



## **Addendum # 3**

**Bid Opportunity: 25-7736-RFT**

**Waterloo-Oxford District Secondary School**

**ACE Classroom & Science Classroom Renovations**

**Closing Date: Tuesday April 29, 2025 2:00 PM**

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The following issued by the Board shall form part of the Bid/ Proposal Solicitation document. The revisions and additions noted herein along with any attachments shall be read in conjunction with all other related documents. This Addendum shall, take precedence over the previously issued documents where differences occur. Receipt of this addendum must be acknowledged in the Bidding System, bids&tenders.

If you have already submitted a Bid/ Proposal, it will be automatically withdrawn as a result of this addendum. You must resubmit the Bid/ Proposal acknowledging all addenda and revising your Bid/ Proposal to comply with all addenda.

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**THIS ADDENDUM CONSISTS OF:**

- .1 COVER PAGE (1 PAGE)
- .2 QUESTIONS/ ANSWERS (13 PAGES)
- .3 ARCHITECTURAL ADDENDUM #3 (2 PAGES)
- .4 ARCHITECTURAL SPECIFICATIONS (2 PAGES)
- .5 ARCHITECTURAL DRAWINGS (2 PAGES)
- .6 STRUCTURAL ADDENDUM #2 (2 PAGES)
- .7 MECHANICAL/ ELECTRICAL ADDENDUM #2 (4 PAGES)

### 3.1 QUESTIONS/ ANSWERS

#### **Question 1:**

Window Coverings: Could we get Sun Glow Window Covering Products of Canada Ltd. as an approved alternate for the roller shades?

#### **Answer 1:**

Technical information is required to be able to assess this product.

#### **Question 2:**

Please accept this request to be added, as a supplier for Lockers, & Locker Fronts [Doors and Frames]. We have supplied WRDSB with Locker Fronts, within a number of school projects including Courtland, Waterloo Collegiate, Elmira DHS

[www.mitchelldivision10.com](http://www.mitchelldivision10.com) for information. Brochure can be forwarded if attachments can be added.

#### **Answer 2:**

Product is acceptable. Refer to Architectural Addendum #3, Item 3.2.3.

#### **Question 3:**

Detail 6/A5.01 indicates insulation in new parapet. Please clarify type and thickness required.

#### **Answer 3:**

Please refer to Architectural Addendum #3, Item 3.3.2.

#### **Question 4:**

To separate our work area from occupied school areas (802-803) please clarify if there is a detail for hoarding required that addresses dust and sound prevention.

#### **Answer 4:**

Yes, dust and sound prevention are required to isolate the work area from the remainder of the school. Refer to Specification Section 01 53 00, Article 1.10.

#### **Question 5:**

Stair B 902 exits adjacent to a wall that includes exterior work. Please advise if there is a minimum or maximum site fencing requirement to separate our work area from the student population.

**Answer 5:**

Exterior work in this area is to be scheduled during July/ August 2025 to limit the impact of construction on school operations.

**Question 6:**

Drawings call for pinhole tile ceiling above to be removed. As the extent of this work is unknown, please advise what area should be used in our tender in order to equalize the bidding, or please provide an allowance for the work so the extent can be determined once the ACT ceilings are removed by the successful contractor.

**Answer 6:**

Refer to Architectural Addendum # 1, Drawing A1.01R.

**Question 7:**

Please provide tile specification for the floor repairs at and around 802A or confirm the school has adequate matching supply on site for our use.

**Answer 7:**

Refer to Specification Section 09 31 15, Article 2.1.1 for porcelain tile specification.

**Question 8:**

For the abatement of the flooring, please confirm whether the mastic needs to be cleaned through oil-based methods or mechanical grinding.

**Answer 8:**

Mechanical grinding is required.

**Question 9:**

Window Coverings: Would Sol Shades an an approved alternate for the window coverings? Dropbox link containing the documents is noted below.

The spec. is calling for Solarfective and then Hunter Douglas and Sun Project. Solarfective was bought out by Legrand a long time ago and Legrand closed their Canadian plant a few months back. Sun Project was bought out by Altex a long time ago.

Spec & Warranty Link:

<https://www.dropbox.com/scl/fo/z15o1hhy8kv3k2wk3giq4/ANnh0kH5RcgbCMMnu7g7WX0?rlkey=ynmd6mjhc5w3a60ph68tkm3gs&st=yy8d9b77&dl=0>

**Answer 9:**

Please refer to Architectural Addendum #3, Item 3.2.4.

