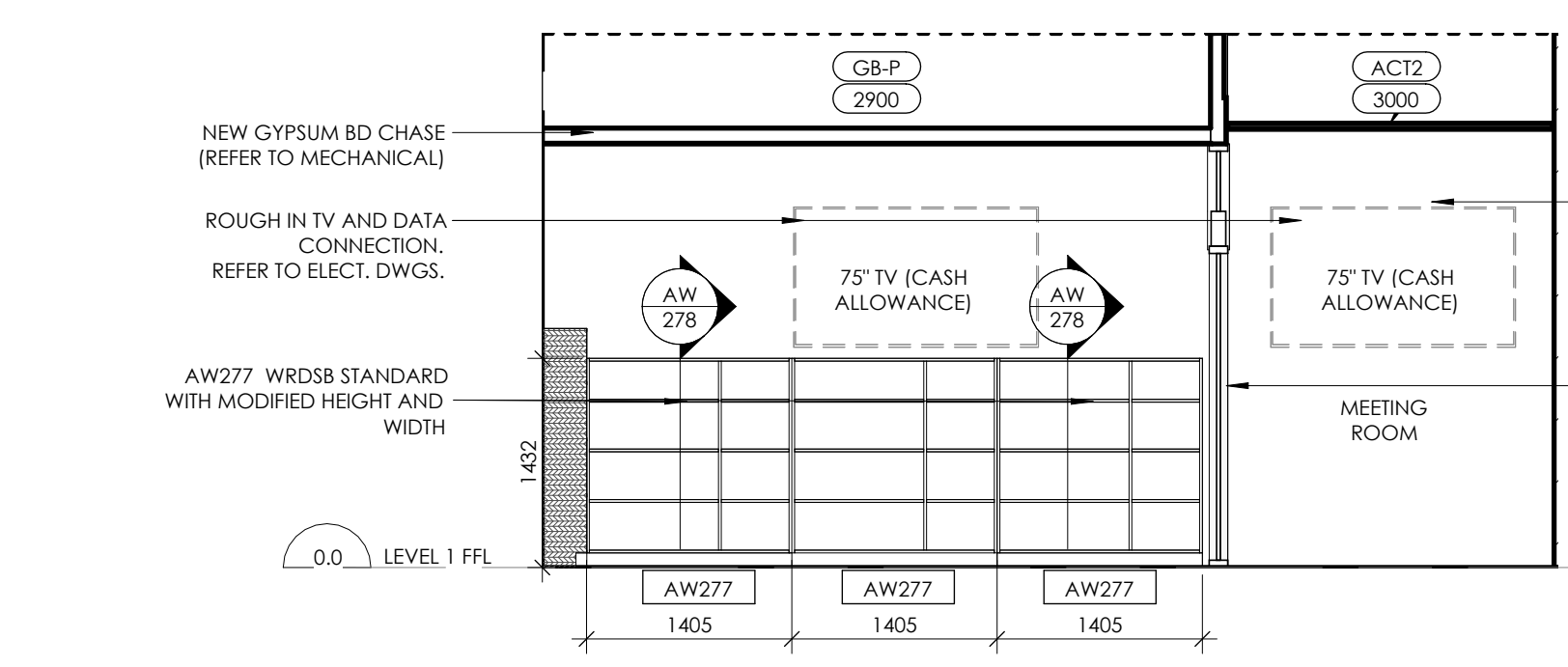


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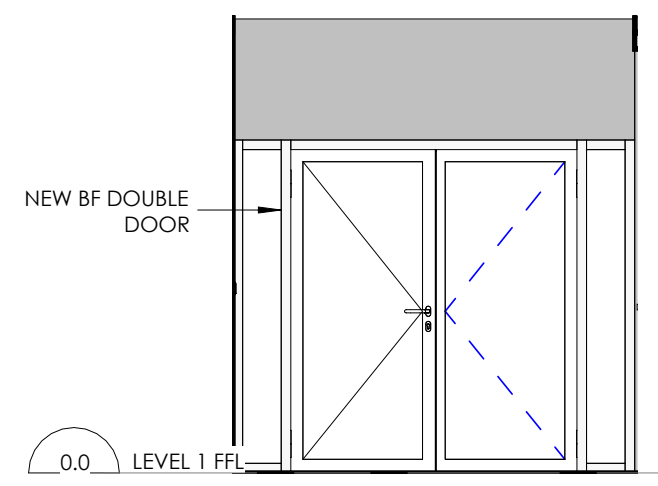


6 INTERIOR ELEVATION
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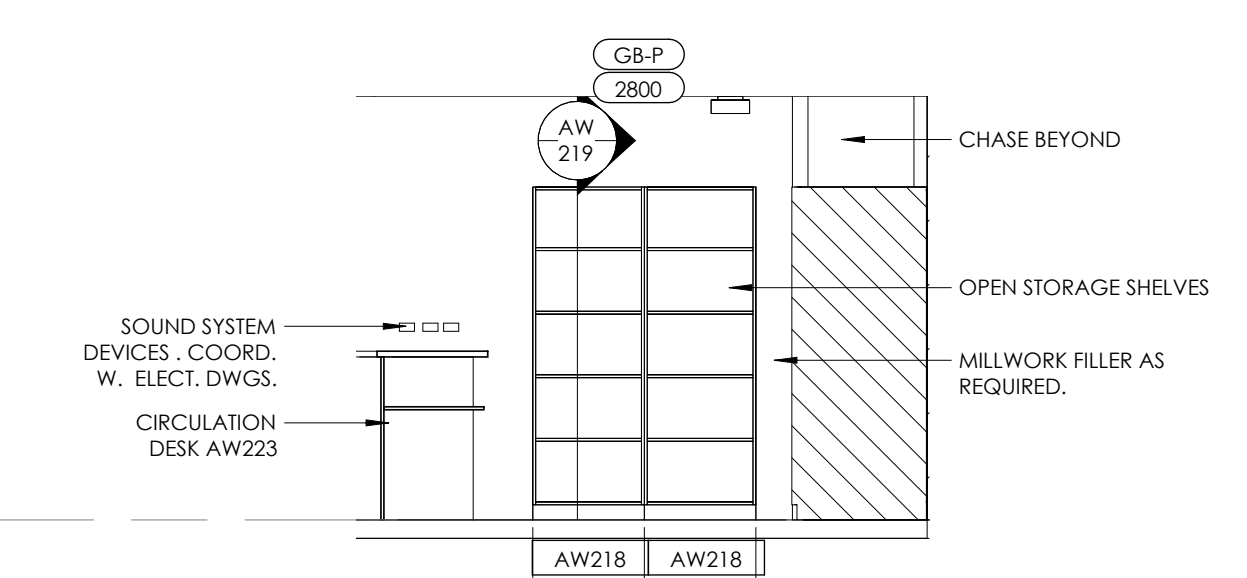
- GENERAL MILLWORK NOTES**
- REVIEW ALL MILLWORK DIMENSIONS AND LOCATION SPACE BEFORE CONSTRUCTION.
 - ALL DIMENSIONS INDICATED ON THE DRAWINGS MUST BE SITE VERIFIED.
 - REFER TO THE WATERLOO REGION DISTRICT SCHOOL BOARD MILLWORK STANDARDS FOR DETAILS.
 - REFER TO NOTES ON DRAWINGS FOR MILLWORKS SIZE CHANGES AS REQUIRED BY THE BOARD FOR THIS PROJECT.



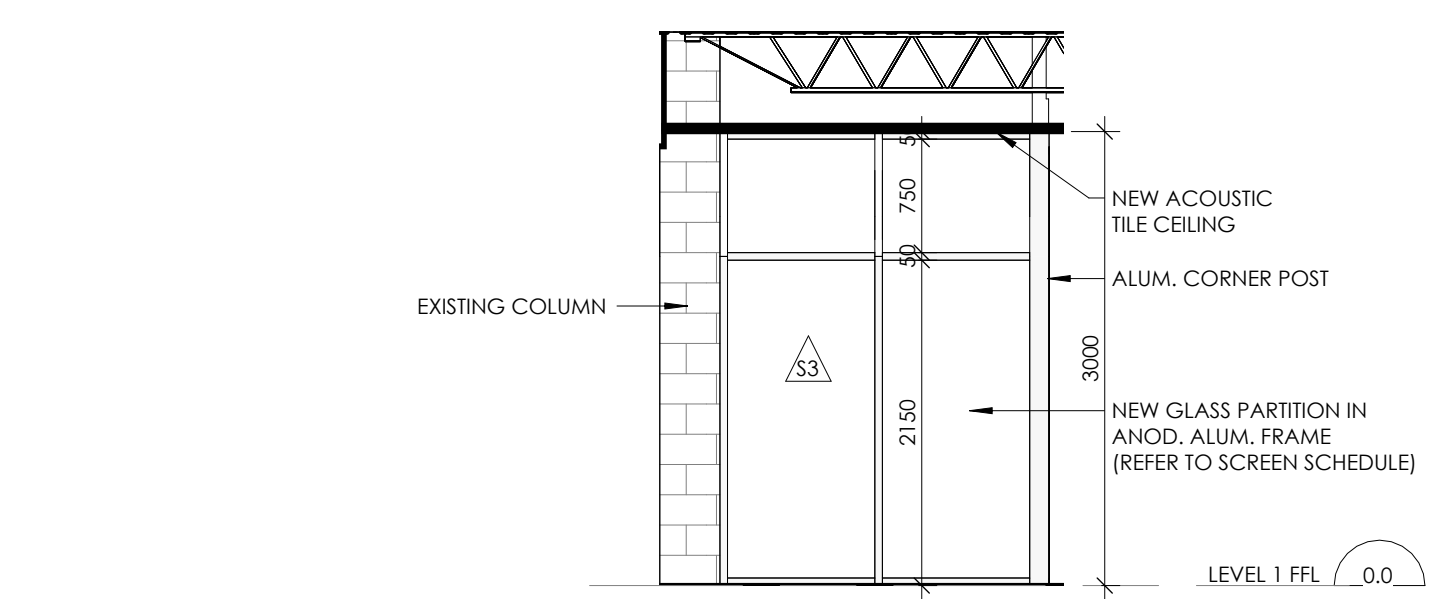
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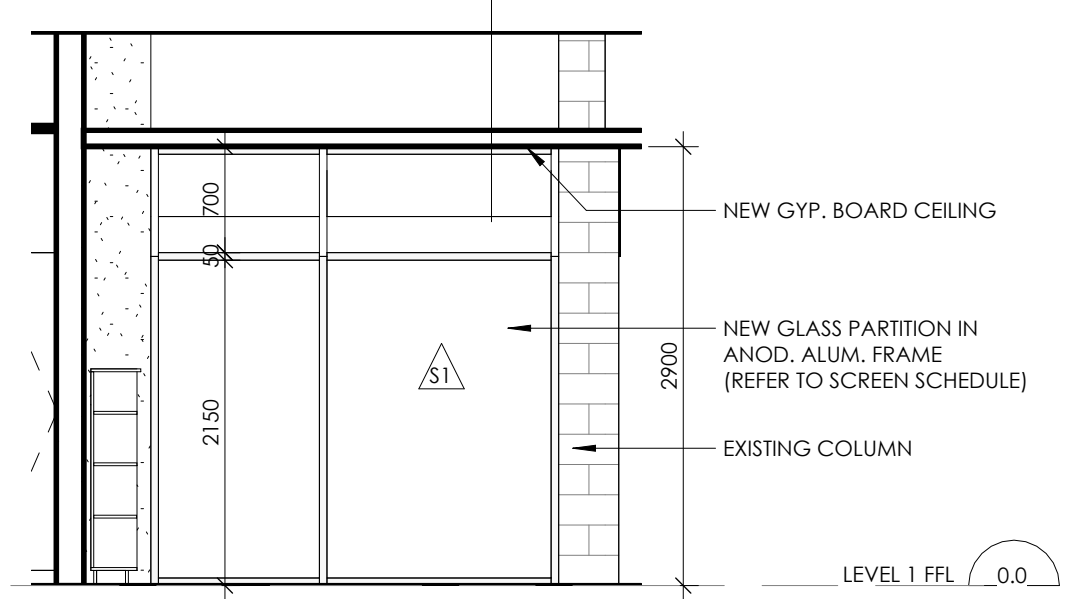
8 INTERIOR ELEVATION
A9.1 (1:50)



