

PROPOSED CHANGE NO. SC-01-002R1

To: Golden Gate Contracting
1038 Cooke Blvd., Unit #1
Burlington, ON
L7T 4A8
P: 905-844-1122
F: 905-844-0051

Date: July 24, 2025
File: 9.1.7.4.2_SC-01_PC
Project No.: 2215C
Project: TA Blakelock HS Reno - Phase 3
Subcontract: SC-01 General

Pursuant to paragraph 6.2.1 of GC 6.2 - CHANGE ORDER in CCDC 3 - 2016, indicate within 7 days of the above date the changes to the *Contract Price*, *Contractor's Fee* and *Contract Time* for the following proposed change in the *Work*. Do **not** proceed with the change without a *Change Order* or *Change Directive* authorizing a change in the *Work*.

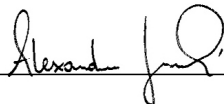
Description: Elevator 2 (drama area)

This PC#SC-01-002r1 replaces previous version.

1. Refer to attached updated A100 floor plans and A104 updated sections.
2. Refer to Structural CONTEMPLATED CHANGE NOTICE No. S1 item 1 for requirements.
3. Mechanical CCN to follow adjusting sump pit location and corresponding drainage and piping to it. Electrical CCN to follow confirm power and control until location for sump pit.
4. Refer namely to sump pit relocation, deletion of underpinning along West side of Drama Room (Refer to Structural CCN for scope).
5. Provide 36x 36 ACUDOR FT-8050 concrete floor door, single leaf, 1" recessed to receive flooring. Provide cut sheet. Note this ACUDOR is intended to clear the 24" dia sump pit including sump pit flange. Confirm with vendor. Set sump pit lid just at u/s of lid opening. Provide cut sheet of ACUDOR. Run sump pit venting and discharge line within adjacent 190mm CMU wall.

Prepared by the Consultant

Alex Jacobi



July 24, 2025

Distributed to:

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Bil Kassaa

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Golden Gate Contracting

Halton District School Board

Kalos Engineering Inc

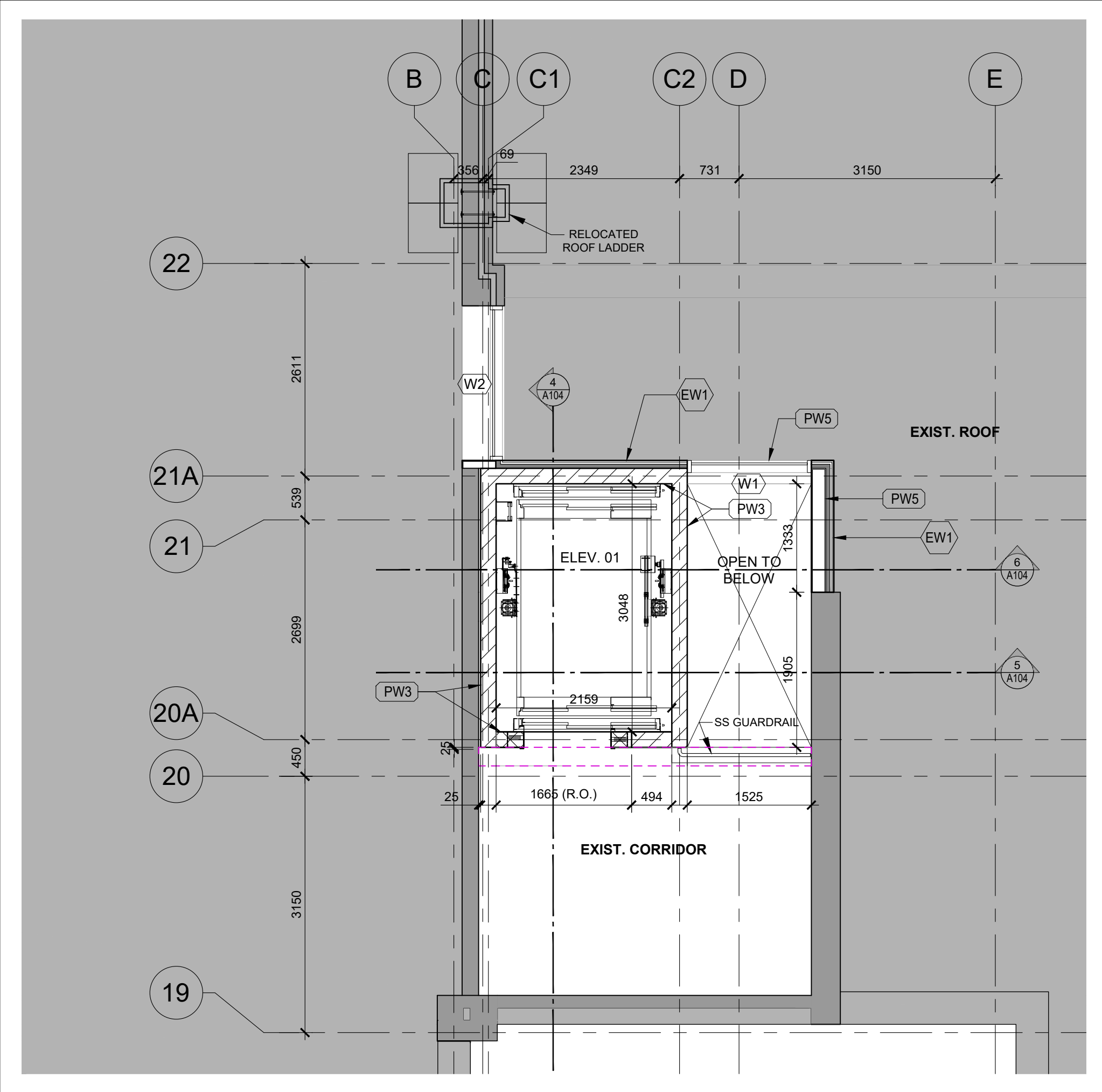
Snyder Architects Inc.