**Question 10:**

We respectfully request your consideration of the items listed below as equal to those specified on the above noted project.

April 7, 2025

This equipment would be quoted in accordance with the Tender Documents

RP 1-13 Radiant Heating Panels Rosemex

HVAC 12,13,14,15,16,17 Rooftop units AAON

**Answer 10:**

Rosemex is an approved equal for Hot Water Radiation (Division 23, Item 2.11.5e.). Refer to Mechanical Addendum 02, Item 1.a.

Aaon (RN Series) is an approved equal for Rooftop Units (HVAC-12,13,14,15,16) (Division 23, Item 3.19.4d.). Prior to submitting a Bid that includes an approved equal manufacturer, ensure Division 20, Items 1.10.4 and 1.10.5 are fully reviewed, understood and will be adhered to. Even if a manufacturer is an approved equal, it in no way permits it from not fully meeting all performance, construction, accessory, quality, etc. requirements of the basis of design manufacturer. A shop drawing of the approved equal manufacturer will need to be submitted for approval prior to its inclusion in the project. Otherwise, the basis of design manufacturer is to be supplied. Refer to Mechanical Addendum 02, Item 1.b. and 1.c.

Aaon (RN Series) is an approved equal for Rooftop Units (HVAC-17) (Division 23, Item 3.19.5d.). Refer to Mechanical Addendum 02, Item 1.d.

**Question 11:**

For the abatement of the flooring, could you confirm whether the mastic needs to be cleaned through oil-based methods or mechanical grinding?

**Answer 11:**

Mechanical grinding is required.

**Question 12:**

- What is the structural makeup for the roof above the mezzanine? This will be needed in order to quote properly for the firespray.

**Answer 12:**

Refer to Detail 4/A3.01.

**Question 13:**

We currently have several tenders closing on the same day, we are requesting an extension to the tender closing date.

**Answer 13:**

Please refer to Architectural Addendum # 3, Item 3.2.1.

**Question 14:**

Are the roller shades to be included in base bid or under the Furnishing cash allowance.?

**Answer 14:**

Roller Shades are to be included in the Base Bid. Refer to Specification Section 12 24 13.

**Question 15:**

- 1) Can CT extreme abuse board be used in lieu of the abuse glass mat wall board? Saves on having to skim coat the drywall.
- 2) Can CT M2 Tech drywall be used in lieu of the glass mat wall board? Saves on having to skim coat the drywall.
- 3) I'm not seeing anywhere that the acoustic ceilings are required to be fire rated, however section 92227 is calling for fire rated grid. If this is the case, and the ceilings are fire rated, the light fixtures etc will need to have a fire rated enclosure above them. Can the grid be changed to standard grid, if fire rating is not required?
- 4) Section 95113 is calling for fire rated Dune #1851. Can this be changed to the standard Dune ceiling tile #1773 for cost savings? Same ceiling tile, just the non-rated version.

**Answer 15:**

- 1) Technical information is required to assess this product.
- 2) Technical information is required to assess this product.
- 3) Materials are to be priced as specified.
- 4) No.

**Question 16:**

For greater clarity, please confirm what roofing work needs to remain as part of the base bid versus what is to be covered via cash allowance.

**Answer 16:**

All roof tie-ins for all new Mechanical/ Electrical equipment and new parapet tie-ins are to be covered by the Cash Allowance. All rough carpentry, insulation/ air barrier and sheet metal parapet work and soffit work are to be included in the Base Bid.

**Question 17:**

The drawings identify the installation of appliances by the contractor, yet there is an allowance for Furnishings Supply & Installation. Please clarify the difference or revise the notations.

**Answer 17:**

Please refer to Architectural Addendum #3, Item 3.2.2.

**Question 18:**

Please confirm Classroom Console Unit in Section 10 90 00 is the unit identified on electrical C/E4.4 and that this unit is to be supplied by general trades and installed by electrical.

**Answer 18:**

Consoles are supplied and installed by the General Trade. Refer to Details B/E4.4 & C/E4.4 notes 1-5 for defined scope.

**Question 19:**

Please confirm the double-sided fume hood is to be supplied by general trades and installed by mechanical/electrical trades. Please confirm all details are provided with respect to venting either through roof or wall in order to facilitate a complete installation.

**Answer 19:**

Mechanical Trade to provide mechanical services (sanitary, water, gas, exhaust ductwork/ fan, controls, etc.) indicated on Drawings to suit fume hood installation. Mechanical Trade is not responsible to provide fume hood.