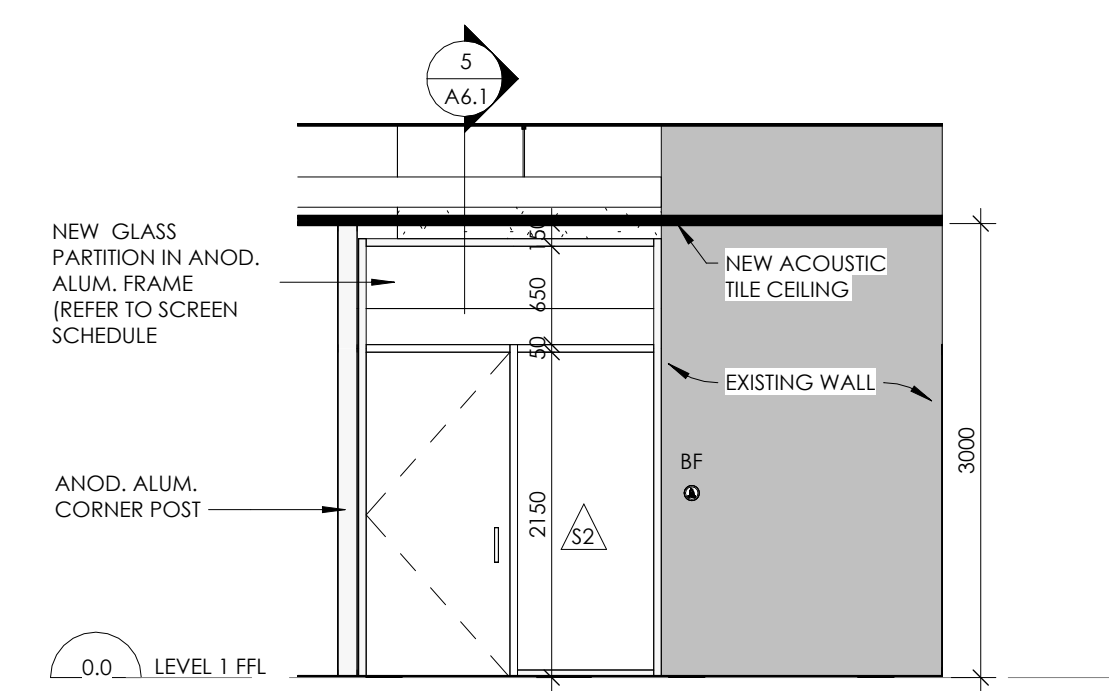
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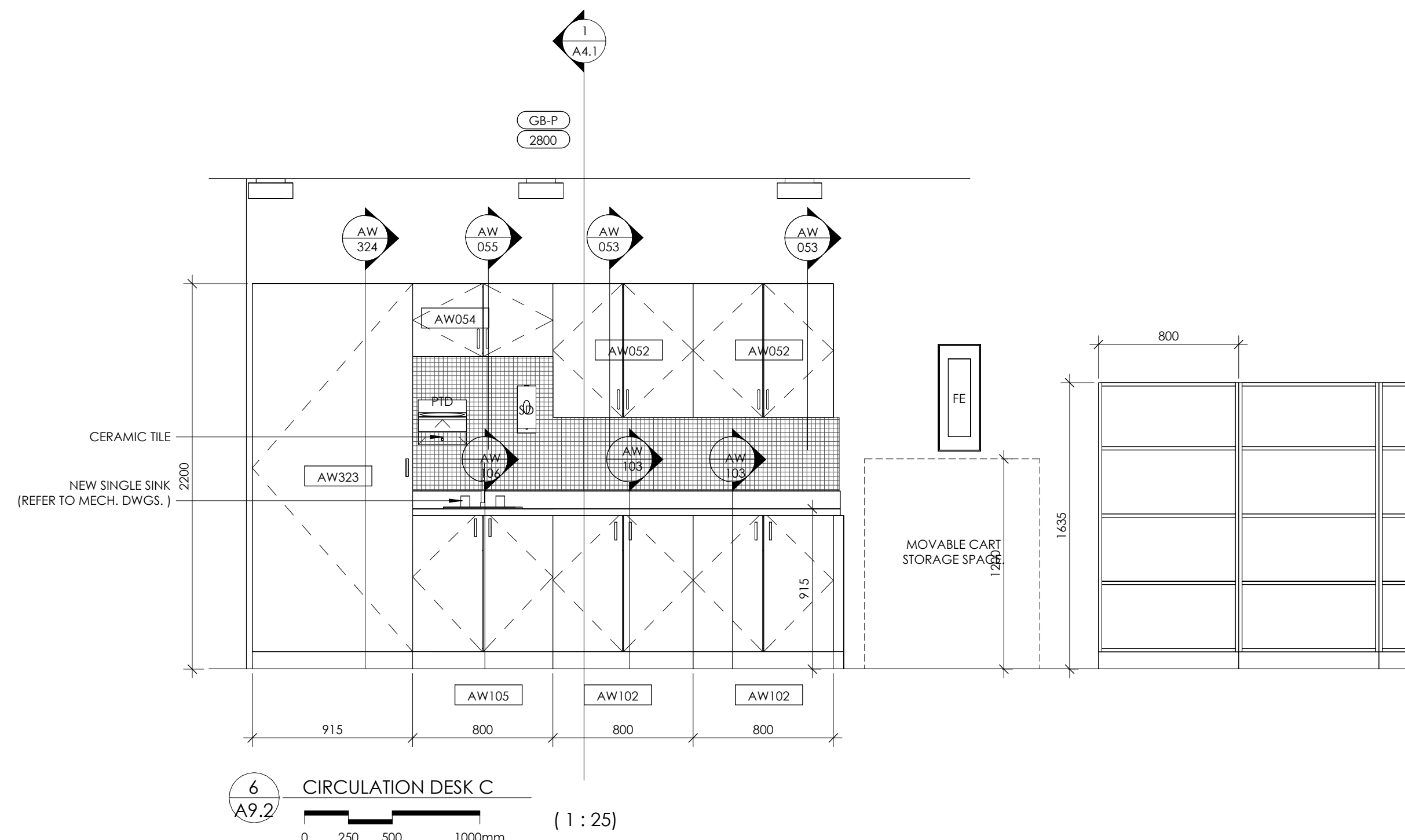