office@ggcontracting.ca

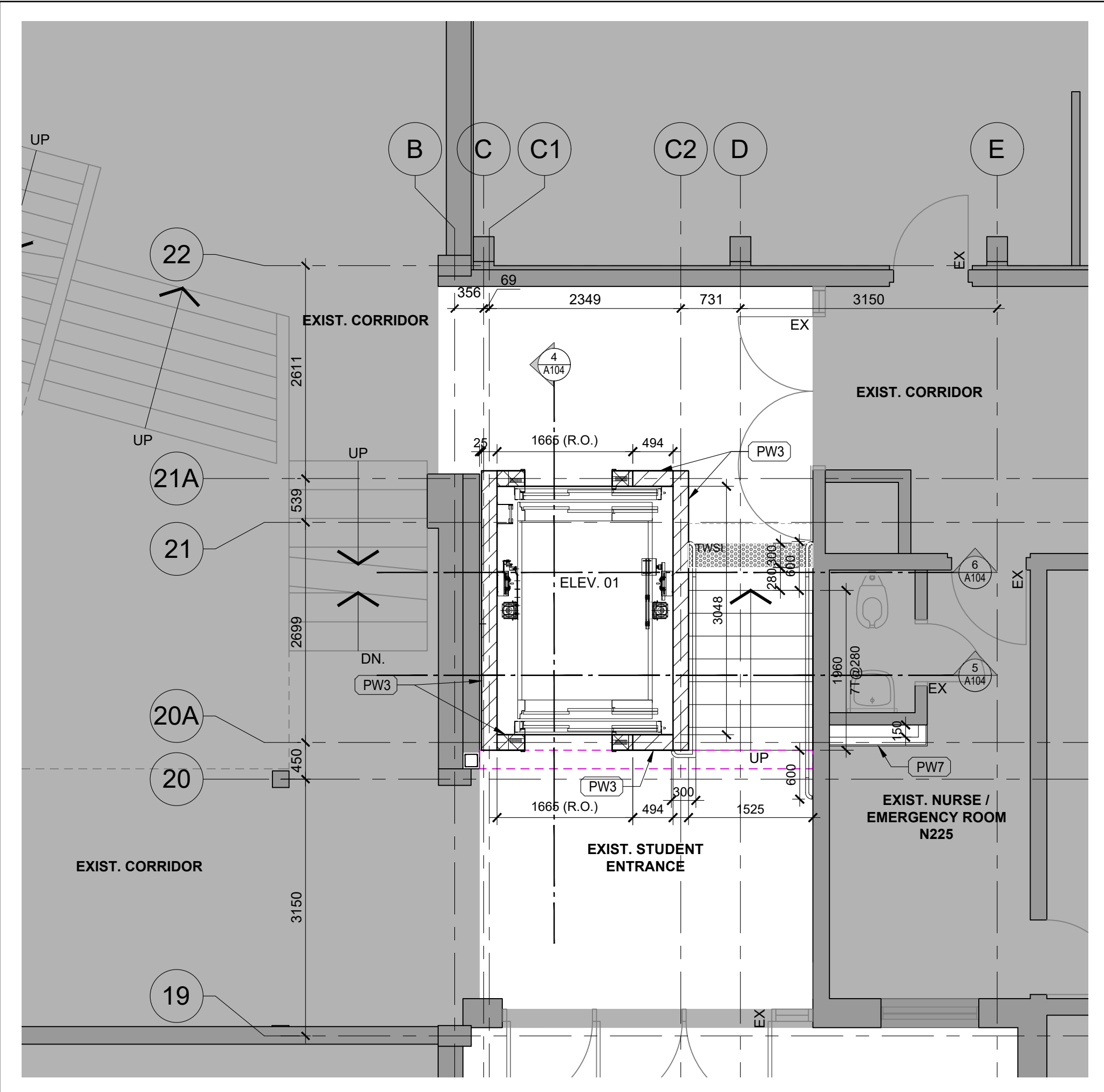
hutchesont@hdsb.ca

elih@kaloseng.ca

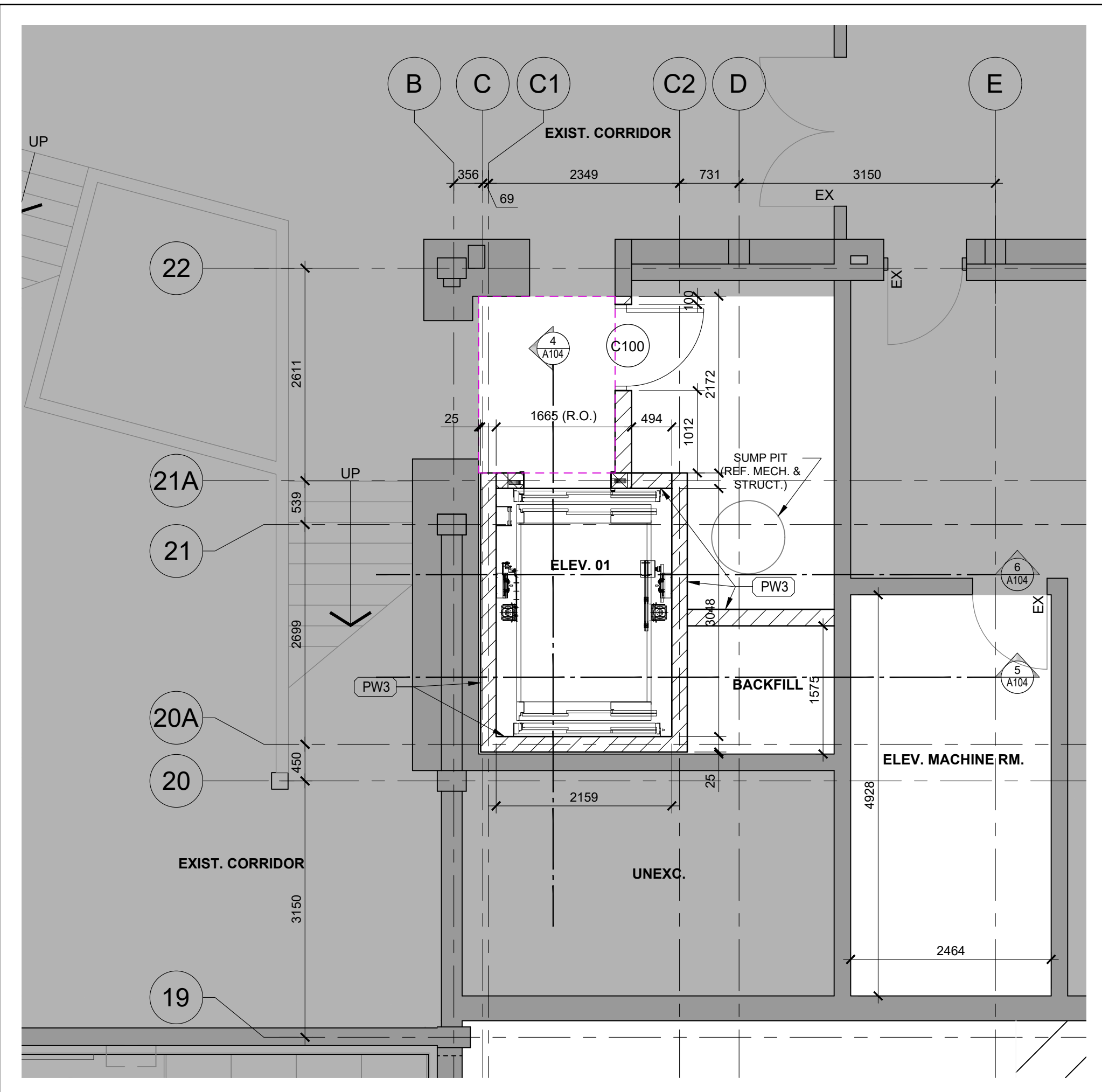
ajacobi@snyderarchitects.ca



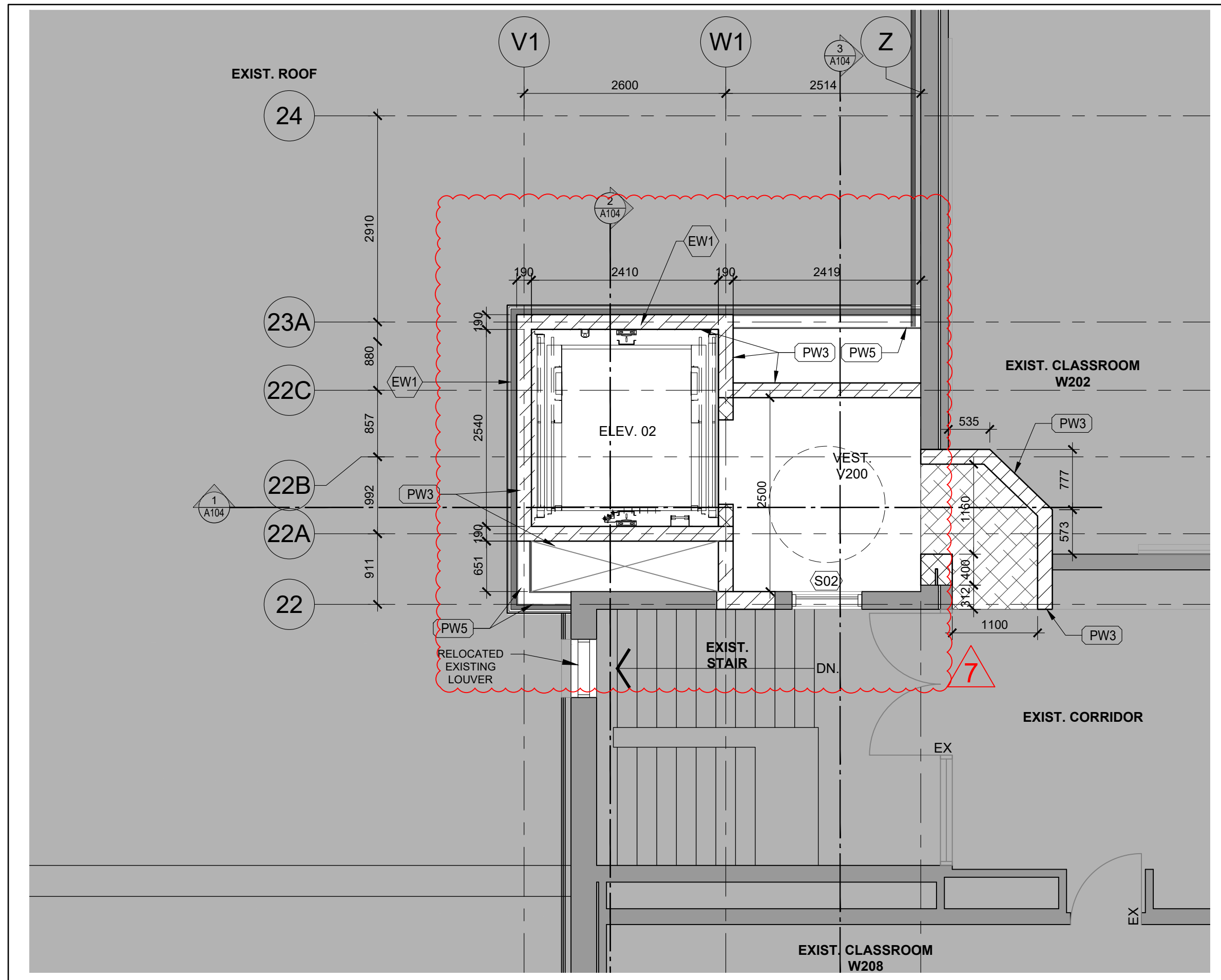
7 PARTIAL FLOOR PLAN - LEVEL 2 & ROOF
A100 1:50



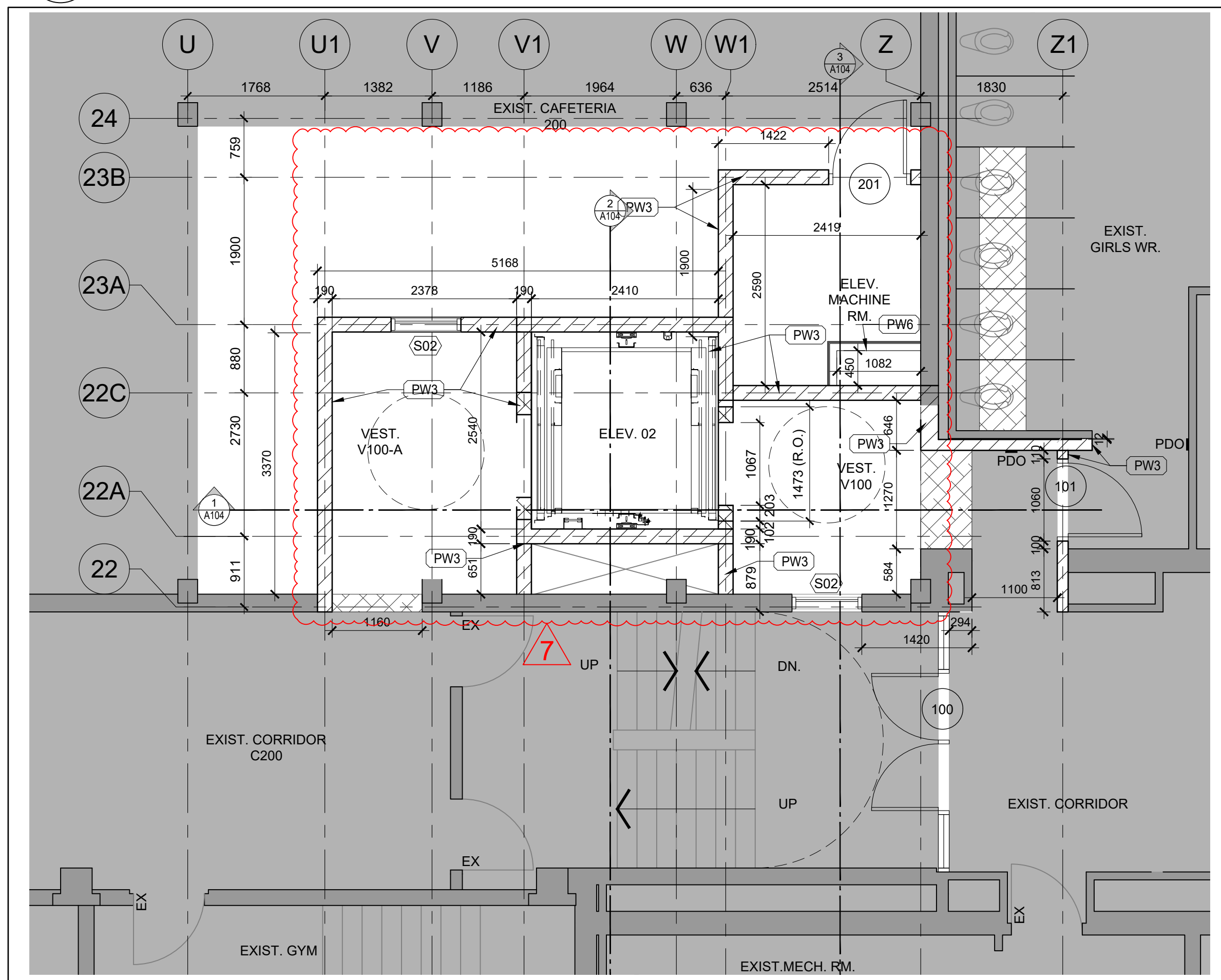
5 PARTIAL FLOOR PLAN - LEVEL 1 & 1A
A100 1:50



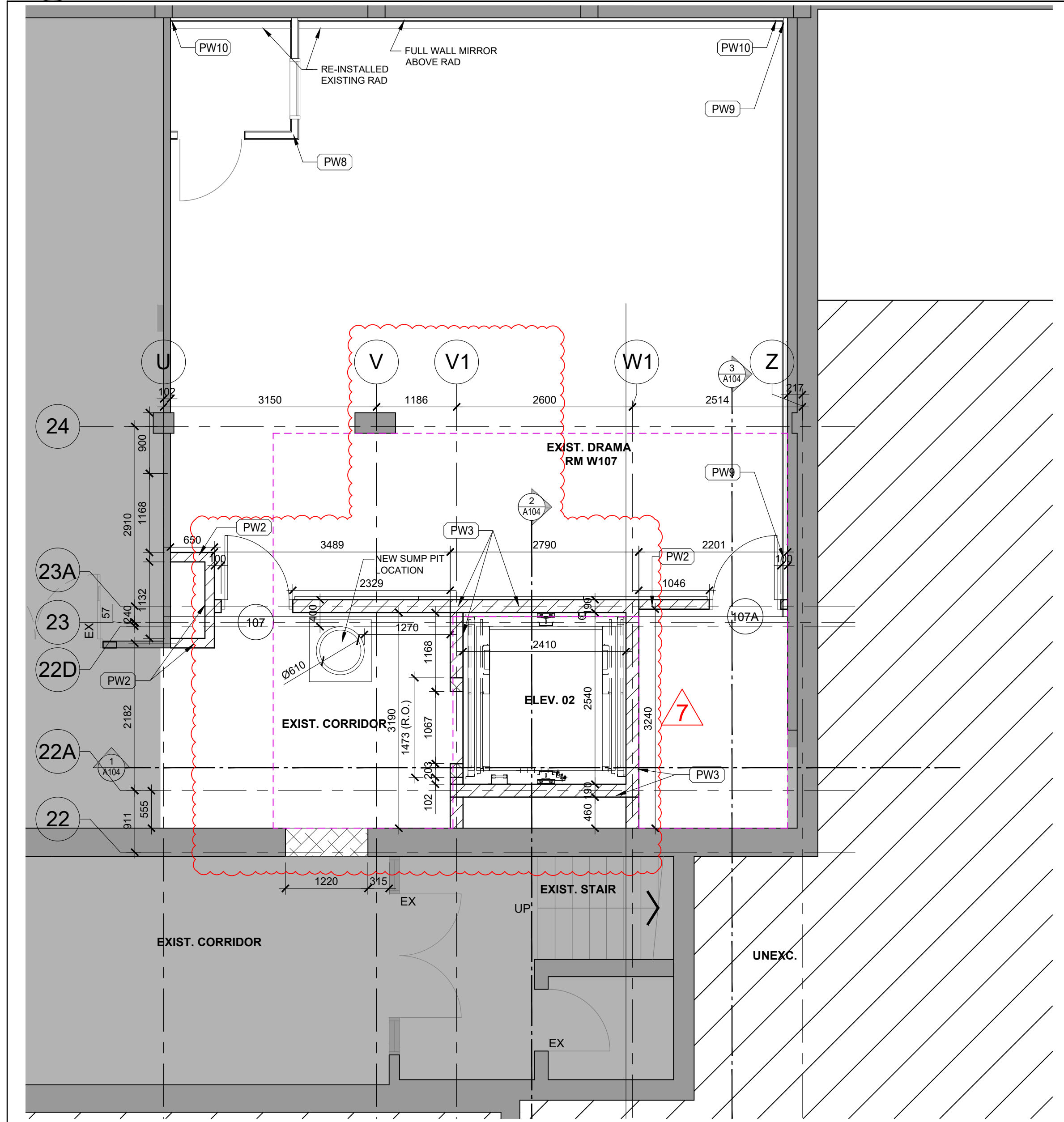
3 PARTIAL FLOOR PLAN - LEVEL 0
A100 1:50