**Question 20:**

E2.1 and E2.2 make reference to ACM abatement in some areas being completed under the electrical trade scope. This is not typical practice. Please confirm that general trades/contractor are to carry all abatement costs required for the project as outlined by the Asbestos Audit Report as provided in the specifications.

**Answer 20:**

The General Contractor is required to carry all costs for abatement required for the project as outlined by the Asbestos Audit Report as provided in the Specifications. Refer to Electrical Addendum 02, Item 3.a.

**Question 21:**

Some of the windows reference blackout. Does that mean that all others are just regular manual shades?

**Answer 21:**

This question will be addressed in a future addendum.

**Question 22:**

Asking for an alternate supplier approved for this tender.

We respectfully request your consideration of the items listed below as equal to those specified on the project.

This equipment would be quoted in accordance with the Tender Documents

Section Tag Product Manufacturer

1 RP-1,2,3,4,5,6,7,8,9,10,11,12,13 Radiant heating panels Rosemex

2 HVAC-12,13,14,15,16,17 Rooftop units AAON

**Answer 22:**

Rosemex is an approved equal for Hot Water Radiation (Division 23, Item 2.11.5e.). Refer to Mechanical Addendum 02, Item 1.a.

Aaon (RN Series) is an approved equal for Rooftop Units (HVAC-12,13,14,15,16) (Division 23, Item 3.19.4d.). Prior to submitting a bid that includes an approved equal manufacturer, ensure Division 20, items 1.10.4 and 1.10.5 are fully reviewed, understood and will be adhered to. Even if a manufacturer is an approved equal, it in no way permits it from not fully meeting all performance, construction, accessory, quality, etc. requirements of the basis of design manufacturer. A shop drawing of the approved equal manufacturer will need to be submitted for approval prior to its inclusion in the project. Otherwise, the basis

of design manufacturer is to be supplied. Refer to Mechanical Addendum 02, Item 1.b. and 1.c.

Aaon (RN Series) is an approved equal for Rooftop Units (HVAC-17) (Division 23, Item 3.19.5d.). Refer to Mechanical Addendum 02, Item 1.d.

**Question 23:**

is the cutting/patch of floors for electrical trenches by General Trades or Electrical. See Drawing E2.1 Note 8

**Answer 23:**

Cutting and patching of floors is to be coordinated by the General Contractor. Refer to Electrical Addendum 02, Item 4.a.

**Question 24:**

patching of walls where old panels are removed, is this by the General Contractor or Electrical? see Drawing E2.1 Note 1

**Answer 24:**

Patching of walls where old panels are removed is to be coordinated by the General Contractor. Refer to Electrical Addendum 02, Item 4.b.

**Question 25:**

removal of slow moving fans. This is shown on mechanical and electrical drawings. E2.1 Note 7 and M2.4 Note 3. who is responsible for this work.

**Answer 25:**

Removal of fans to be performed by the Electrical trade. Refer to Mechanical Addendum 02, Item 4.b.

**Question 26:**

is it possible to get a 1 week extension. Generals have just sent out requests for electrical/ mechanical and other subtrades and there is a lot to take off here. If so, please do not extend to the Monday as the weekend is a long weekend for Easter and many will be busy with family. A full week would be beneficial and appreciated.

**Answer 26:**

Please refer to Architectural Addendum #3, Item 3.2.1.



## **Question 27:**

Specifications for Locker Replacement Fronts - can an email be provided to send pdf file

### **FABRICATION**

#### **FRAMES**

1.1 Welded together, formed channel sections of 16 gauge (crs) to have a continuous stop, 5/8" full height of the door with two rubber silencers and two magnets to keep door closed when not in use.

#### **VENTILATION**

1.2 Provide in top and bottom of frames 16 gauge cold rolled steel, twelve vents .25 oblong slots by 1 1/2" in each top and bottom to allow air to flow freely through entire locker.

#### **LOCKER DOORS**

1.3 Standard Doors shall be made with 16 gauge outer door panel formed with channels on both sides and the top and bottom. The inner door panel, 20 gauge shall cover the back of the pocket to eliminate vandalism, be formed with channels on both sides, interlocked with the outer panel and mig welded together at the top, bottom and both sides on the back surface edge of the door. Reinforced with 14 gauge channel running full length of the door. The box welded door assembly shall be 1 1/4" thick. Doors are set flush to frames. Door shall be hung on a continuous one piece integral right hand hinge and frame.