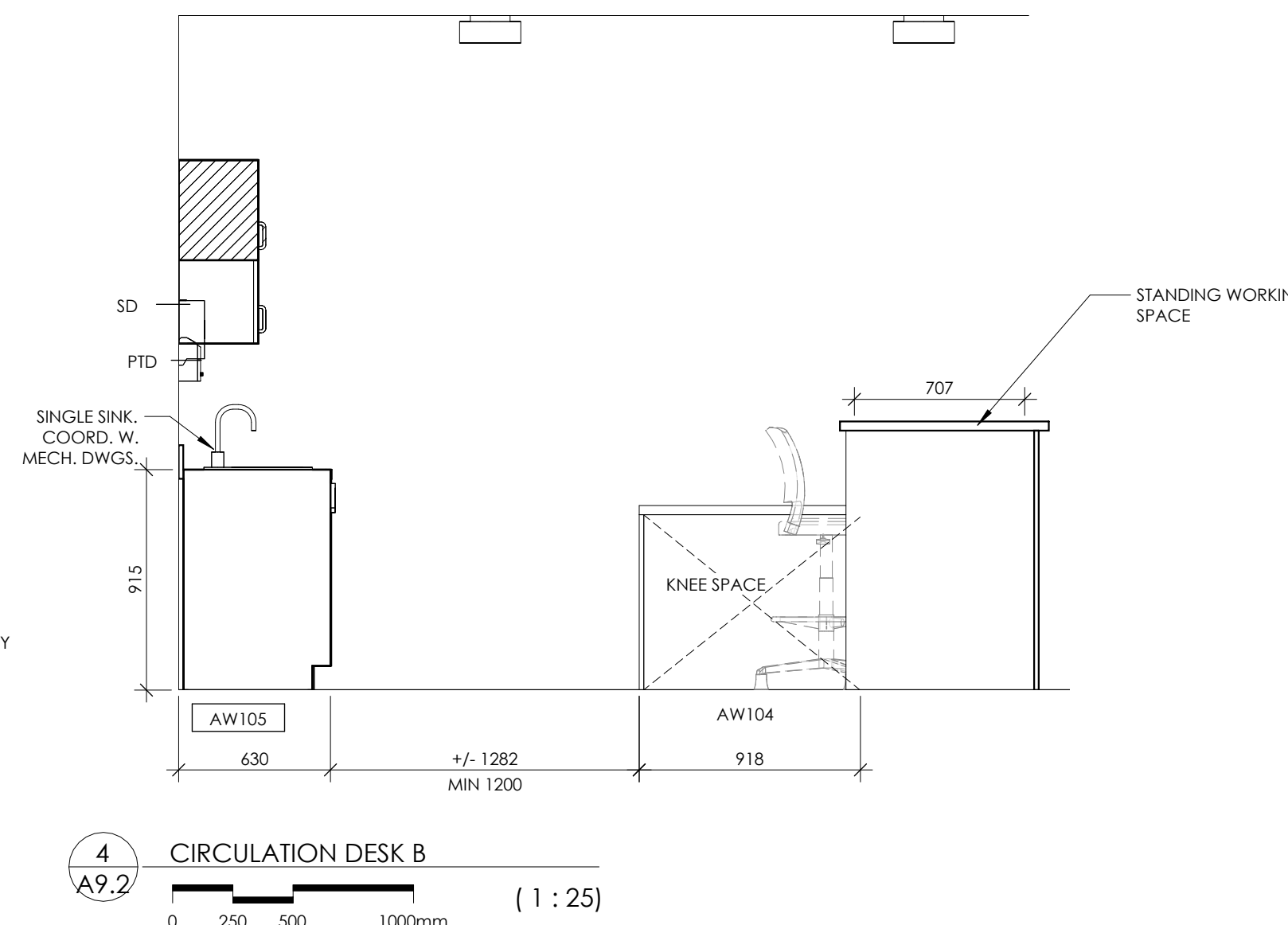
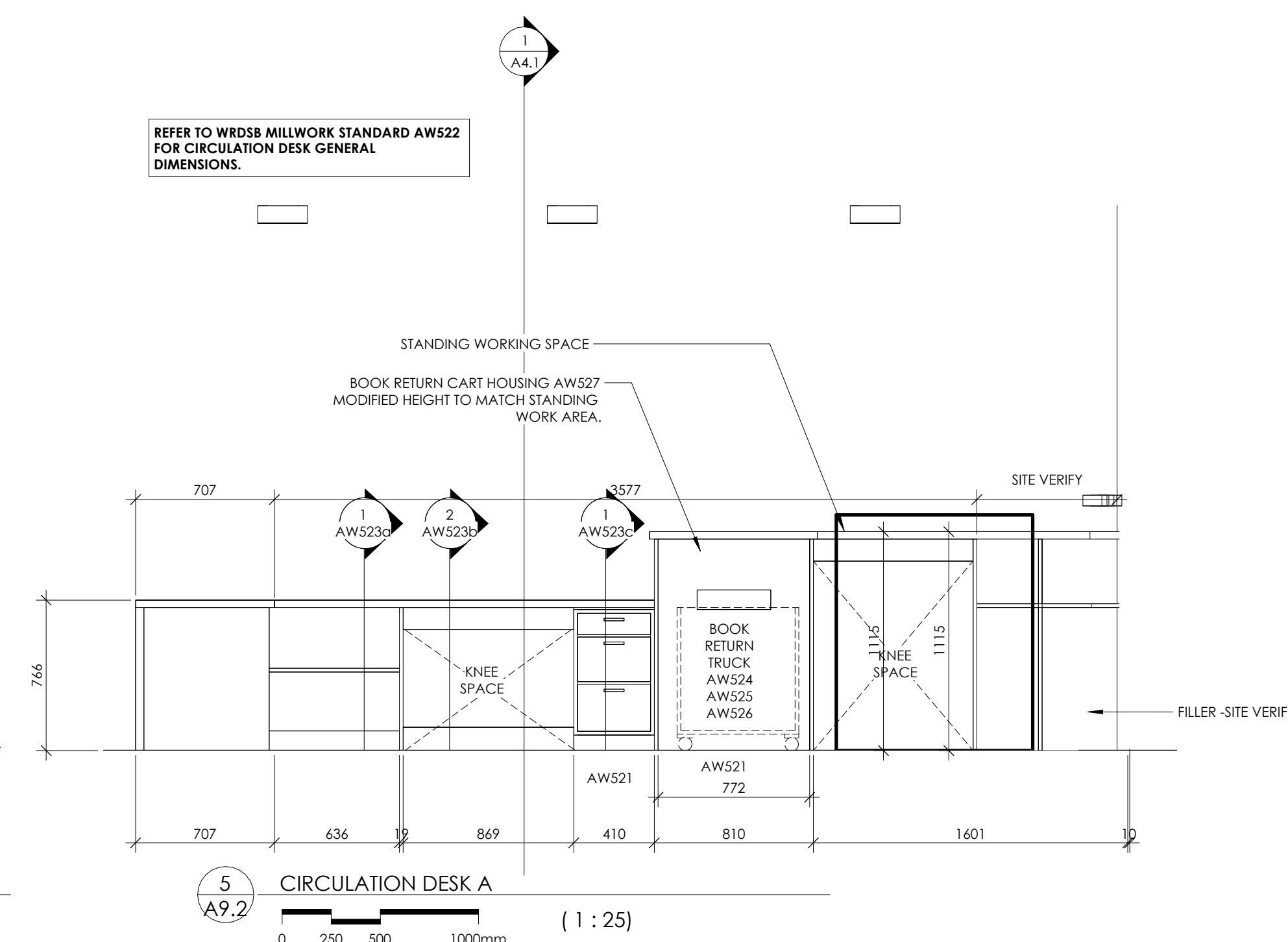
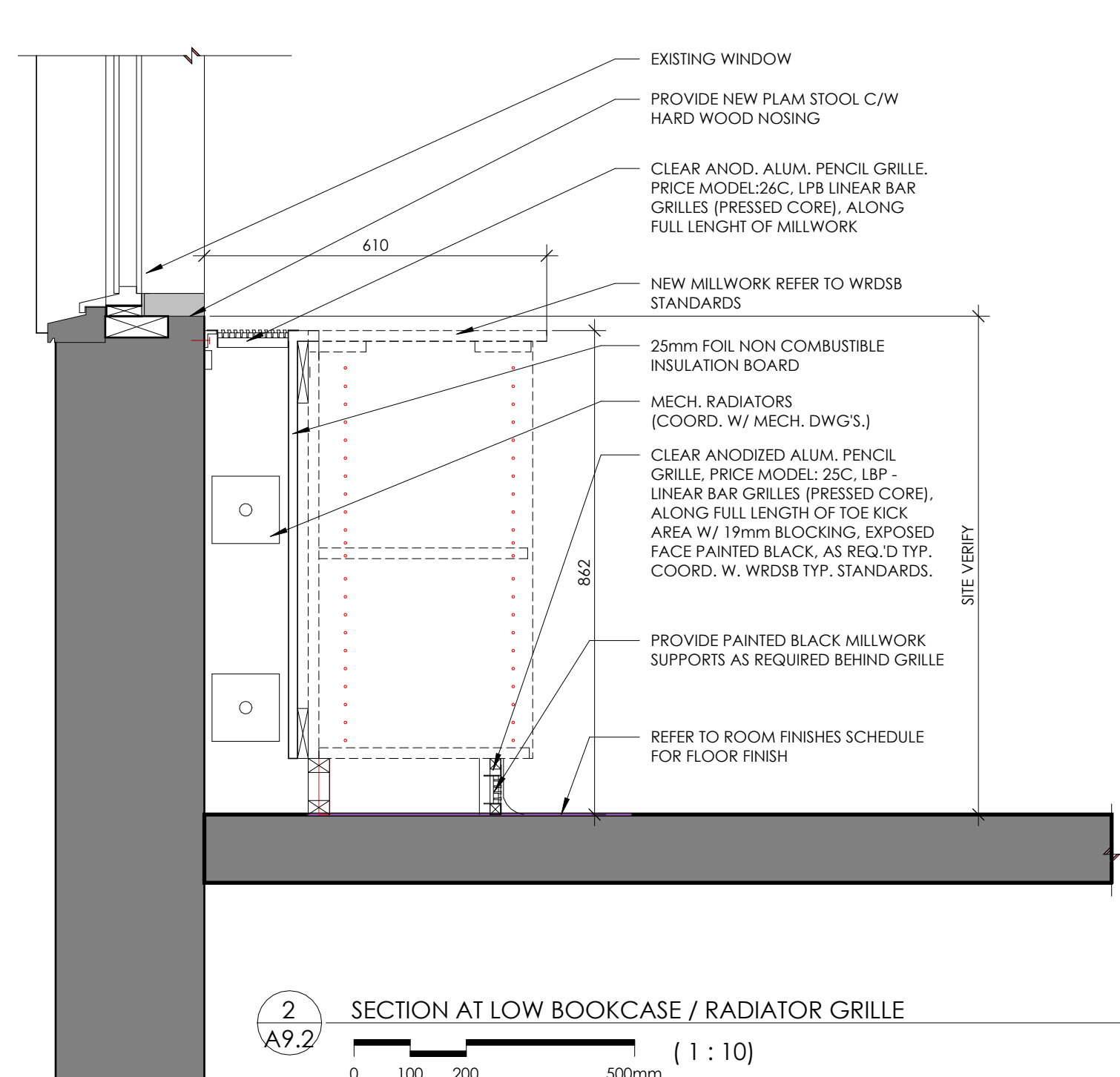
10 INTERIOR ELEVATION 10
A9.1 (1:50)