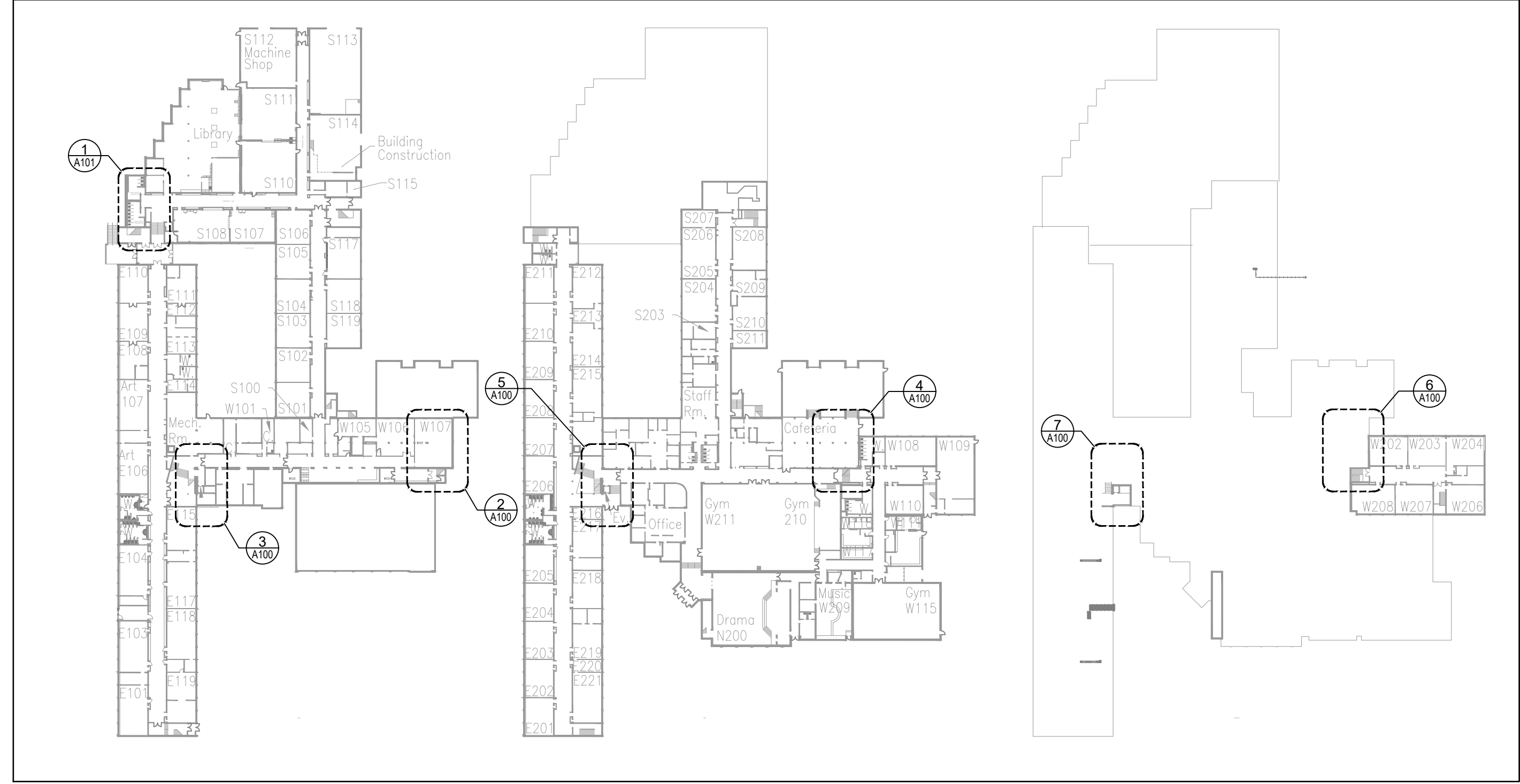
6 PARTIAL FLOOR PLAN - LEVEL 2 & ROOF
A100 1:50



4 PARTIAL FLOOR PLAN - LEVEL 1 & 1A
A100 1:50



2 PARTIAL FLOOR PLAN - LEVEL 0
A100 1:50



1 KEY PLANS - LEVEL 0, 1 & 2
A100 1:5000

LEGEND

- EXISTING WALLS TO REMAIN
- NEW MASONRY WALL
- NEW STUD PARTITION
- EXISTING AREA NOT INCLUDED IN THE SCOPE OF RENOVATION WORK
- EXISTING DOOR TO REMAIN
- NEW DOOR AND FRAME - REFER TO DOOR SCHEDULE
- APPROXIMATE EXTENT OF SLAB RESTORATION / NEW SLAB. COORDINATE W/ STRUCTURAL DWGS.
- AREA OF FLOOR INFILL & REPAIR. REFER TO DWG. A103.

NEW WALL TYPES:

- (EW1) METAL WALL PANEL (MWP) on 25mm Z-GRID on 75mm THERMAL SPACERS W/ 75mm SPRAY FOAM INSUL. (INS-FIP-1)
- (PW1) 90mm CONCRETE MASONRY UNIT WALL
- (PW2) 140mm CONCRETE MASONRY UNIT WALL
- (PW3) 190mm CONCRETE MASONRY UNIT WALL
- (PW4) 200mm CONCRETE MASONRY UNIT WALL
- (PW5) 13mm GSB (EXTERIOR SIDE) 152mm METAL STUDS @400mm O.C. W/ 100mm INS-BB-1 16mm GB-AR
- (PW6) 2 LAYERS OF 16mm TYPE 'X' GB (GB-AR) 92mm METAL STUDS @400mm O.C. W/ 80mm INS-BB-1 16mm GB-AR
- (PW7) 16mm GB (ABUSE AND WATER RESISTANT) 92mm METAL STUDS @400mm O.C. W/ 80mm INS-BB-1 16mm GB-AR
- (PW8) 16mm GB (ABUSE AND WATER RESISTANT) 92mm METAL STUDS @400mm O.C. W/ 80mm INS-BB-1 16mm GB-AR
- (PW9) 16mm GB (ABUSE AND WATER RESISTANT) 92mm METAL STUDS @400mm O.C. W/ 80mm INS-BB-1 16mm GB-AR
- (PW10) 16mm GB (ABUSE AND WATER RESISTANT) 38mm METAL FURRING CHANNELS

ABBREVIATIONS:

- ACT - ACUSTIC CEILING TILE
- AFF - ABOVE FINISH FLOOR
- CAF - CAFETERIA
- CET - CERAMIC TILE
- CMU - CONCRETE MASONRY UNIT
- CONT - CONTINUOUS
- CORR - CORRIDOR
- CS - SEALED CONCRETE
- CW - EXPANSION JOINT
- E-J - ELEVATOR
- ELEV. - ELEVATOR
- EXIST. - EXISTING
- EXP. - EXPOSED
- EXT - EXTERIOR
- FD - FLOOR DRAIN, SEE MECH. DWGS
- FRR - FIRE RESISTANT RATING
- GB - GYPSUM BOARD
- GB-AR - ABUSE RESISTANT GYPSUM BOARD
- HM - HOLLOW METAL
- PFT - PORCELAIN FLOOR TILE
- PDO - POWER DOOR OPERATOR
- RD - ROOF DRAIN
- R.O. - ROUGH OPENING
- SIM - SIMILAR
- T/O - TOP OF
- UNEX. - UNLESS NOTED OTHERWISE
- UNEXC. - UNDERSIDE
- US - UNDERSIDE
- VEST. - VESTIBULE
- WI - WITH

NEW FLOOR TYPES:

- FLOOR TYPE 1 FLOOR FINISH AS PER ROOM FINISH SCHEDULE CONCRETE SLAB - THICKNESS AS PER STRUCT. BELOW-SLAB VAPOUR RETARDER AGGREGATE BASE COURSE
- FLOOR TYPE 2 (1 HR FIRE RATED) FLOOR FINISH AS PER ROOM FINISH SCHEDULE CONCRETE ON STEEL DECK ON STEEL FRAME

ROOF TYPES & LEGEND:

- R1 BUILT-UP BITUMINOUS ROOFING (SECTION 07 51 00) GRAVEL SURFACE FINISH (HOT APPLIED FLOOD COAT) 4-PLY TYPE IV FELT WITH 1-PLY COMPOSITE FELT WITH HOT APPLIED INTER-PLY ADHESIVE 15mm COVER BOARD VARYING THICKNESS TAPERED INSULATION (INS-RB-3) WHERE REQUIRED 100mm / 2 LAYERS MIN.) ROOF INSULATION (INS-RB-3) VAPOUR RETARDER 12mm UNDERLAY BOARD METAL DECK STEEL ROOF STRUCTURE - SLOPE ACCORDING TO ROOF PLAN
- R2 ROOFING TO MATCH EXISTING BUILT-UP ASPHALT ROOFING 1-PLY MODIFIED MEMBRANE PLUS 3 PLY BITUMINOUS FELT MEMBRANE 15mm FIBERBOARD TAPERED THICKNESS TAPERED INSULATION 65.5mm ROOF INSULATION VAPOUR RETARDER EXISTING METAL/SIPOREX DECK
- R14 BUILT-UP BITUMINOUS ROOFING (SECTION 07 51 00) SAME AS R1 EXCEPT EXISTING METAL/CONCRETE DECK

FIRE PROTECTION SCHEDULE

CONDITION	FRR REQ'D	FIRE PROTECTION
INTEL >2m @ LOAD BEARING WALL	1 HR	CMU (TYP.) OBC SB-2.1.1; or SPRAY FIREPROOFING ULC #F906 or PROVIDE INTUMESCENT COATING* or GYPSUM BOARD ASSEMBLY: ULC #0603
INTEL >3m @ NON-LOAD BEARING WALL	1 HR	
IN 1HR FIRE SEPARATION	1 HR	
SUPPORTING FLOOR	1 HR	
FLOOR	1 HR	POUR IN PLACE CONCRETE: OBC SB-2.2.1 FLOOR TYPE F2 - COMPOSITE ULC #F906
WALL	1 HR	CMU (TYP.) OBC SB-2.1.1; or SPRAY FIREPROOFING ULC #F906 or PROVIDE INTUMESCENT COATING* or GYPSUM BOARD ASSEMBLY: ULC #W407
CEILING AS 1 HR FIRE SEPARATION	1 HR	MEMBRANE CEILING: OBCSB #09-1-116

FIRE PROOFING NOTES:

- PROVIDE FIRESTOP & SEAL AT ALL SLAB EDGES.
- PROVIDE FIRESTOP & SEAL AT ALL STRUCTURAL MEMBER THAT PENETRATE FIRE SEPARATIONS.
- PROVIDE FIRESTOP & SEAL AT ALL FIRE SEPARATIONS THAT TERMINATES @ EXTERIOR WALLS.
- ENSURE REQUIRED RATING WITH CMU; GROUT SOLID WHERE NECESSARY.
- SEAL TOP OF FIRE SEPARATION WITH FIRE STOPPING.
- PRIME ROOF BEAMS, ALL LINTELS & EXPOSED BEAMS.
- CONTRACTOR TO PROVIDE APPROPRIATE CMU TYPE TO ACHIEVE REQUIRED FIRE RATING AT SPECIFIED THICKNESS.
- * INTUMESCENT COATING SYSTEM TO YIELD FRR AS NOTED IN SCHEDULE ABOVE. REFER TO SPEC SECTION 09 96 46 FOR DETAILS.

FIRE RATING LEGEND

REFER TO A401 FOR INDICATION OF FIRE SEPARATIONS ON FLOOR PLANS

FIRE PROOFING NOTES:

- FIRE STOP AT ALL CORRIDOR PENETRATIONS NEW AND EXISTING. MAINTAIN EXISTING FIRE SEPARATIONS. ASSUME EXISTING CORRIDORS ARE 1 HOUR RATED. PROVIDE FLANGES ON DUCT PENETRATIONS AND FIRE DAMPERS AT CORRIDOR WALL FOR NEW DUCTS.
- PROVIDE FIRESTOP & SEAL AT ALL FIRE SEPARATIONS THAT TERMINATE AT EXTERIOR WALLS.
- ENSURE REQUIRED RATING WITH CMU; GROUT SOLID WHERE NECESSARY.
- SEAL TOP OF FIRE SEPARATION WITH FIRE STOPPING, OR ULC RATED ASSEMBLY OF SAME RATING AS THE FIRE SEPARATION.
- SPRAY ALL NEW BEAMS, COLUMNS SUPPORTING FLOOR ASSEMBLY W/ 1 HOUR FRR SPRAY FIREPROOFING EXCEPT WHERE INTUMESCENT PAINT IS SPECIFIED (ALL EXPOSED STRUCTURAL STEEL ELEMENTS).
- PRIME ALL LINTELS - REFER TO STRUCT. DWGS AND SPECS.
- PROVIDE FIRE PROOFING PRODUCTS AS LISTED IN THE ULC/UL NOTED, OR APPROVED EQUIVALENT.