#### **HARDWARE**

##### **HINGES**

2.1 Piano Hinge: 16 gauge continuous one-piece integral right hand hinge on frame.

Hinge to be staked, 1/2" knuckle at intervals to prevent the removal of the pin, installed with tamperproof stainless steel screws.

A right hand flange is attached to the door frame assembly to install onto existing locker frame.

##### **LATCH**

2.2 Single Point Latching

Single point latching 1/8" stainless steel hasps, mig welded at four points.

Fit standard individual combination locks.

Options available: built-in padlocks, and master key system as additional costs.

#### **NUMBER PLATES**

2.3 Aluminum number plates to be fitted into tampered resistant impression in the door.

Numbered as directed.

Number tag to be engraved with 5/16" characters.

Installed with two steel rivets.

## POCKET

2.4 .1 Door pocket, one piece

Pocket, 304 stainless steel recessed pocket, secured in three locations in the front door panel, built in pull in handle. Plastic pulls are not acceptable.

.2 Stop: Form frame to provide continuous, full height stop for door.

.3 Bumpers: Two rubber grommets mounted to top and bottoms of door to silence

closing of door. Two magnets to keep door closed when not in use.

## FINISH

3.1 All cold rolled steel surfaced shall be pre-treated with an iron phosphate corrosion inhibitor and finished with an abrasion and graffiti resistant Polymer Powder Coating cured to ensure a tough and durable finish. All surfaces shall meet or exceed a salt spray resistance of 200 hrs. with a maximum of 1/8" creepage from scribe according to ASTM B117. Colour selected from Standard Colour Chart. Options for different colours for door and frames, sloping top, as required. Anti-graffiti finish.

## ASSEMBLY & INSTALLATION

4.1 Locker and site dimensions confirmed prior to installation.

Install Doors & Frames and any applicable accessories in accordance with manufacturer's written instructions to achieve a plumb, level rigid installation.

### Locker Door & Frame Installation

Remove and dispose of existing doors.

Remove any surface mounted hasp.

Tighten frames, as required.

Install frames, as required.

Install new door and frame assembly with self tapping screws and rivets to existing frames.

Ensure each locker door and frame is straight, level with all fabricated joints folded to provide straight edges.

Install locker number plates.

Locker doors to be adjusted as required for proper function.

Touch up, as necessary of minor abrasions, and/or scratches.

Re-hang useable doors through school and replacing damaged doors.

**Answer 27:**

Please refer to Specification Section 10 51 13 for requirements.

**Question 28:**

Locker Repairs

**SECTION 1****LOCKER REPAIRS  
ONSITE**

Repair Locker interiors, carry out general repairs:

- Remove exterior hasps, and/or broken hinges
- Tighten frames, backs, sides, shelves, floors, etc. as required
- Rivet side, backs, shelves, if necessary
- Tighten coat hooks
- Replace missing or damaged coat hooks
- Supply and install missing shelves, as required
- Re-anchor loose locker banks, trim, sloping top or end panels
- Adjust and align doors as required

**LOCKER INTERIOR/EXTERIOR PAINTING  
ONSITE**

Process for Painting: Electro-static recoating of lockers with #2 Process  
Ramsburg electrostatic gun

**PREP AND PAINTING**

- Remove all tape, stickers, glue, etc.
- Prep and paint locker interiors and frames
- Wet sand all metal surfaces to remove finish and prepare surface for paint, using 220 wet/dry sandpaper
- Vacuum locker and surrounding areas, paying particular attention to hinges, vents, and crevices
- Mix catalyzed trisodium phosphate with warm water, wash down metal surfaces to remove grease and dirt, and to etch the surface
- Wipe down locker and surrounding area with clear, warm water and dry
- Protect surrounding area with kraft paper, as required
- Place heavy duty drop sheets to cover entire floor area
- Immediately, prior to painting, use the tack rags to wipe down the lockers, this will remove any dust that may have settled on the units
- Add Byozap additive to paint to reduce odour and to decrease drying time
- Ensure proper air movement with heavy duty exhaust fans to minimize paint odour
- Lockers are to be electrostatically painted. Colour as selected from Standard Colour Chart
- Apply one (1) coat of primer to all lockers

- Apply two (2) coats of 2 part epoxy catalyzed paint to ensure smooth, durable finish
- Remove all paper and tape from lockers and surrounding area, clean floor and ensure area is clean
- Lockers to be adjusted as required for proper function.

#### **WARRANTY**

Warranted for a period of two (2) years against defection in materials, workmanship, while under normal usage. The warranty excludes problems related to environmental, ventilation, vandalism, abuse, fire, water and other acts of god.