11 INTERIOR ELEVATION 9
A9.1 (1:50)



12 INTERIOR ELEVATION 10
A9.1 (1:50)



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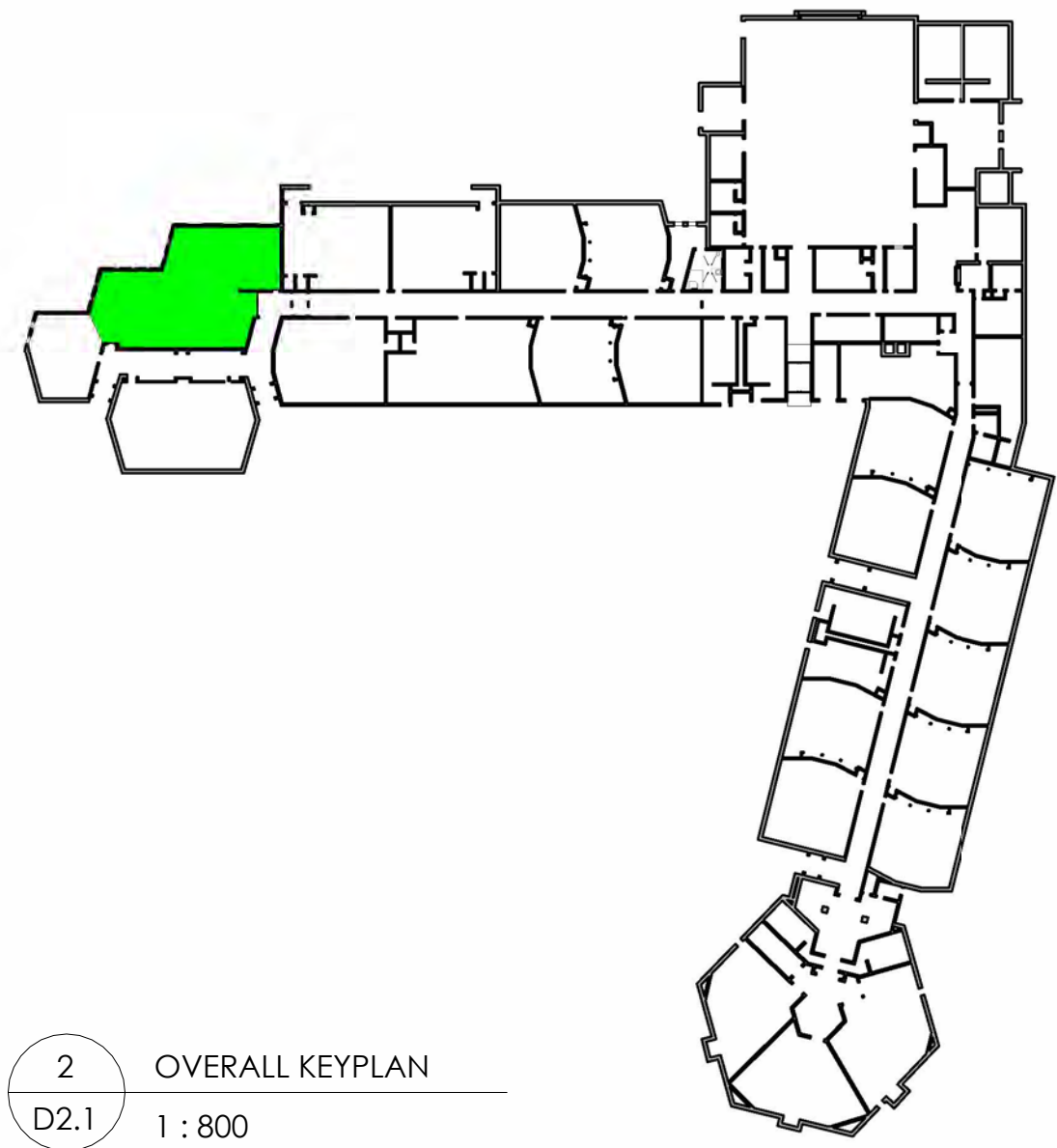
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A9.2

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2 OVERALL KEYPLAN
D2.1 1 : 800

GENERAL LEGENDS:

- SCOPE OF WORK
- EXISTING WALL SYSTEM
- EXISTING WALL TO BE DEMOLISHED
- EXISTING FLOOR, ROOF, CANOPY OR CEILING SURFACES TO BE DEMOLISHED, REPAIRED OR PREPARED AS NOTED, COORDINATE FULL EXTENT WITH ALL OTHERS DISCIPLINES.
- EXISTING DOORS/HARDWARE TO BE REMOVED AND TURNOVER TO OWNER/DEMOLITION TYPICALLY IS FROM FINISHED FLOOR TO US FLOOR OR ROOF STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
- EXISTING MILLWORK TO BE DEMOLISHED

DEMOLITION NOTES:

- EXISTING MILLWORK, FURNITURE AND MECHANICAL EQUIPMENT TO BE REMOVED. COORD. W. ARCH, MECH, ELECTRICAL AND STRUCTURAL DWGS.
- EXISTING UNIT VENTILATOR SERVING THE LIBRARY TO BE REMOVED. COORD. FOR LOCATION AND TYPE OF NEW UNIT VENTILATORS W. MECH. DWGS.
- REMOVE EXISTING FLOOR FINISH, INCLUDING BUT NOT LIMITED TO FLOOR FINISH, UNDERLAYMENTS, ADHESIVES, BASE, FASTENERS TO ORIGINAL CONCRETE SUBFLOOR. MAKE ALL DISTURBED SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH.
- REMOVE EXISTING CEILING AND LIGHTING/HARDWARES. COORD. W. ELEC. DWGS. MAKE ALL SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH.
- REMOVE EXISTING INTERIOR WALL FINISHES AND PATCH, CLEAN AND MAKE ALL SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH.
- REMOVE EXISTING ELECTRICAL WIRES, OUTLETS AND HARDWARES/ACCESSORIES AND RETURNED TO SCHOOL BOARD IF REQUESTED. MAKE ALL DISTURBED SURFACES LEVEL AND SMOOTH.
- REMOVE EXISTING SIGNAGES AND GRAPHICS FROM LIBRARY. MAKE ALL SURFACES LEVEL AND SMOOTH FOR NEW FINISH.

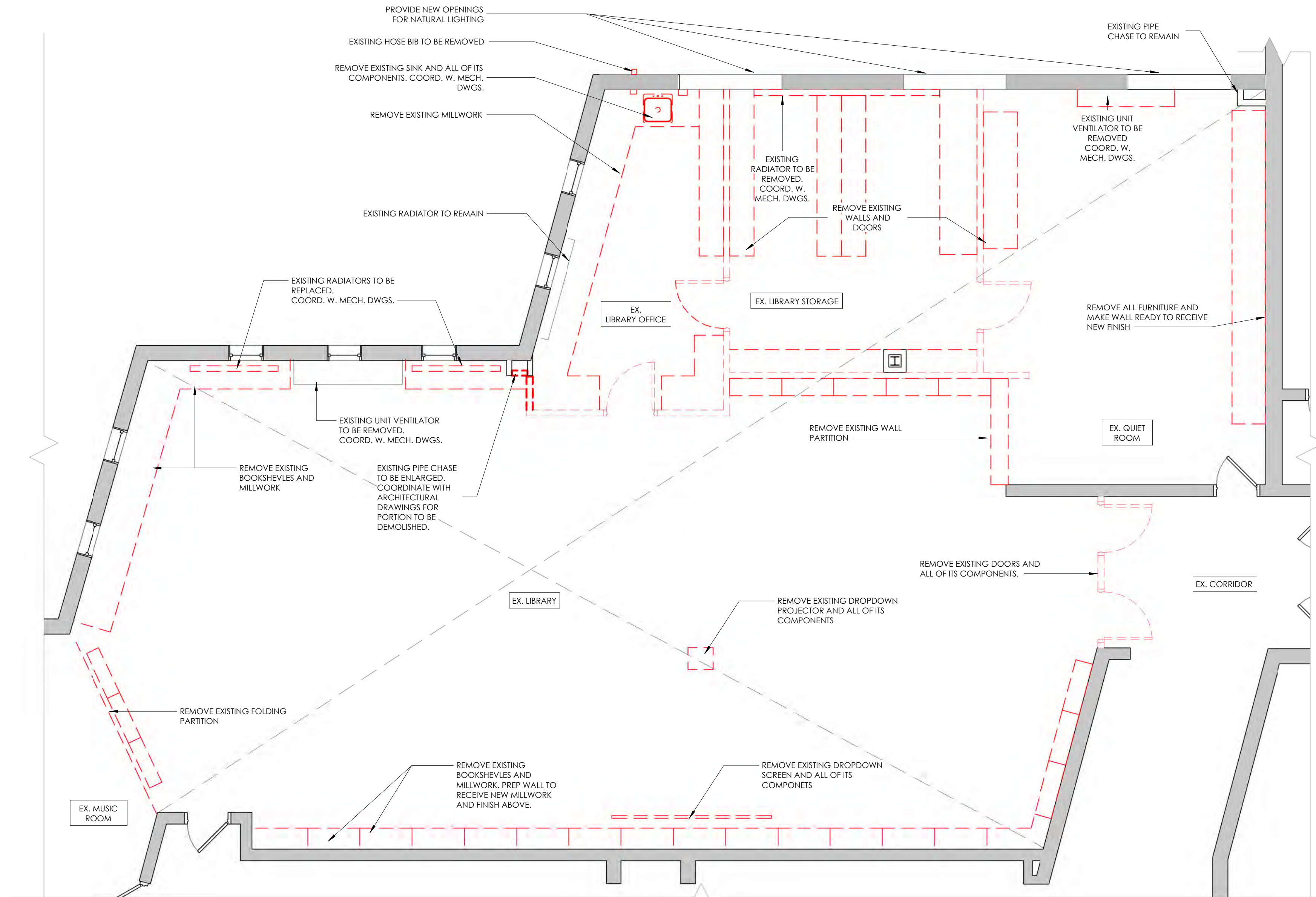
GENERAL DEMOLITION NOTES:

- CONTRACTOR TO VERIFY ALL CONDITIONS ON SITE TO DETERMINE COMPLETE SCOPE OF WORK
- CONTRACTOR TO SECURE THE WORK SITE DURING DEMO & CONST. & HOARD OFF THE WORK AREA TO PREVENT ACCESS TO ANYONE NOT ENGAGED IN THE WORK OF THIS DEMOLITION / CONST. SCOPE
- CONTRACTOR TO PROTECT ALL EXPOSED PORTIONS OF THE EX. BUILDING TO REMAIN / REPLACE & TO REPAIR ANY DAMAGE CAUSED BY INSUFFICIENT PROTECTION
- MAKE GOOD ALL DISTURBED SURFACES & ADJACENT SYSTEMS THAT ARE DAMAGED AND THAT ARE TO REMAIN, PROVIDE CLEAN TRANSITIONS TYPICAL
- MAINTAIN SAFE PUBLIC ACCESS TO THE BLDG. DURING OPERATING HOURS & MAINTAIN FULL EMERGENCY ACCESS & EXITING AT ALL TIMES TO & FROM THE BLDG. & PROVIDE PROTECTION TO THE PUBLIC FROM FALLING DEBRIS & CONST. TRAFFIC & POST SIGNAGE AS REQ'D.
- CONTRACTOR TO INCLUDE REMOVAL AND TERMINATION OF ANY EX. SERVICES CONNECTED TO THE EXISTING BUILDING / LOCATED IN SCOPE OF WORK TO BE DEMOLISHED INCLUDING ANY NECESSARY PERMITS OR UTILITY FEES
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL & DISPOSAL OF ALL MATERIALS THAT ARE DEMOLISHED & THAT ARE NOT INDICATED FOR RE-USE / RECLAIMING / SALVAGING OR AS OTHERWISE INDICATED BY THE OWNER. ALL COSTS ARE PART OF BASE BID SUBMISSION IN ACCORDANCE W/ BEST CONSTRUCTION PRACTICE, OBC, MUNICIPAL & PROVINCIAL LEGISLATURE REGARDING DEMOLITION & DISPOSAL METHODS (RECYCLE ALL MATERIALS WHERE ABLE) & ANY LEAD REQUIREMENTS ALSO SPECIFIED UNDER THIS DOCUMENT
- PERFORM ALL REQUIRED HAZARDOUS MATERIALS REMOVALS & ABATEMENT AS PART OF THIS WORK.
- HAZARDOUS MATERIALS / DESIGNATED SUBSTANCE SURVEY BY:

- ABATEMENT & DEMOLITION INCLUDES THE REMOVAL, PROPER DISPOSAL OFF SITE & RECYCLING WHERE AVAILABLE OF ALL ITEMS INDICATED
- BEFORE DEMOLITION / REMOVAL OF ANY EXISTING WALL SYSTEMS OR PARTIAL WALL SYSTEMS, CONSULT A STRUCTURAL ENGINEER WHEREVER A LOAD BEARING MEMBER / BEAM / LINTEL / POST / COLUMN ARE AFFECTED, SHOP DWGS. ARE TO BE SUBMITTED BEFORE ANY WORK IS UNDERTAKEN!
- PROVIDE AN ENGINEERED METHODOLOGY REPORT FOR DEMOLITION WHEN REQUIRED BY THE MUNICIPALITY
- "TOOTHING IN" MASONRY IS ONLY ACCEPTED WHERE EXISTING MASONRY WALL SYSTEM HAS BEEN DEMOLISHED OR WHERE A NEW OPENING HAS BEEN MADE. REMOVE ANY DAMAGED MASONRY WITH RECLAIMED MATERIAL EXISTING WHERE POSSIBLE. MAKE CLEAN TRANSITIONS TYP.
- MAKE GOOD ALL EXISTING SURFACES / SUBSTRATES / OPENINGS TO RECEIVE NEW FINISHES. INFILL AFTER ANY DEMOLITION OF MATERIALS & ENSURE THEY ARE CLEAN & FREE FROM OBSTRUCTIONS SO NEW WORK IS NOT ADVERSELY AFFECTED.
- PROTECT ALL SIGNIFICANT AREAS / ELEMENTS TO REMAIN DURING DEMOLITION TYP.

SALVAGING

- ALL SALVAGED / REUSED MATERIALS ARE TO BE REMOVED W/ GREAT CARE, KEPT IN DRY PLACE, PLACED ON SKIDS, COVERED & PROTECTED FROM DAMAGE FOR FUTURE USE & IMPLEMENTATION. TAG / NOTE WHERE MATERIALS ARE ORIG. FROM IN THE BLDG. LOCATION TO BE DETERMINED ON SITE W/ OWNER TYP.
- SALVAGED ALL ELC, LIGHT FIXTURES, DOORS / FRAMES & ASSOCIATED HARDWARE, WINDOWS / FRAMES & ASSOCIATED HARDWARE, CONCR. BLOCK (ALSO CONSULT CLIENT FOR ANY ADDITIONAL ITEMS)
- SALVAGE ALL MECH, AIR GRILLES, ELEC, LIGHT SWITCHES, LIGHT FIXTURES, DOORS / FRAMES & ASSOCIATED HARDWARE, WINDOWS / FRAMES & ASSOCIATED HARDWARE



1 LIBRARY DEMOLITION PLAN
D2.1 (1 : 50)
0 500 1000 2000mm

Revision Schedule

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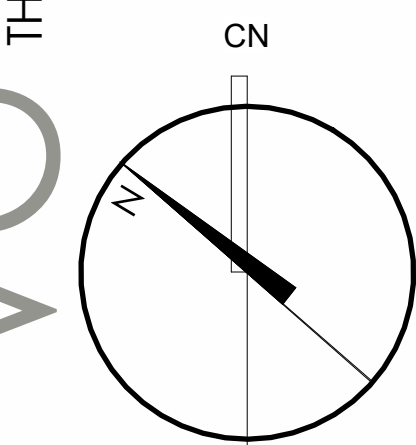
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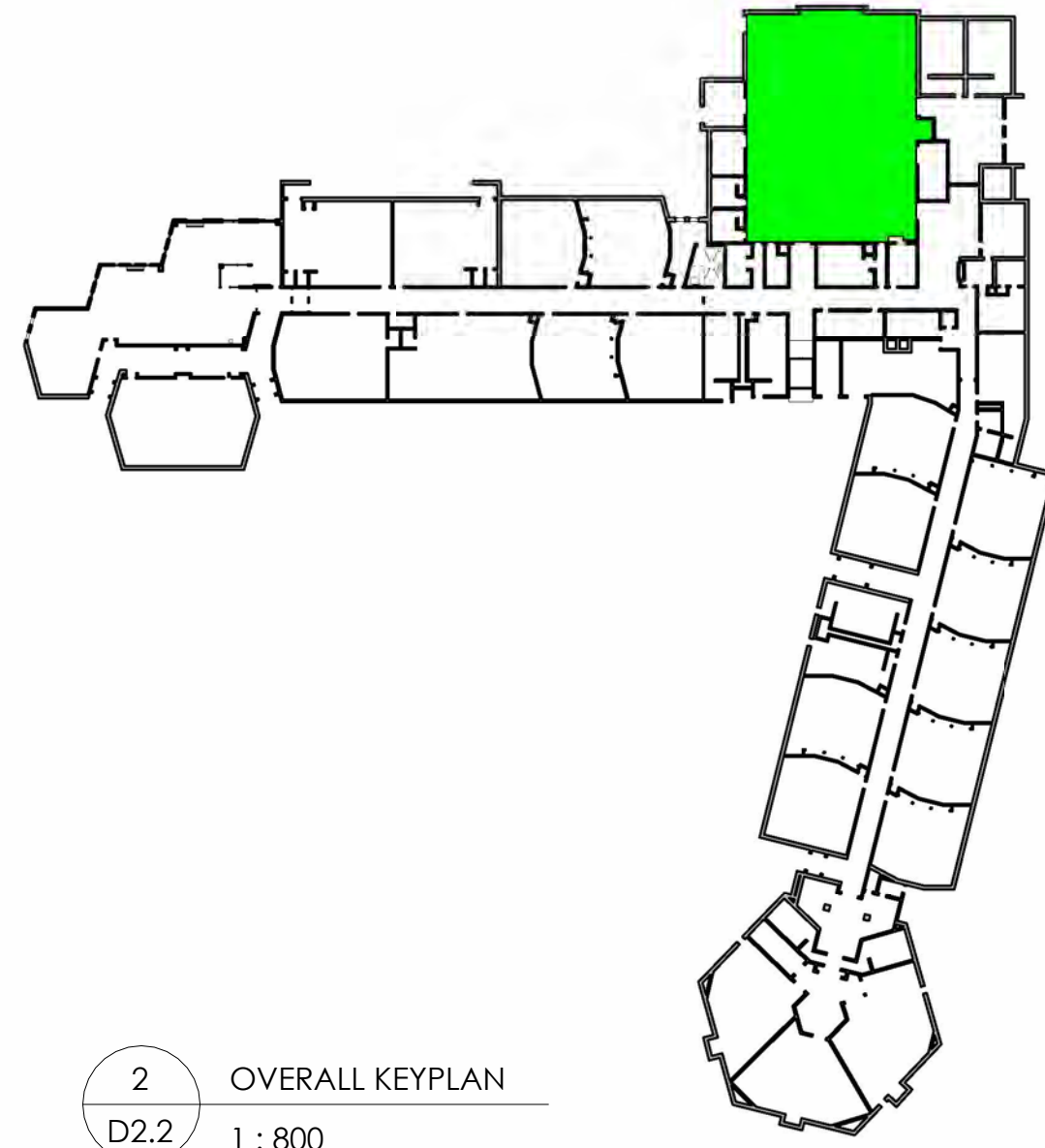
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LIBRARY PLAN - DEMOLITION