GENERAL FLOOR FINISH NOTES:

- TRANSITION STRIP IN EVERY CHANGE OF MATERIAL.
- ALL TRANSITIONS BETWEEN DIFFERING MATERIALS TO BE FLUSH.
- ALL FLOOR FINISH TRANSITIONS TO MEET UNDER DOOR (WHERE DOOR OCCURS).
- ALL TERRAZZO INFILLS TO EXTEND TO NEXT METAL STRIP.
- CONTROL JOINT IN TILING SYSTEM EVERY 10 METERS.
- ALL EXISTING BASE TO BE REMOVED PRIOR TO NEW BASE INSTALLATION.



Project North

True North

No. Revisions Date

7 ISSUED W/ PC02 2025 07 17

6 ISSUED FOR CONSTRUCTION 2025 06 02

5 ISSUED FOR ADDENDUM 04 2025 05 05

4 ISSUED FOR ADDENDUM 01 2025 04 24

3 ISSUED FOR TENDER 2025 04 17

2 ISSUED FOR PERMIT 2025 04 08

1 ISSUED FOR REVIEW 2025 02 12

No. Issue Date

General Contractor shall check and verify all dimensions and report all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Architect for construction.

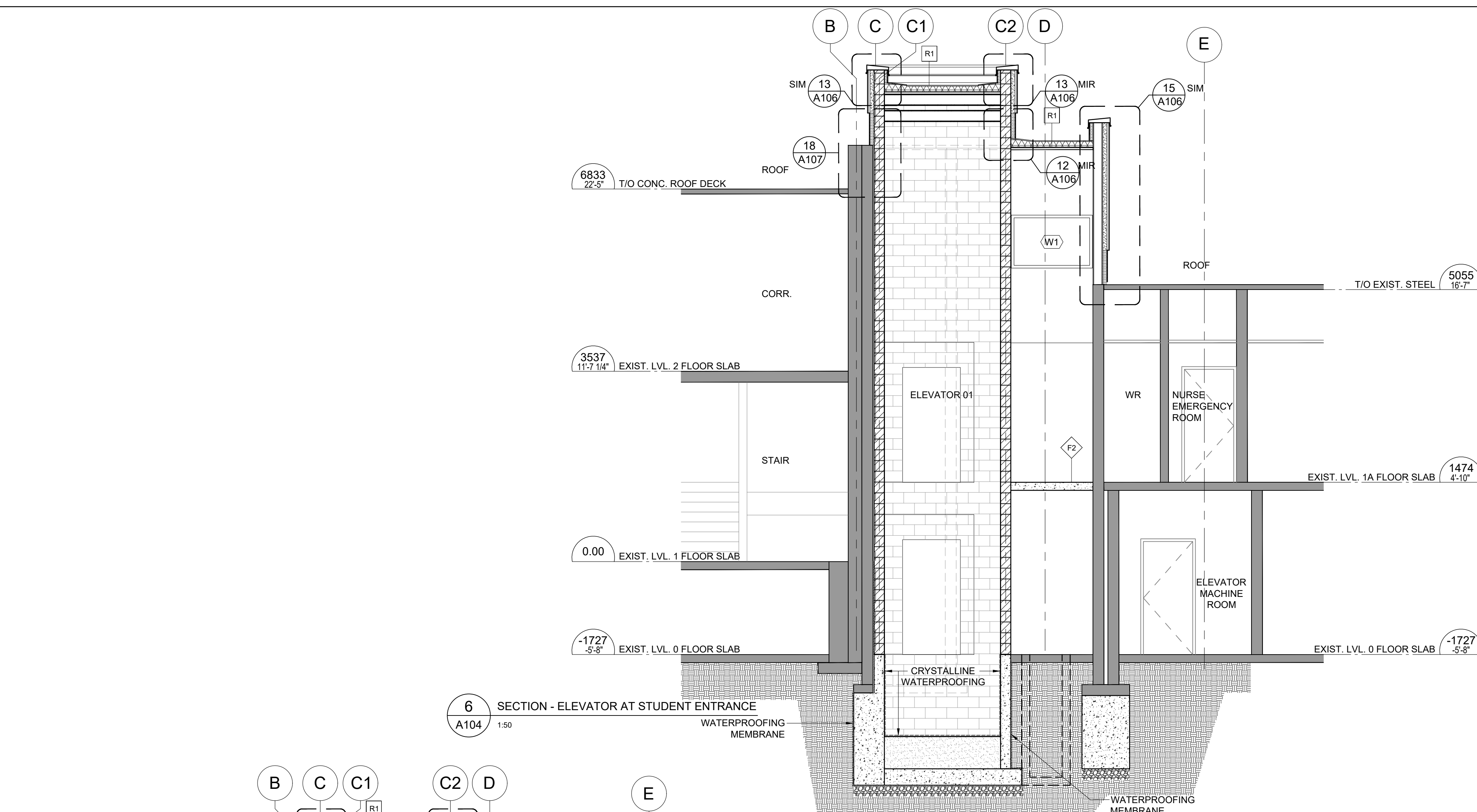
Drawing Title:
KEY PLAN
FLOOR PLANS
ELEVATORS - NEW

Scale: AS NOTED Date: 2025 02 06

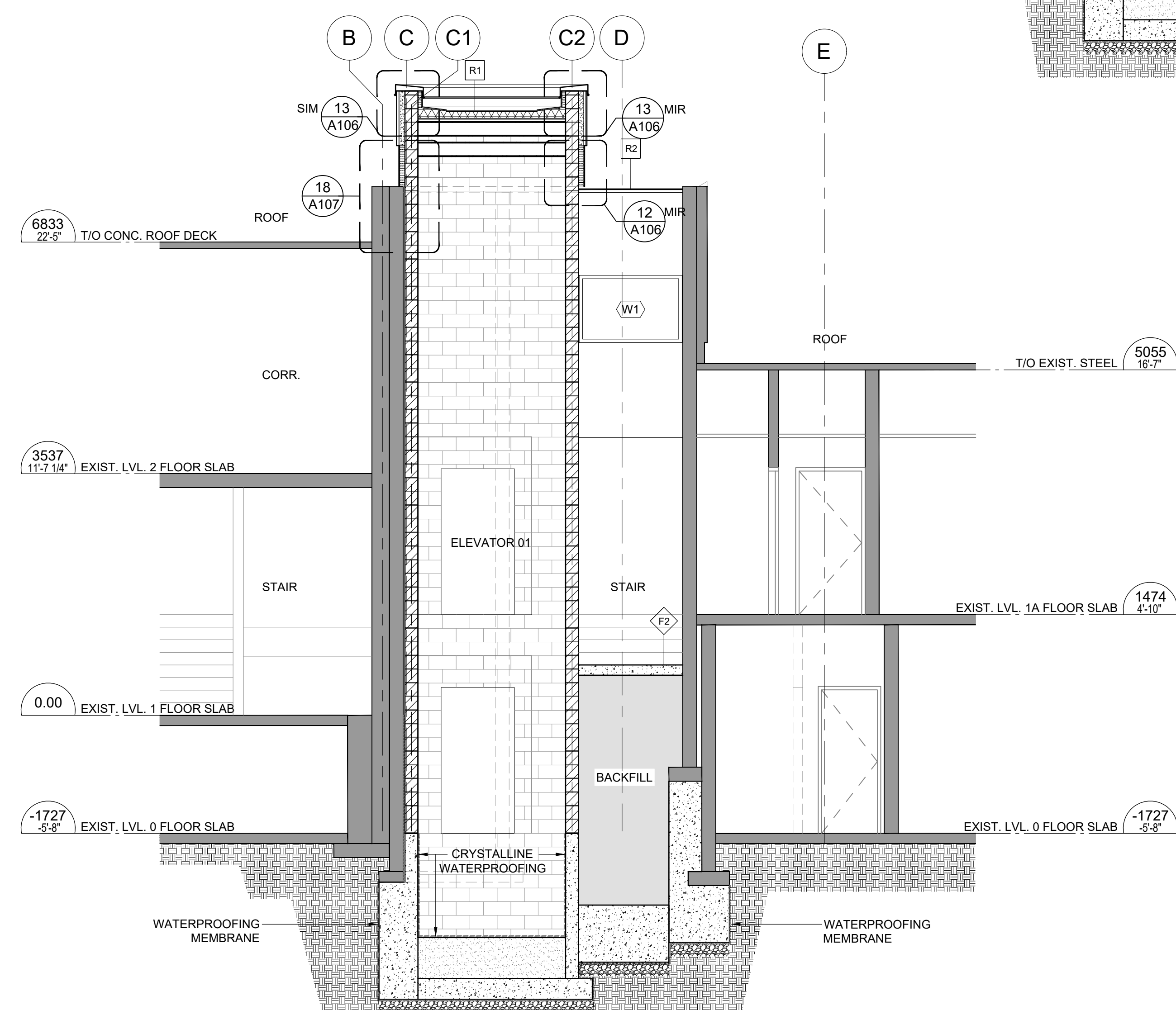
Drawn by: Checked by:

Job No. Drawing No.