D2.1

Drawn by: Author/Checked by: Check/calc: As indicated

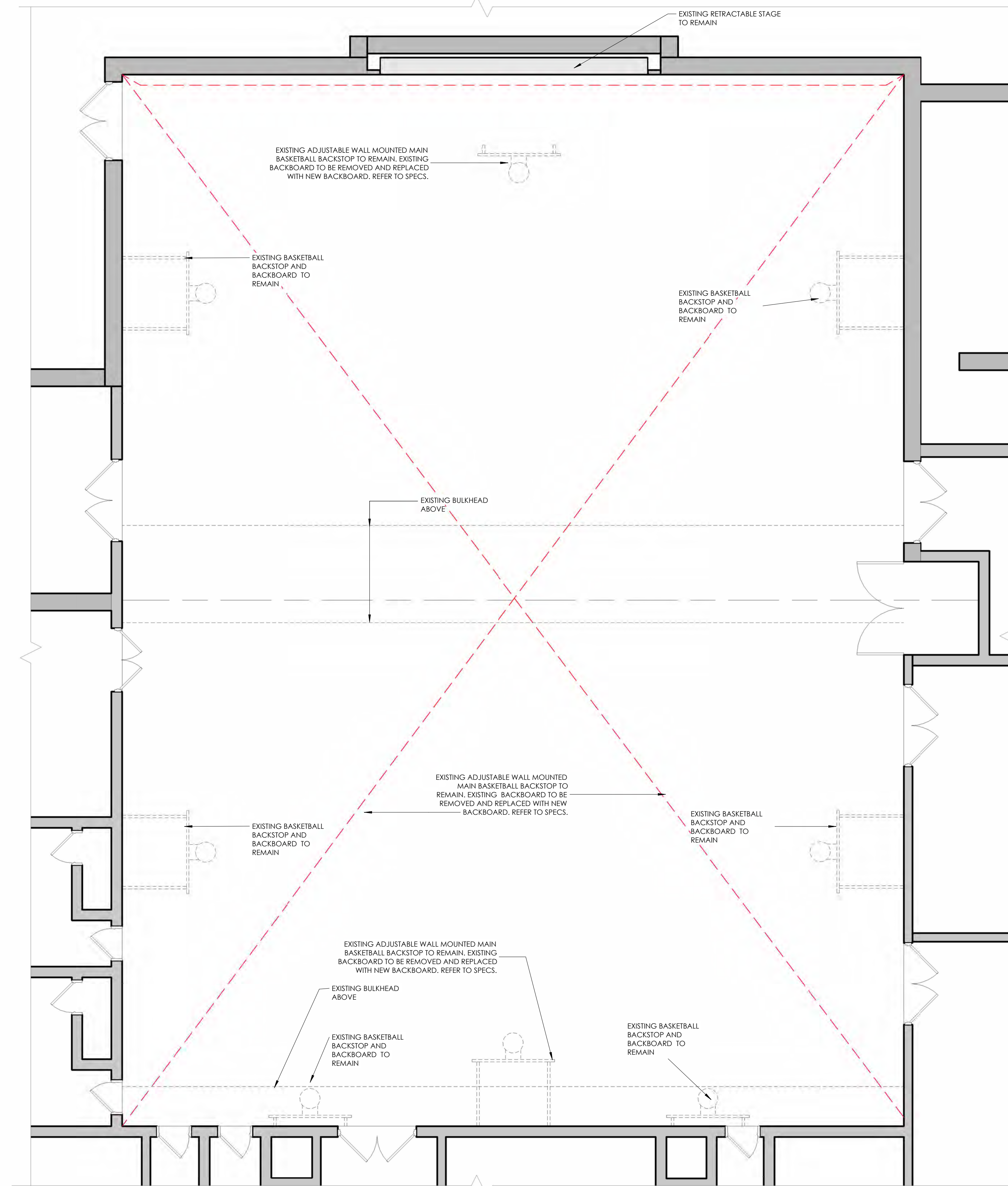
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2 OVERALL KEYPLAN
D2.2 1 : 800

GENERAL LEGENDS	
	EXISTING WALL TO REMAIN
	SCOPE OF WORK
	EXISTING FLOOR, ROOF, CANOPY OR CEILING SURFACES TO BE DEMOLISHED, REPAIRED OR PREPARED AS NOTED. COORDINATE FULL EXTENT WITH ALL OTHERS DISCIPLINES.
	EXISTING FOLDING PARTITION

DEMOLITION NOTES	
FLOOR NOTES	<ul style="list-style-type: none"> REMOVE EXISTING FLOOR FINISH, INCLUDING BUT NOT LIMITED TO FLOOR FINISH, UNDERLAYMENTS, ADHESIVES, BASE, FASTENERS, TO ORIGINAL CONCRETE SUBFLOOR. MAKE ALL DISTURBED SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH. ENSURE ALL NEW & EX. VARIATIONS IN FLR. HEIGHT WITHIN SCOPE OF WORK, HOWEVER MINOR ARE FEATHERED. LEVELED TO PROVIDE A SLOPE OF NOT MORE THAN 10MM/3000MM. REMOVE EXISTING BASEBOARD. REMOVE EXISTING FLOOR SOCKETS AND FILL IT TO MAKE FLOOR CLEAR AND LEVEL.
WALL NOTES	<ul style="list-style-type: none"> REMOVE EXISTING SIGNAGE AND GRAPHICS. PATCH, CLEAN AND MAKE ALL SURFACE LEVEL AND SMOOTH TO RECEIVE NEW FINISH. REMOVE EXISTING INTERIOR WALL FINISH. PATCH, CLEAN AND PREAPRE SURFACE TO RECEIVE NEW PAINT. PROTECT ALL EQUIPMENT ON WALLS
MECH./ ELEC. NOTES	<ul style="list-style-type: none"> REFER TO MECHANICAL AND ELCTRICAL DWGS



1 GYMNASIUM DEMO. FLOOR PLAN
D2.2 1 : 60

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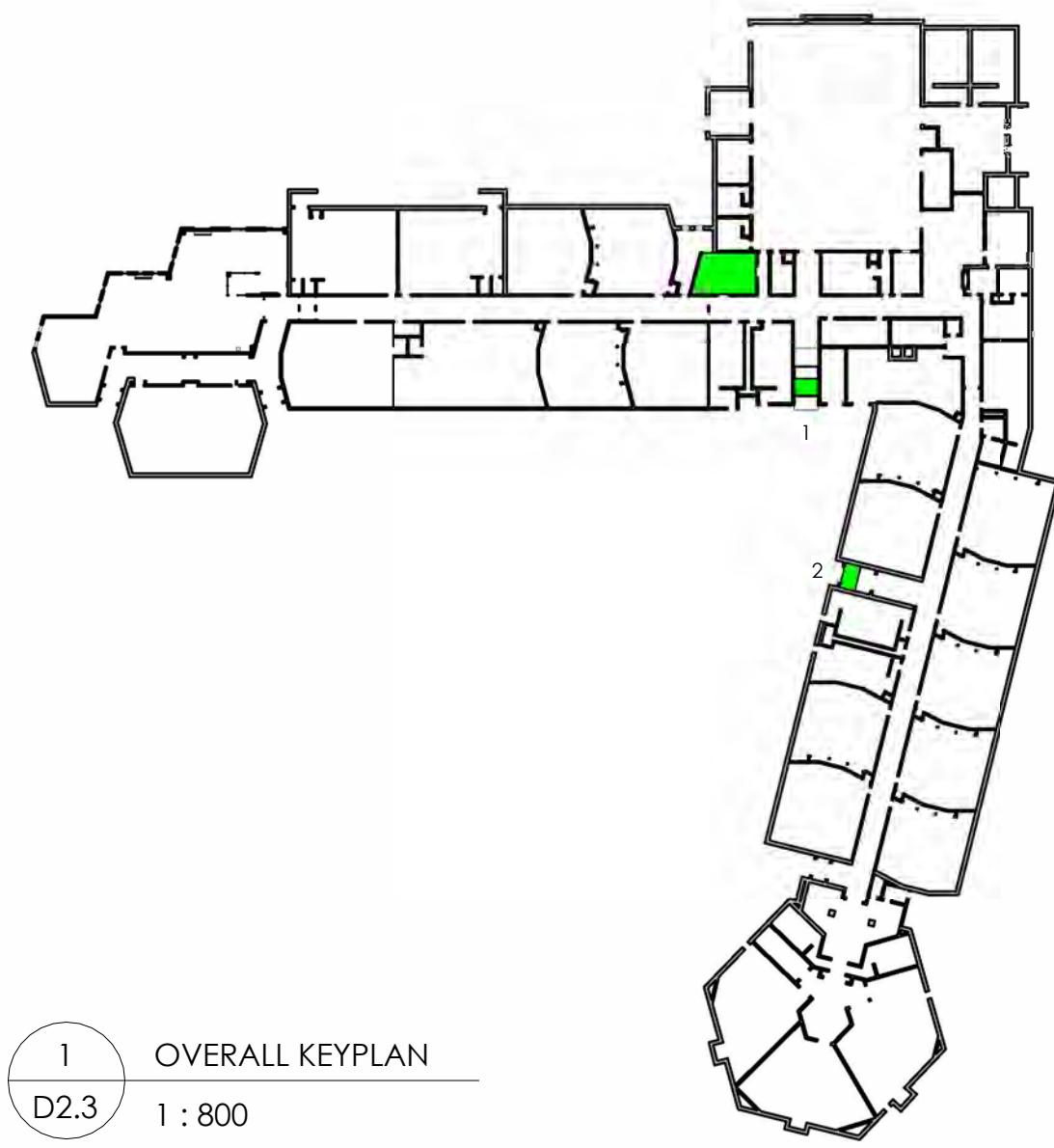
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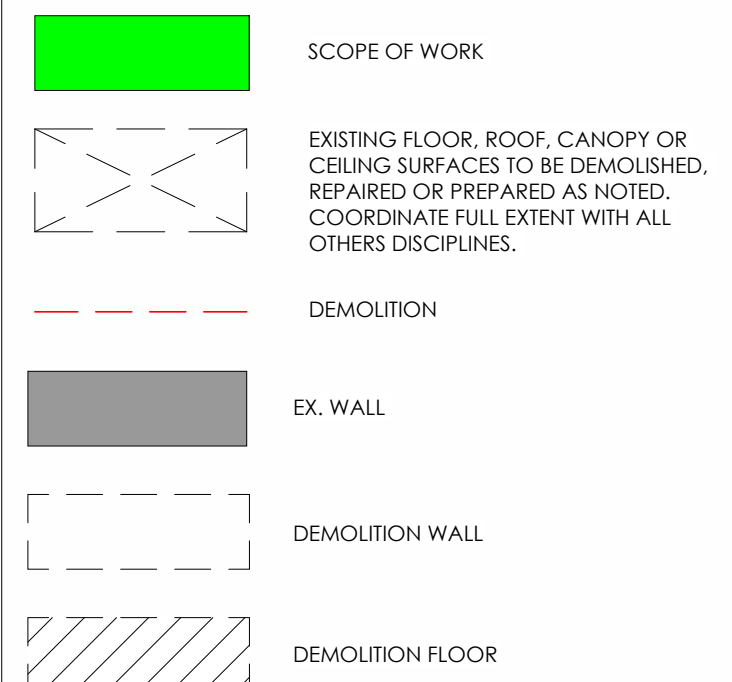
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GYMNASIUM PLAN - DEMOLITION



1 OVERALL KEYPLAN
D2.3 1 : 800

DEMOLITION PLAN LEGEND:



GENERAL DEMOLITION NOTES:

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- MAKE GOOD ALL DISTURBED SURFACES & ADJACENT SYSTEMS THAT ARE DAMAGED AND THAT ARE TO REMAIN. PROVIDE CLEAN TRANSITIONS TYPICAL.
- MAINTAIN SAFE PUBLIC ACCESS TO THE BLDG. DURING OPERATING HOURS & MAINTAIN FULL EMERGENCY ACCESS & EXITING AT ALL TIMES TO & FROM THE BLDG. & PROVIDE PROTECTION TO THE PUBLIC FROM FALLING DEBRIS & CONST. TRAFFIC & POST SIGNAGE AS REQ'D.
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- HAZARDOUS MATERIALS / DESIGNATED SUBSTANCE SURVEY BY:

- ABATEMENT & DEMOLITION INCLUDES THE REMOVAL, PROPER DISPOSAL OFF SITE & RECYCLING WHERE AVAILABLE OF ALL ITEMS INDICATED.
- BEFORE DEMOLITION / REMOVAL OF ANY EXISTING WALL SYSTEMS OR PARTIAL WALL SYSTEMS, CONSULT A STRUCTURAL ENGINEER WHEREVER A LOAD BEARING MEMBER / BEAM / LINTEL / POST / COLUMN ARE AFFECTED. SHOP DWGS. ARE TO BE SUBMITTED BEFORE ANY WORK IS UNDERTAKEN.
- PROVIDE AN ENGINEERED METHODOLOGY REPORT FOR DEMOLITION WHEN REQUIRED BY THE MUNICIPALITY.
- "TOOTHING IN" MASONRY IS ONLY ACCEPTED WHERE EXISTING MASONRY WALL SYSTEM HAS BEEN DEMOLISHED OR WHERE A NEW OPENING HAS BEEN MADE. REMOVE ANY DAMAGED MASONRY WITH RECLAIMED MATERIAL EXISTING WHERE POSSIBLE. MAKE CLEAN TRANSITIONS TYP.
- MAKE GOOD ALL EXISTING SURFACES / SUBSTRATES / OPENINGS TO RECEIVE NEW FINISHES. INFILL AFTER ANY DEMOLITION OF MATERIALS & ENSURE THEY ARE CLEAN & FREE FROM OBSTRUCTIONS SO NEW WORK IS NOT ADVERSELY AFFECTED.
- PROTECT ALL SIGNIFICANT AREAS / ELEMENTS TO REMAIN DURING DEMOLITION TYP.

SALVAGING

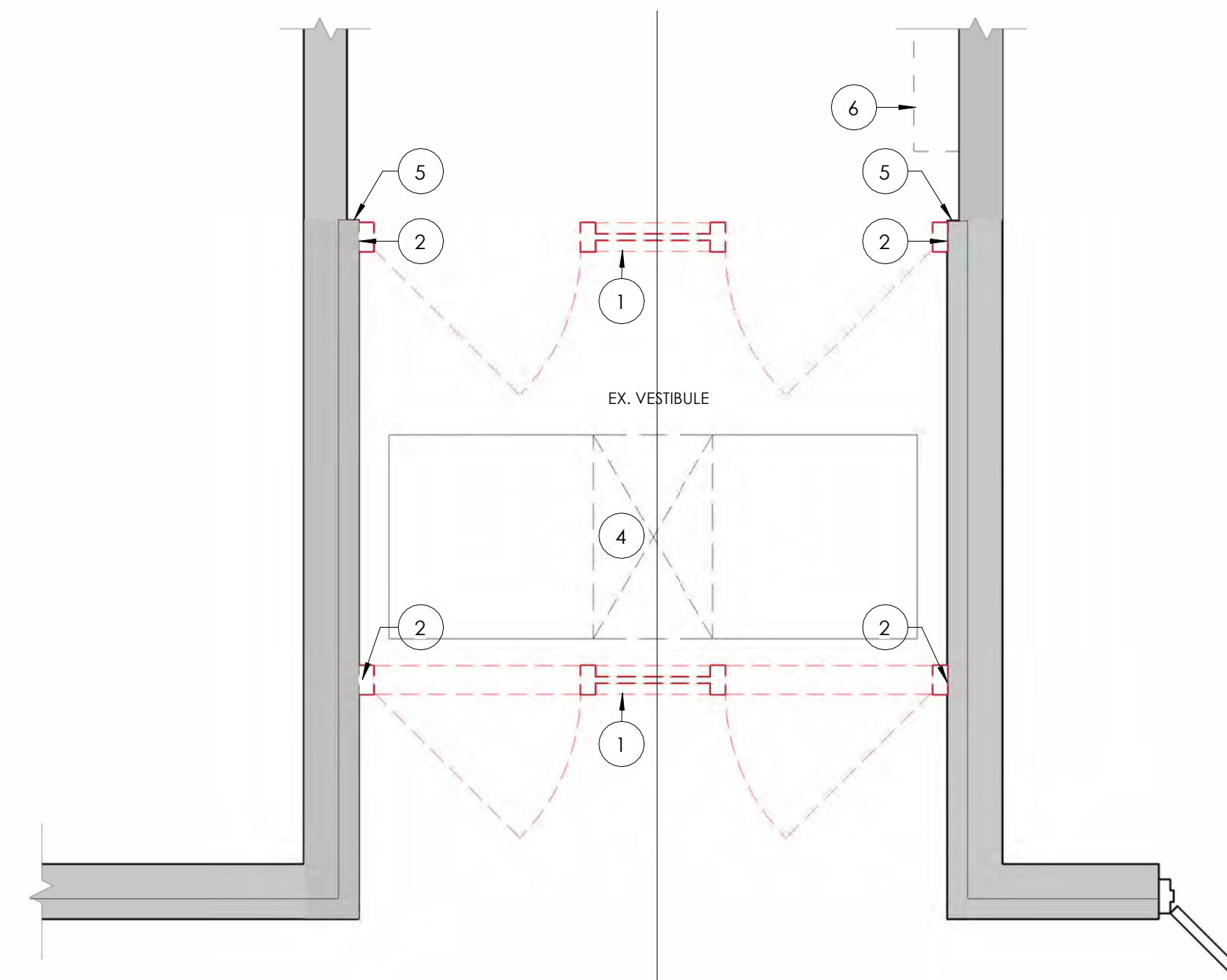
- ALL SALVAGED / REUSED MATERIALS ARE TO BE REMOVED W/ GREAT CARE, KEPT IN DRY PLACE, PLACED ON SKIDS, COVERED & PROTECTED FROM DAMAGE FOR FUTURE USE & IMPLEMENTATION. TAG / NOTE WHERE MATERIALS ARE ORIG. FROM IN THE BLDG. LOCATION TO BE DETERMINED ON SITE W/ OWNER TYP.
- SALVAGED ALL E.L.C., LIGHT FIXTURES, DOORS / FRAMES & ASSOCIATED HARDWARE, WINDOWS / FRAMES & ASSOCIATED HARDWARE, CONC. BLOCK (ALSO CONSULT CLIENT FOR ANY ADDITIONAL ITEMS).
- SALVAGE ALL MECH. AIR GRILLES, F.L.E.C., LIGHT SWITCHES, LIGHT FIXTURES, DOORS / FRAMES & ASSOCIATED HARDWARE, WINDOWS / FRAMES & ASSOCIATED HARDWARE.

CUT OUT EXISTING CONCRETE BLOCK MORTAR JOINTS & REMOVE ALL MORTAR FROM CONCRETE BLOCK FACE TO BE EXPOSED.
FILL ALL ABANDONED OPENINGS & PENETRATIONS & RETOOL ALL MORTAR JOINTS TO MATCH EXISTING.

FILL ALL ABANDONED WALL FLOOR & CEILING OPENINGS TO MATCH EXISTING MATERIALS TYPICAL.

VESTIBULE DEMOLITION NOTES:

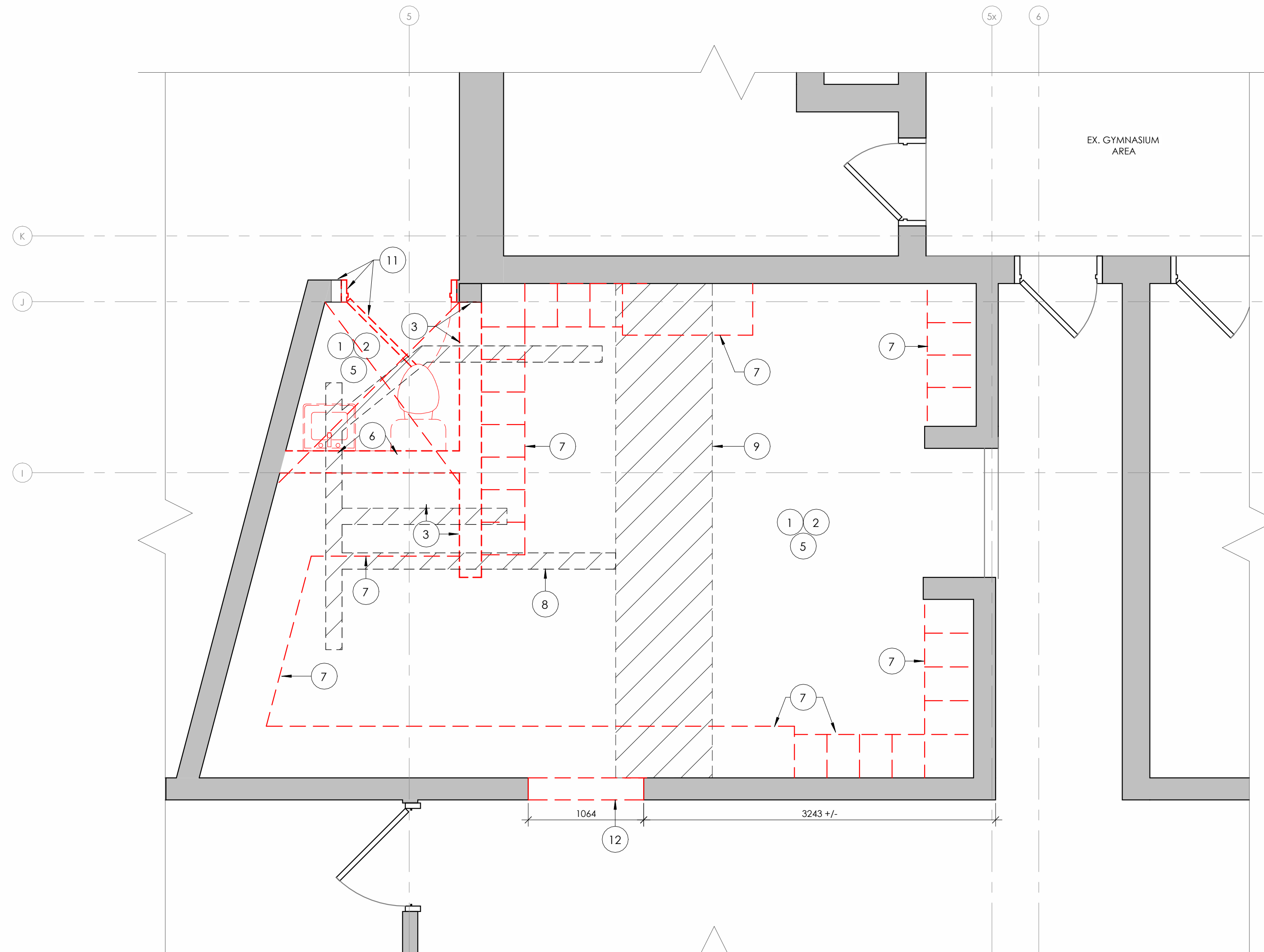
- REMOVE EXISTING ALUMINUM DOORS AND FRAMES, THRESHOLD, ACCESSORIES AND ALL HARDWARES. MAKE ALL SURFACES LEVEL AND SMOOTH TO ACCEPT NEW BR DOORS AND FRAMES
- EXISTING BRICK WALLS AND TERRAZZO FLOOR TO BE PATCHED & MADE GOOD AND CLEANED
- EXISTING ASBESTOS SOFFIT AND VESTIBULE CEILING TO BE REMOVED / ABATED.
- EXISTING TERRAZZO FLOOR BETWEEN EXISTING RECESSED MATS TO BE GRINDED DOWN 16mm DEPTH TO ENLARGE MAT RECESS
- EXISTING TERRAZZO BASE RETURN TO BE SAWCUT
- EXISTING CUH TO BE REMOVED / RELOCATED (REFER TO MECH. DWGS.)