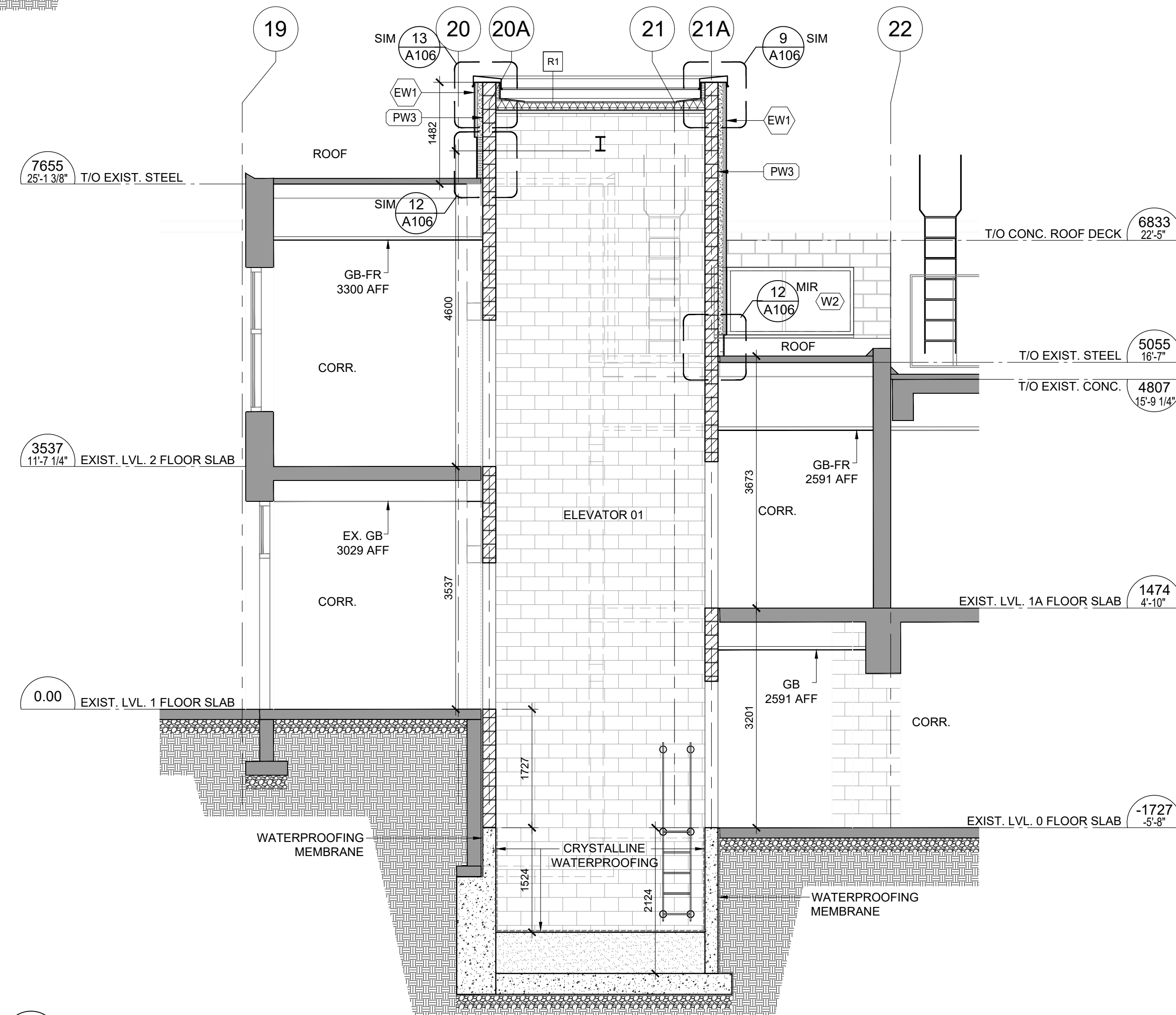
2215-C A100



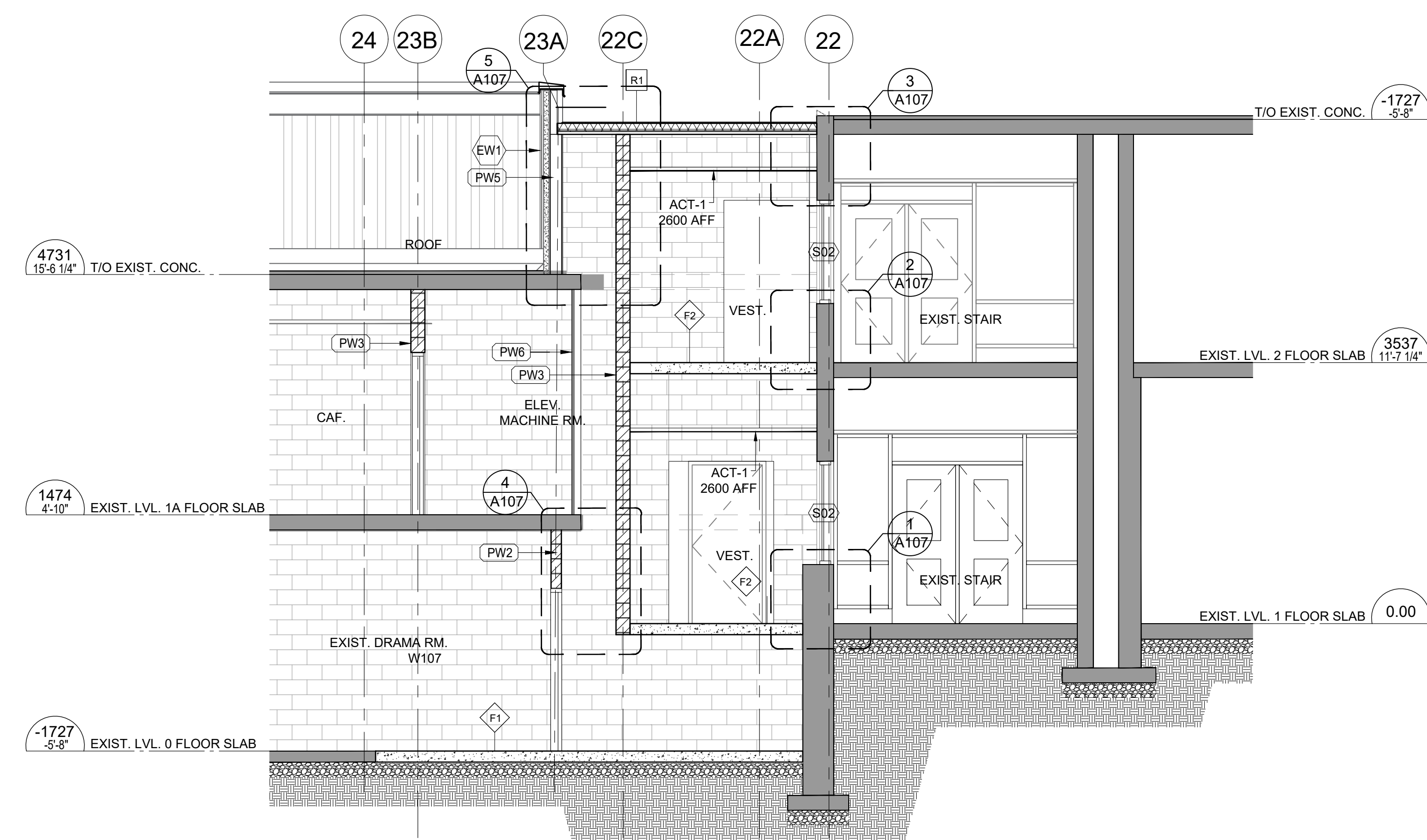
6 SECTION - ELEVATOR AT STUDENT ENTRANCE
A104 1:50 WATERPROOFING MEM.



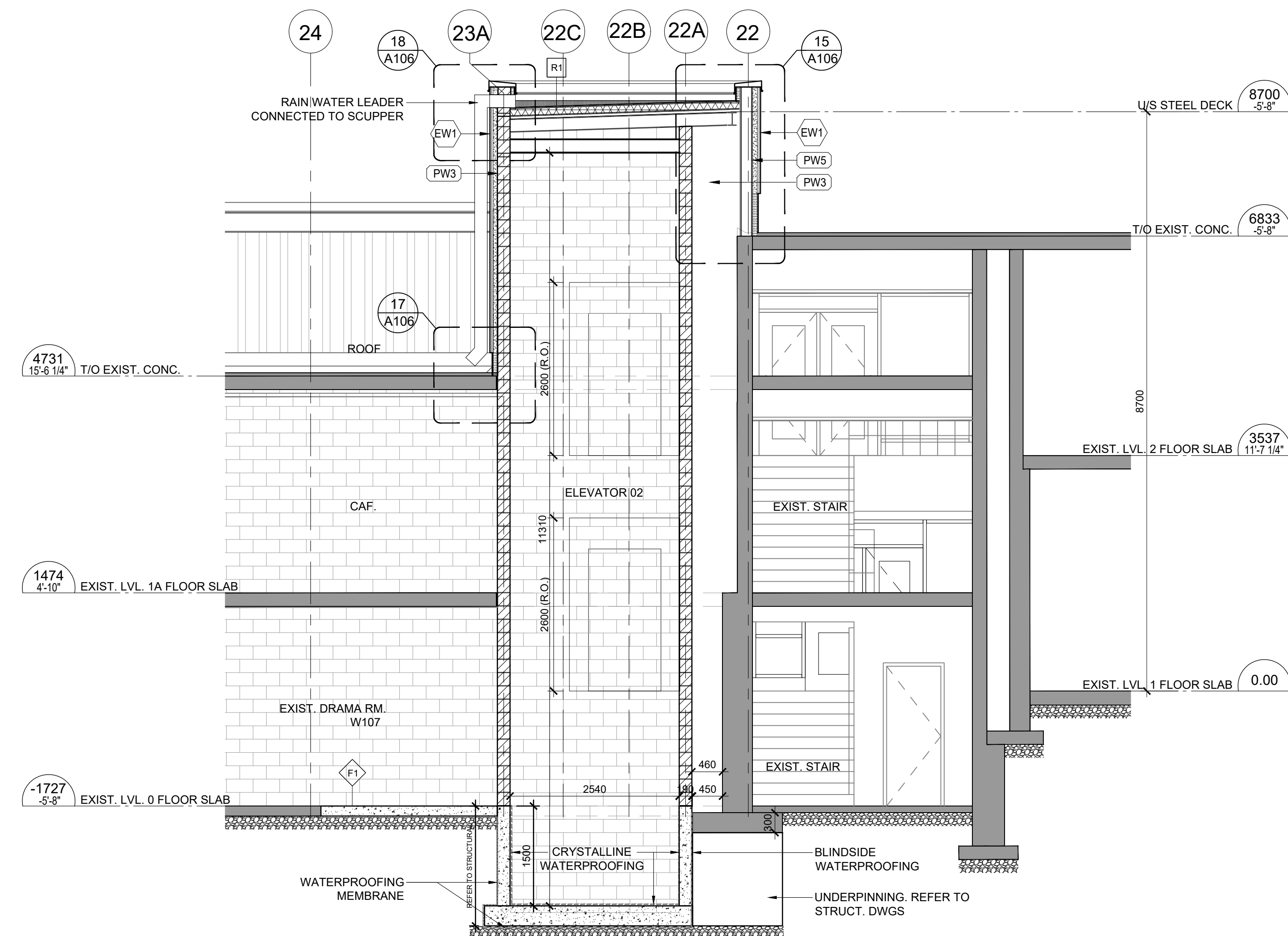
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A104 1:50



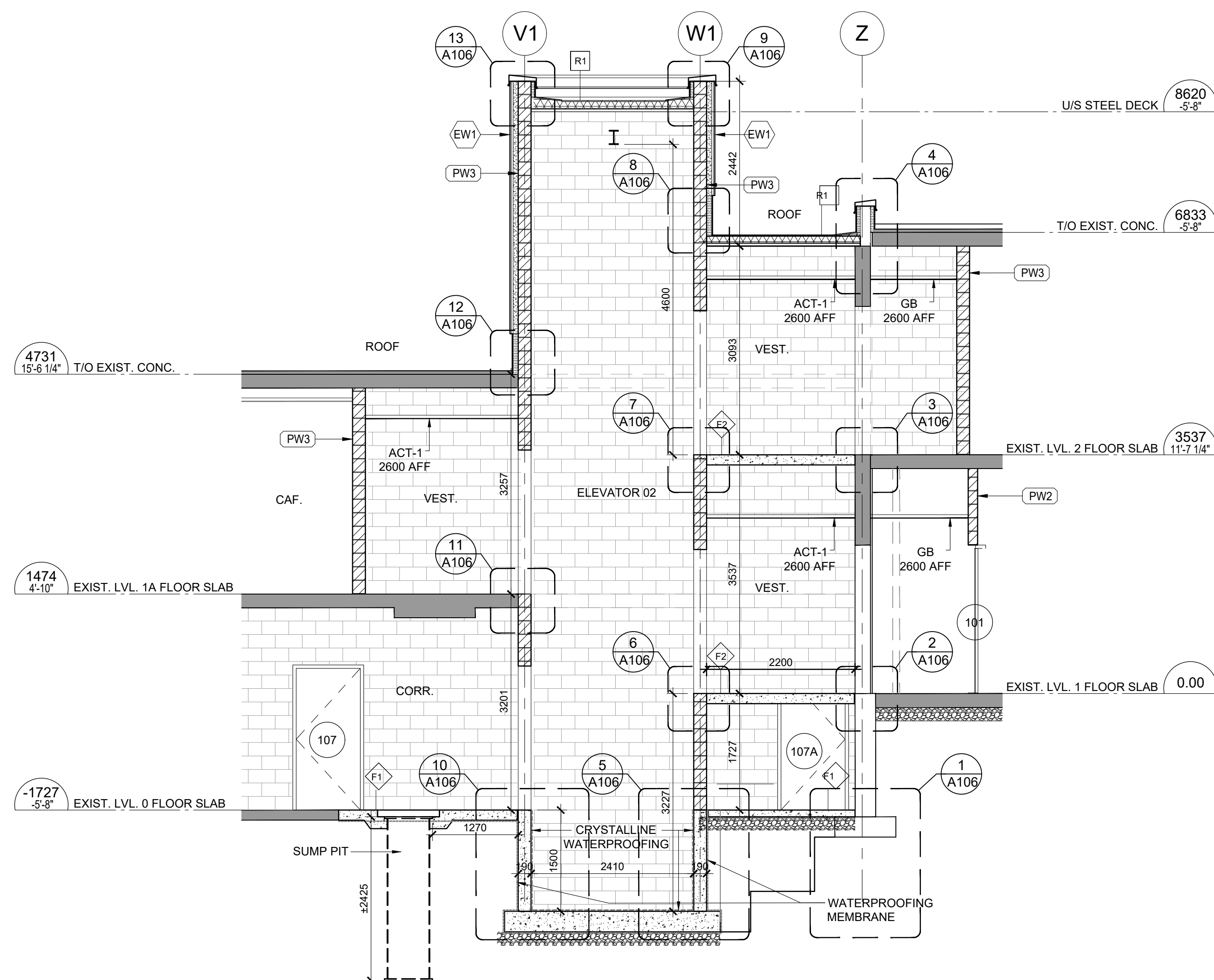
4 SECTION - ELEVATOR AT STUDENT ENTRANCE
A104 1:50



3 SECTION - ELEVATOR AT CAFETERIA
A104 1:50



2 SECTION - ELEVATOR AT CAFETERIA
A104 1:50



1 SECTION - ELEVATOR AT CAFETERIA
A104 1:50

Project North	True N
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6	ISSUED FOR PC.....	2025 07
5	ISSUED FOR CONSTRUCTION	2025 06
4	REISSUED W/ ADDENDUM NO. 4	2025 05
3	REISSUED W/ ADDENDUM NO. 2	2025 04
2	ISSUED FOR PERMIT	2025 04
1	ISSUED FOR REVIEW	2025 02
No.	Issue	Date

No.	Issue	Date
	General Contractor shall check and verify all dimensions and report errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by Architect for construction.	