3 DEMOLITION PLAN - EXISTING VESTIBULE 1 & 2
D2.3 1 : 25

WASHROOM DEMOLITION NOTES:

- REMOVE EXISTING FLOOR FINISH, INCLUDING BUT NOT LIMITED TO FLOOR FINISH, UNDERLAYMENTS, ADHESIVES, BASE, FASTENERS, TO ORIGINAL CONCRETE SUBFLOOR. MAKE ALL DISTURBED SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH.
- REMOVE EXISTING CEILING FINISH AND LIGHT FIXTURES & RELATED HARDWARE. MAKE ALL SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH.
- REMOVE EXISTING CONCRETE BLOCK WALL. PATCH AND MAKE GOOD REMAINING EXPOSED SURFACES
- REMOVE EXISTING INTERIOR WALL FINISHES. PATCH, CLEAN AND MAKE ALL SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH.
- REMOVE EXISTING ELECTRICAL WIRES, OUTLETS AND HARDWARES/ACCESSORIES AND RETURNED IT TO SCHOOL BOARD IF REQUESTED. MAKE ALL DISTURBED SURFACES LEVEL AND SMOOTH.
- REMOVE EXISTING PLUMBING FIXTURES AND RELATED HARDWARE, AND EXISTING WALL MOUNTED WASHROOM ACCESSORIES.
- REMOVE EXISTING CHANGEROOM BENCHES, SHELVES, & LOCKERS. RETURN TO SCHOOL BOARD IF REQUESTED.
- EXISTING CONC. FLOOR SLAB TO BE SAWCUT / TRENCHED FOR INSTALLATION OF NEW MECHANICAL PIPES
- EXISTING CONC. FLOOR SLAB TO BE SAWCUT / TRENCHED FOR INSTALLATION OF NEW CONCRETE REINFORCED SLAB WALL FOOTING
- EXISTING CONC. FLOOR SLAB SURFACE TO BE GRINDED DOWN TO PROVIDE SLOPE TO NEW FLOOR DRAIN
- EXISTING DOOR, RELATED HARDWARE, AND FRAME TO BE REMOVED. EXISTING OPENING TO BE ENLARGED TO INSTALL NEW WIDER DOOR (REFER TO DOOR SCHEDULE)
- SAWCUT NEW OPENING IN EXISTING CONC. BLOCK WALL TO INSTALL NEW DOOR (REFER TO DOOR SCHEDULE)



2 DEMOLITION PLAN - UNIV. WASHROOM & CHANGEROOM
D2.3 1 : 30

Revision Schedule

Particular	Date	No.
ISSUED FOR TENDER	2023.03.06	1

ALL DIMENSIONS MARKED TO AND FROM EXISTING BUILDING ELEMENTS ARE APPROXIMATE AND MUST BE CONFIRMED ON SITE BEFORE STARTING CONSTRUCTION STARTS.

MILLWORK CABINETS ARE TO BE EXTENDED AS REQUIRED TO BE CONTINUOUS THROUGHOUT ALL WALLS WHERE MILLWORK IS REQUIRED. ALL MILLWORK DIMENSIONS ARE INDICATIVE.

MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAIN WALLS AND SCREENS REQUIRED FOR THIS RENOVATION BEFORE ORDERING AND ASSEMBLING



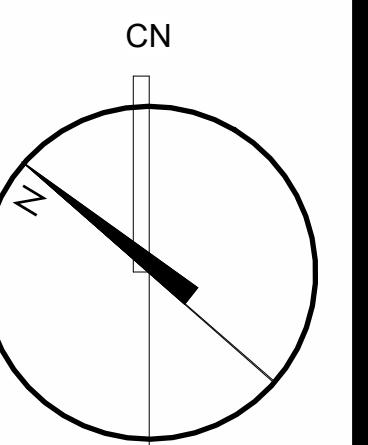
CLIENT
CRESTVIEW PUBLIC SCHOOL

PROJECT:
22057
RENOVATION

153 MONTCALM DRIVE
KITCHENER, ON
N2B 2R6

ORIGINAL PAGE SIZE ARCH D - 24" X 36"

+VVG ARCHITECTS
THE VENTIN GROUP LTD



D2.3

Revision Schedule		
Particular	Date	No.
ISSUED FOR TENDER	2023.03.06	1

ALL DIMENSIONS MARKED TO AND FROM EXISTING BUILDING ELEMENTS ARE APPROXIMATE AND MUST BE CONFIRMED ON SITE BEFORE STARTING CONSTRUCTION STARTS.

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MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAIN WALLS AND SCREENS REQUIRED FOR THIS RENOVATION BEFORE ORDERING AND ASSEMBLING.

All dimensions and measurements must be checked and verified by the General Contractor without written permission of the Ventin Group.



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CRESTVIEW PUBLIC SCHOOL

PROJECT:
22057
RENOVATION

153 MONTCALM DRIVE
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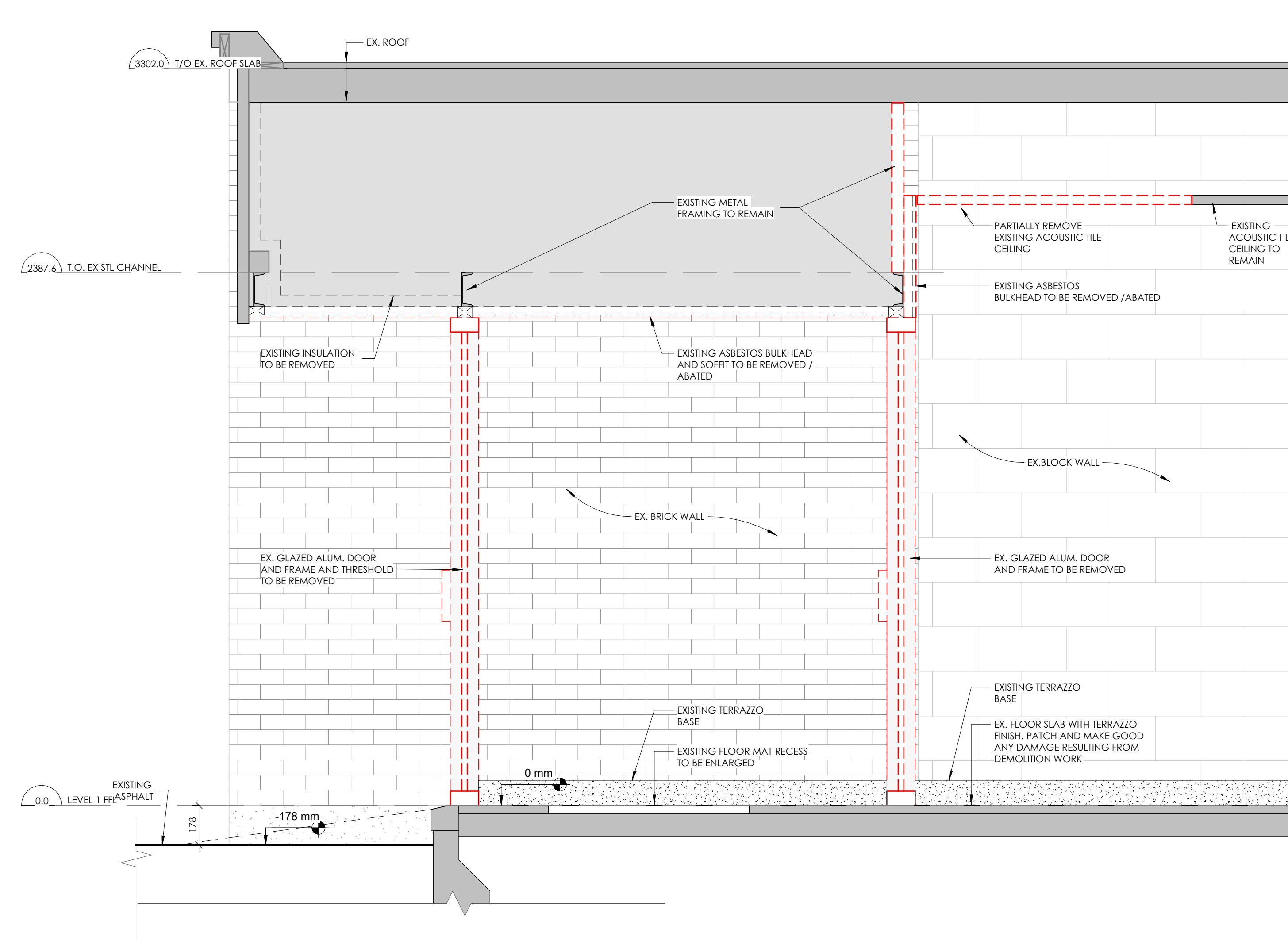
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DEMOLITION SECTION - VESTIBULE 1 & 2

D4.1

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1 DEMOLITION SECTION - VESTIBULE 1 & 2
D4.1 1 : 15