Drawing Title:
**SECTIONS - NEW
WALL SECTIONS**

Scale:	AS NOTED	Date:	2025 02
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Drawn by:	Checked by:
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Job No.	Drawing No.
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2215-C	A104
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EE 10 0	AT 10-
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CONTEMPLATED CHANGE NOTICE No. S1

Project:

Thomas A. Blakelock High School - PH3
1160 Rebecca St
Oakville, ON

Contractor:

Golden Gate Contracting
1038 Cooke Blvd Unit#1
Burlington, ON L7T4A8

Date:

23-Jul-25

Our File:

22209

To:

Snyder Architects Inc.
100 Broadview Ave, Suite 301
Toronto, ON M4M 3H3
Attention: Alex Jacobi

Reference:

General Contractor's RFI No.: N/A
Dated: N/A

This notice is to advise of contemplated changes to the project.
Please submit your quotation, broken down in complete detail, for the following work

Instruction:

1. Underpinning extents and depths for Elevator 2 revised. Refer to updated drawing S300.
2. Foundation support for new column in Washroom Renovation revised. Refer to updated drawing S100.

Reason for Request:

Site condition

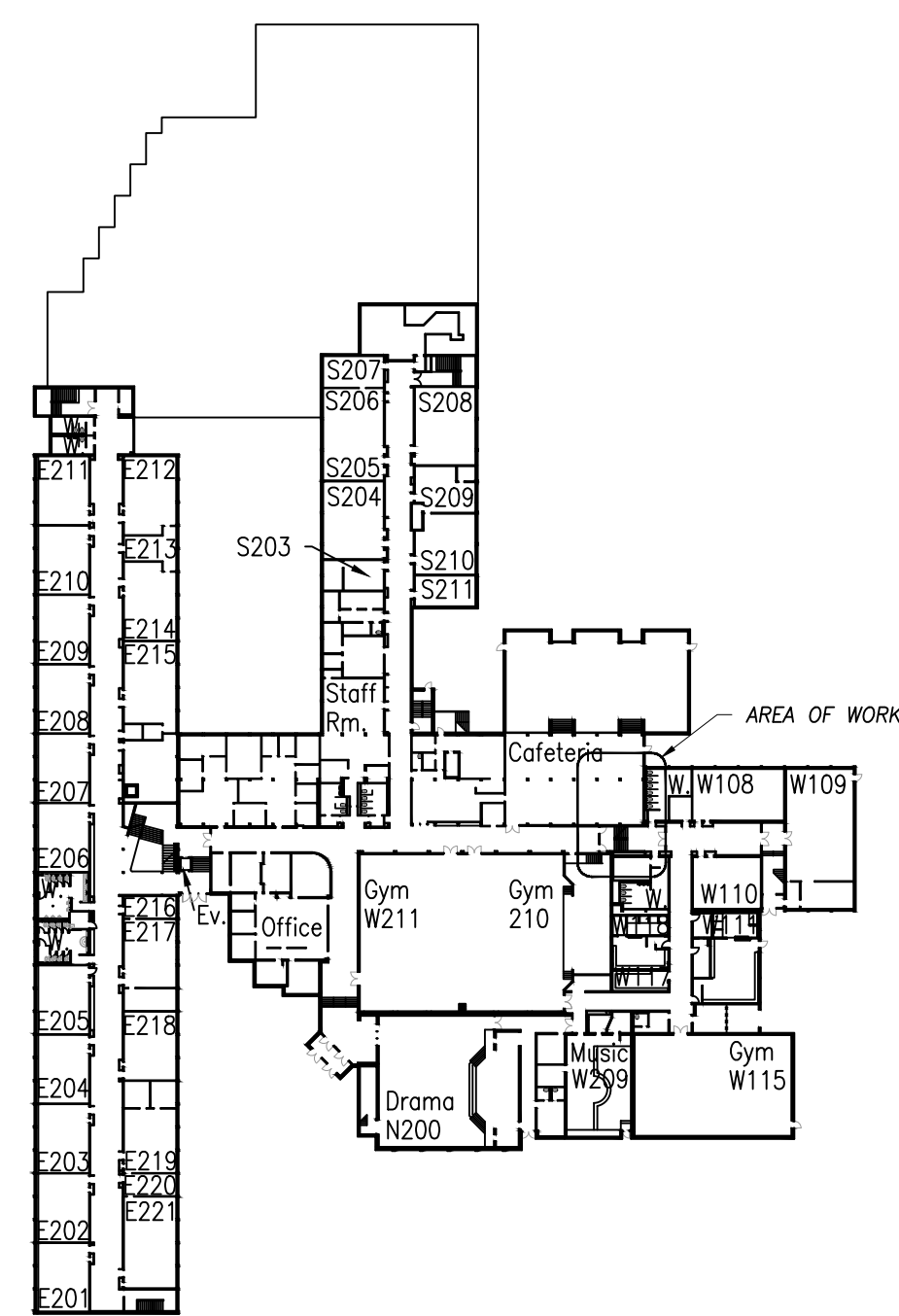
Drawings/Sketches Enclosed:

S100 & S300

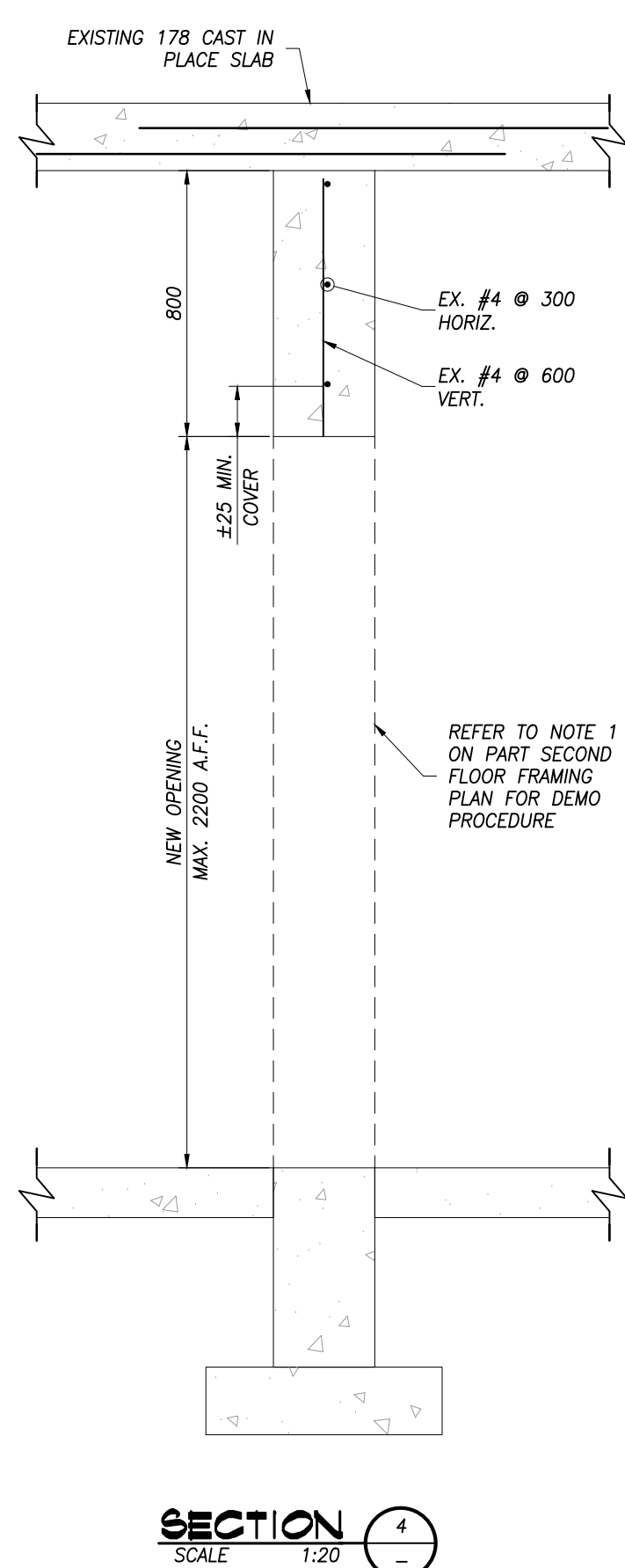
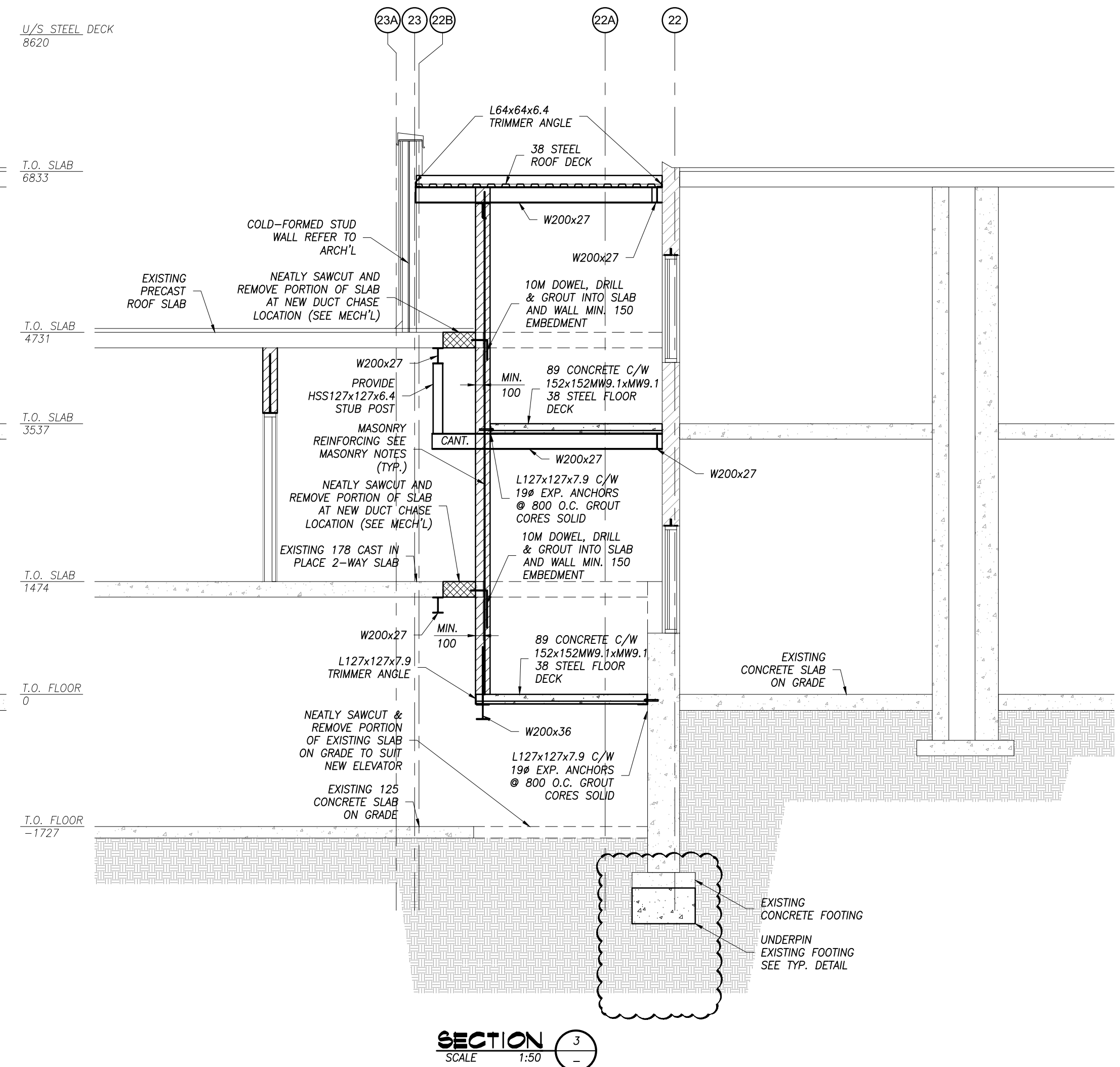
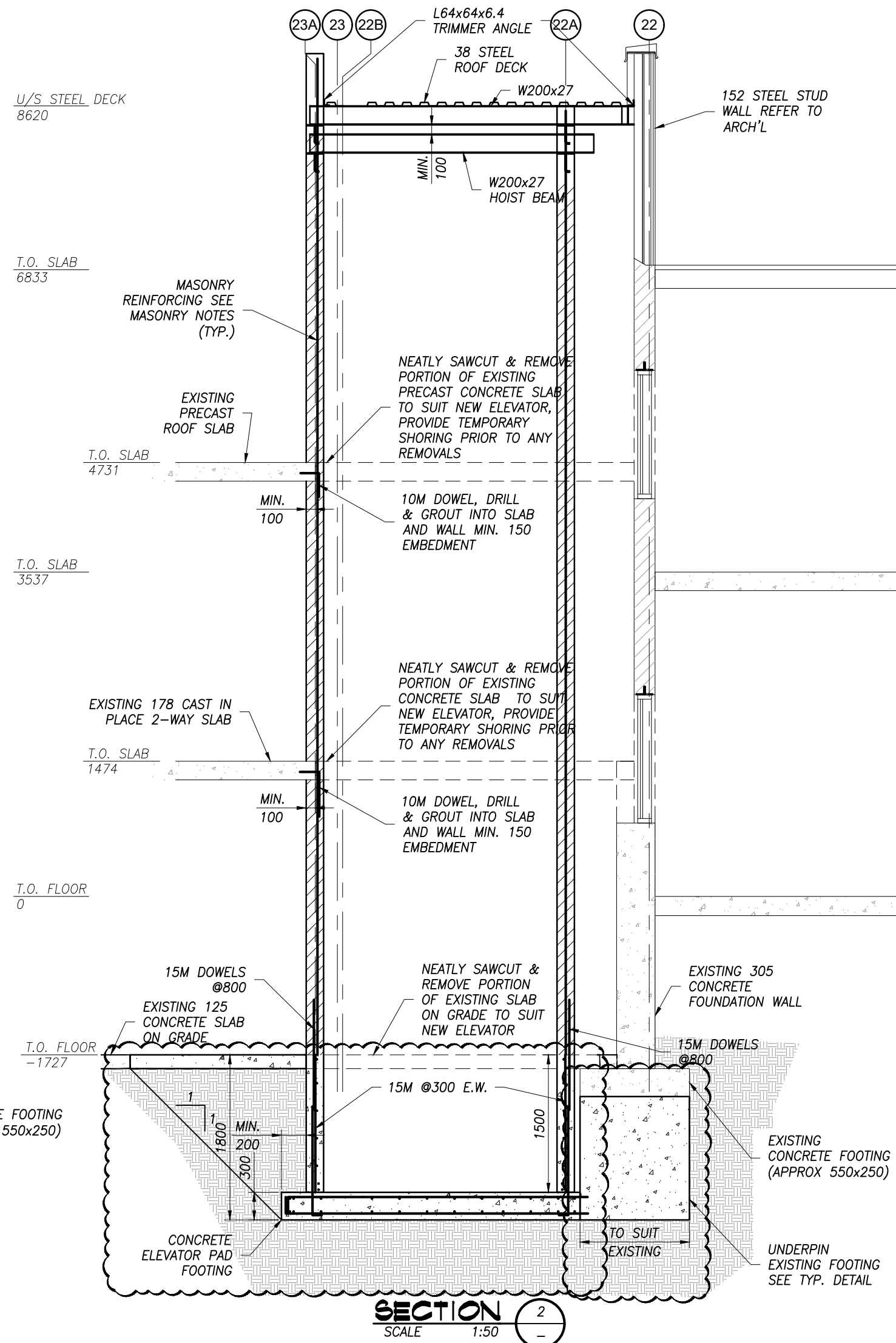
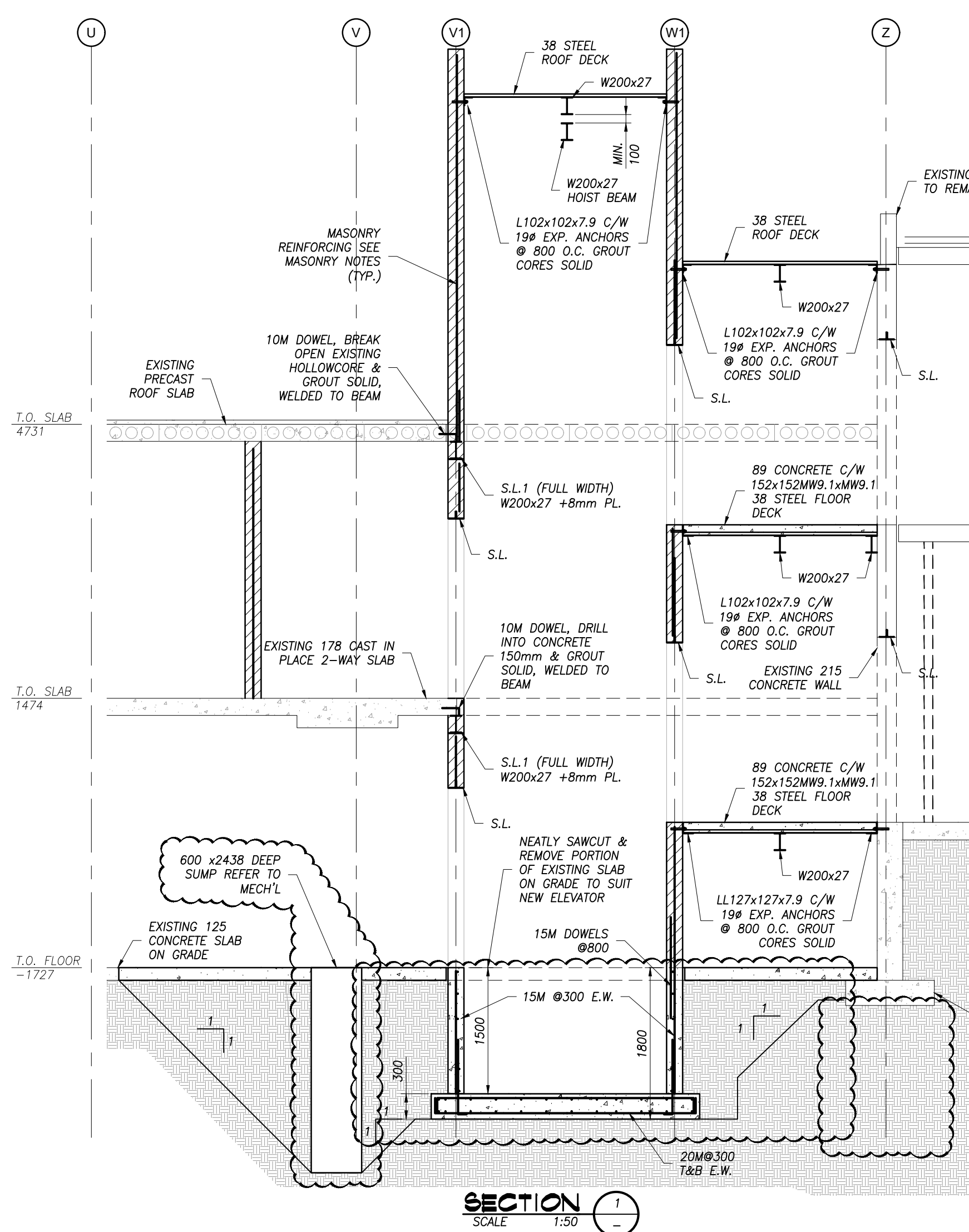
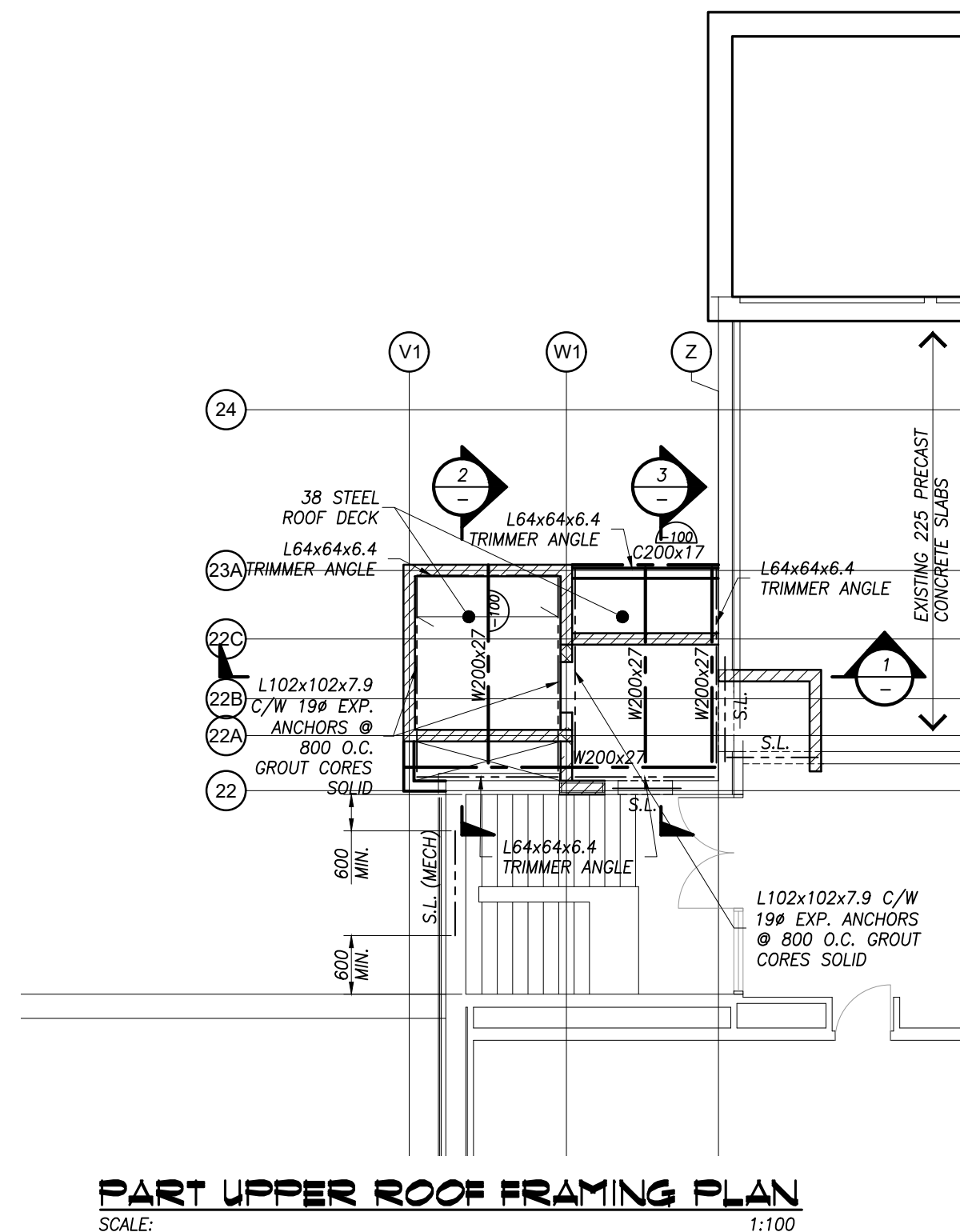
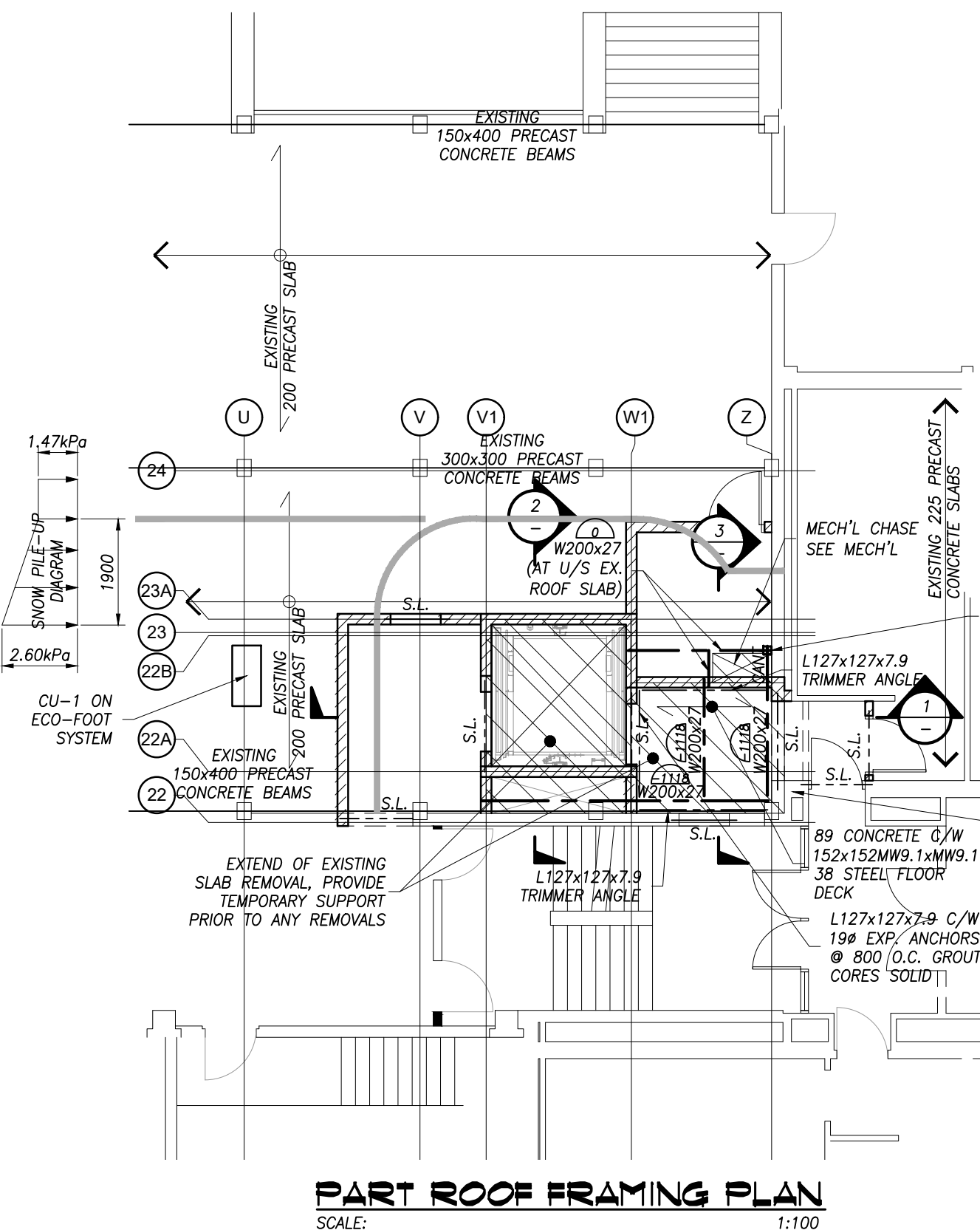
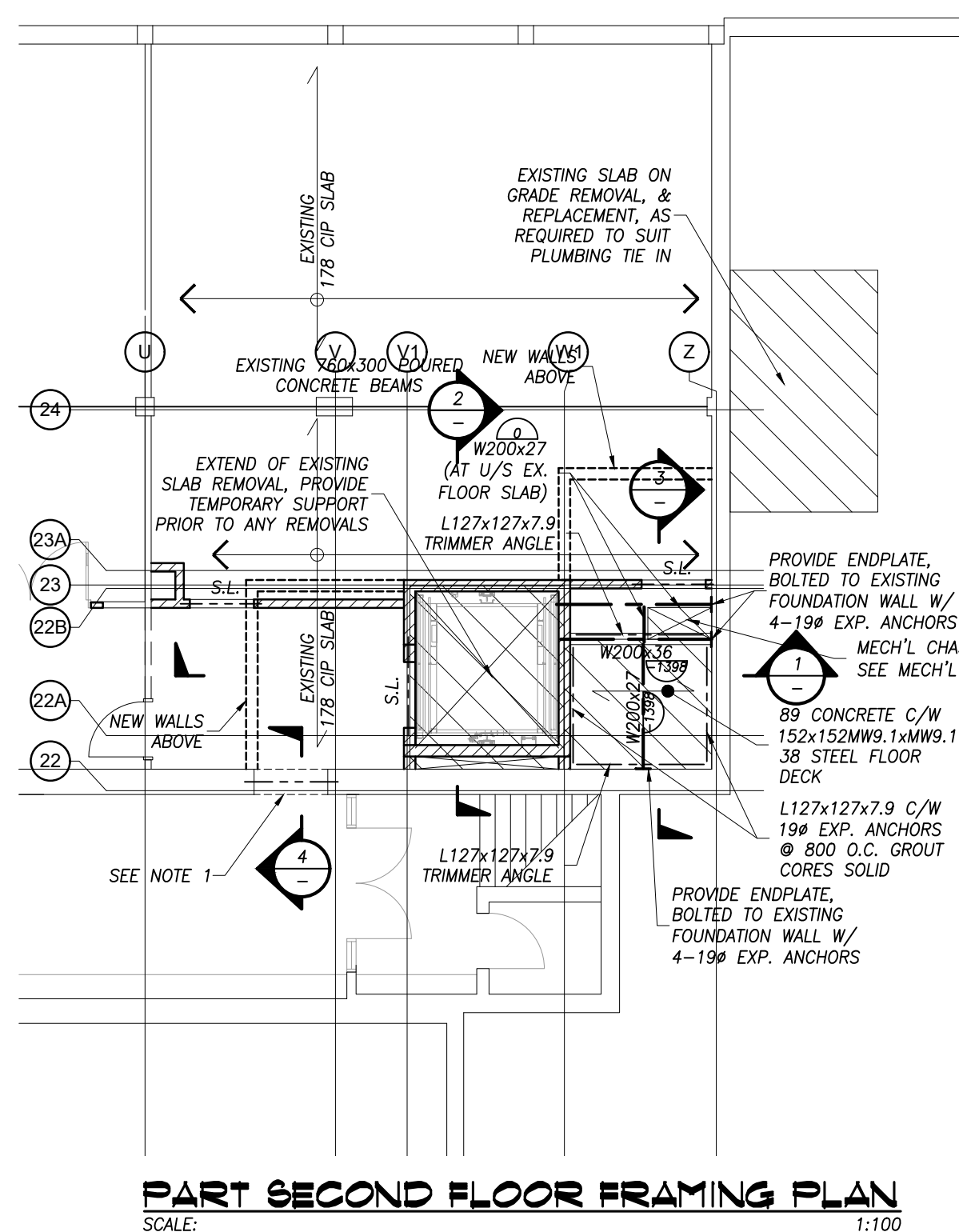
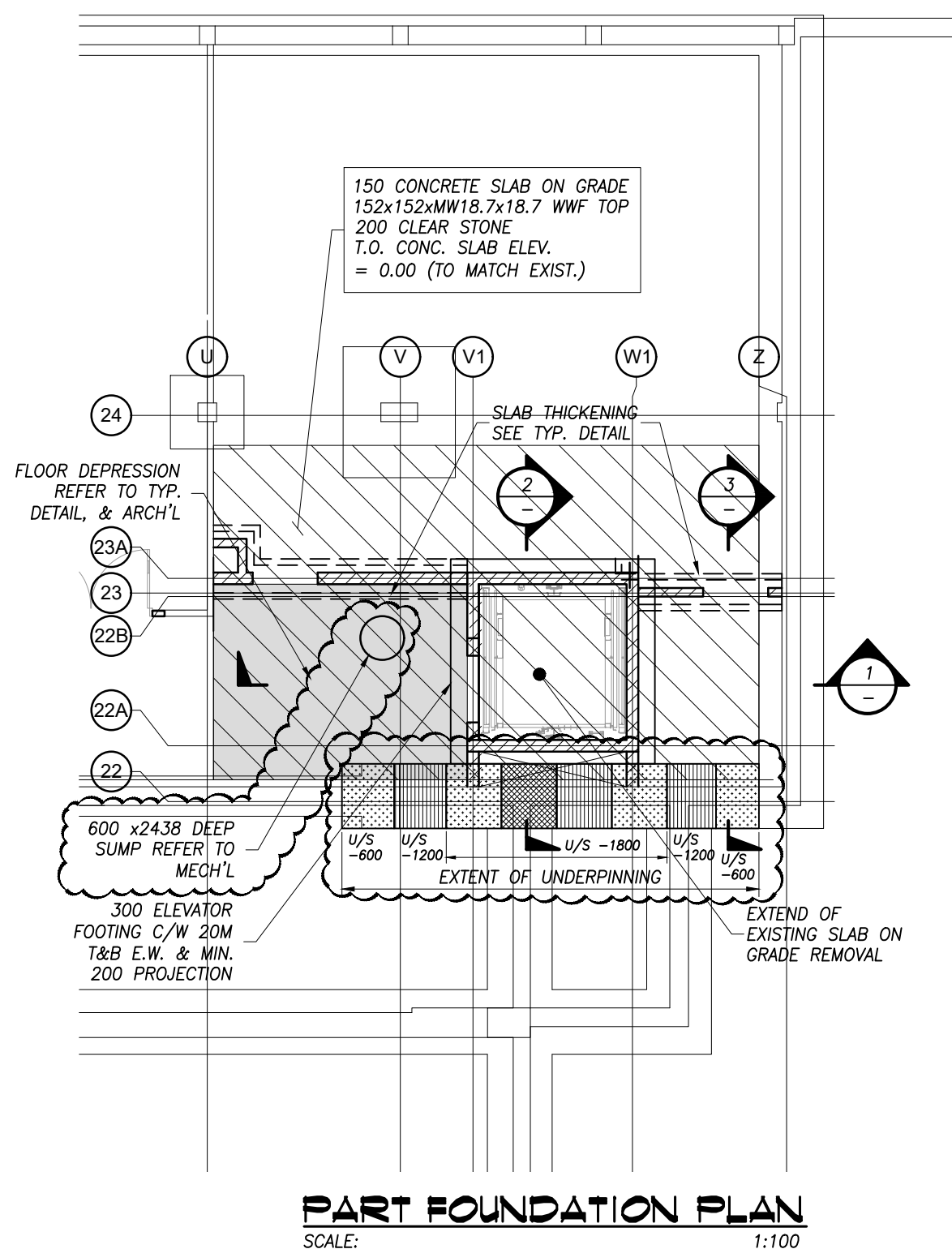
Recommended by Consultant:**Distribution:**

x Owner	Consultants
x Contractor	x Field
x Architect	x File

Per: Elio Haddad, P.Eng



KEY PLAN - GROUND FLOOR FRAMING



1. ALL FRAMES AND SHORING JACKS TO BE PLUMB AND LEVEL.
2. SHORING JACKS TO BE DESIGNED BY THE SUPPLIER FOR THE LOADS AND HEIGHTS SHOWN, INCLUDING BRACING.
3. MAX. EXTENSION OF SCREWJACKS WILL BE 400mm UNLESS NOTED.
4. SCAFFOLDING SHALL BE ERECTED IN ACCORDANCE TO C.S.A. CODE S269.1.

8. CONTRACTOR TO PREPARE AND SUBMIT FULL SHORING DRAWINGS FOR APPROVAL FOR ALL TEMPORARY SUPPORTS. PREPARED AND STAMPED BY A PROFESSIONAL ENGINEER, PRIOR TO ANY REMOVALS.
- ADDITIONAL NOTES:
- PROVIDE TEMPORARY SHORING TO STRUCTURE ABOVE PRIOR TO ANY REMOVALS.
 - EXISTING DRAWING SHOWN IS ASSUMED BASED ON SITE REVIEW AND EXISTING DRAWINGS REFERENCED IN NOTES BELOW. CONTRACTOR TO EXPOSE EXISTING STRUCTURE AND REPORT ANY DISCREPANCIES TO ENGINEER.

ADDITIONAL NOTES:

- PROVIDE TEMPORARY SHORING TO STRUCTURE ABOVE PRIOR TO ANY REMOVALS.
- EXISTING FRAMING SHOWN IS ASSUMED BASED ON SITE REVIEW AND EXISTING DRAWINGS REFERENCED IN NOTES BELOW. CONTRACTOR TO EXPOSE EXISTING STRUCTURE AND REPORT ANY DISCREPANCIES TO THE ENGINEER.

[illegible]

General Contractor shall check and verify all dimensions and report all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

Drawing Title:
**EAST ELEVATOR
DETAILS**

Scale:	AS NOTED	Date:	MARCH 2025
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Drawn by:	Checked by:
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Job No.	Drawing No.
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DRAWINGS CREATED USING INFORMATION FROM EX. DRAWINGS PREPARED BY:
 (1955 ORIGINAL) SHORE & MOFFAT ARCHITECTS. PROJECT NO. 230 DATED 1956/02/06
 (1969 ADDITION #2) SHORE & MOFFAT AND PARTNERS. PROJECT NO. 230D DATED 1969/10/20
 (1989 ADDITION #3) SVEDAS KOYANAGI ARCHITECTS & PHILLIPS ENGINEERING. PROJ. NO. 69802, DATED OCT. 1989