#### **Answer 28:**

Please refer to Specification Section 10 51 13 for requirements.

#### **Question 29:**

Can an email address be provided or add option on Bidsandtenders to include a pdf file.

#### **Answer 29:**

Bidder's request or clarification, accompanied by a file, shall be submitted through the Bidding System (B&T) by clicking on the "Submit a Question" button located within the bid details page of the relevant procurement. This submission must be made prior to the Deadline for Questions as specified in the Anticipated Project Schedule. Bidders are advised to compile any necessary documents into a single PDF file. Subsequently, bidders should create a publicly viewable link to this PDF document and include the link in their question submission.

#### **Question 30:**

Request Mitchell Division 10 Ltd. to added as a supplier 1.2.2 as manufacturer in Section 10 51 13

#### **Answer 30:**

Product is acceptable. Refer to Architectural Addendum # 3, Item 3.2.3.

#### **Question 31:**

Proposing alternate HVAC equipment for approval.

Section 1

Tag: RP-1,2,3,4,5,6,7,8,9,10,11,12,13

Product: Radiant Heating Panels

MFG: Rosemerx

Section 2  
Tag: HVAC-12, 13,14,15,16,17  
Product: Roof Units  
MFG: Aaon

**Answer 31:**

Rosemex is an approved equal for Hot Water Radiation (Division 23, Item 2.11.5e.). Refer to Mechanical Addendum 02, Item 1.a.

Aaon (RN Series) is an approved equal for Rooftop Units (HVAC-12,13,14,15,16) (Division 23, Item 3.19.4d.). Prior to submitting a bid that includes an approved equal manufacturer, ensure Division 20, items 1.10.4 and 1.10.5 are fully reviewed, understood and will be adhered to. Even if a manufacturer is an approved equal, it in no way permits it from not fully meeting all performance, construction, accessory, quality, etc. requirements of the basis of design manufacturer. A shop drawing of the approved equal manufacturer will need to be submitted for approval prior to its inclusion in the project. Otherwise, the basis of design manufacturer is to be supplied. Refer to Mechanical Addendum 02, Item 1.b. and 1.c.

Aaon (RN Series) is an approved equal for Rooftop Units (HVAC-17) (Division 23, Item 3.19.5d.). Refer to Mechanical Addendum 02, Item 1.d.

**Question 32:**

Mechanical- Request for equal:

We respectfully request your consideration of the items listed below as equal to those specified on the above noted project.

April 7, 2025

This equipment would be quoted in accordance with the Tender Documents.

1

RP-1,2,3,4,5,6,7,8,9,10,11,12,13

Radiant heating panels

Rosemex

2

HVAC-12,13,14,15,16,17

Rooftop units

AAON

**Answer 32:**

Rosemex is an approved equal for Hot Water Radiation (Division 23, Item 2.11.5e.). Refer to Mechanical Addendum 02, Item 1.a.

Aaon (RN Series) is an approved equal for Rooftop Units (HVAC-12,13,14,15,16) (Division 23, Item 3.19.4d.). Prior to submitting a bid that includes an approved equal manufacturer, ensure Division 20, items 1.10.4 and 1.10.5 are fully

reviewed, understood and will be adhered to. Even if a manufacturer is an approved equal, it in no way permits it from not fully meeting all performance, construction, accessory, quality, etc. requirements of the basis of design manufacturer. A shop drawing of the approved equal manufacturer will need to be submitted for approval prior to its inclusion in the project. Otherwise, the basis of design manufacturer is to be supplied. Refer to Mechanical Addendum 02, Item 1.b. and 1.c.

Aaon (RN Series) is an approved equal for Rooftop Units (HVAC-17) (Division 23, Item 3.19.5d.). Refer to Mechanical Addendum 02, Item 1.d.

**Question 33:**

Can you quantify a square footage of architectural block you want repaired? The note is very vague

**Answer 33:**

The repair consists of three full size concrete block units. The Owner will provide the architectural block for the repair. It is recommended that Contractors verify conditions on site.

### 3.2 ARCHITECTURAL SPECIFICATIONS

- .1 Section 00 21 13 Instructions to Bidders
  - .1 REPLACE Page 3 with Page 3R, attached.
- .2 Section 01 21 00 Allowances
  - .1 REPLACE Page 2 with Page 2R, attached.
- .3 Section 10 51 13 Metal Lockers
  - .1 ADD Article 1.2.2.3 as follows:
    - .3 Mitchell Division 10 Ltd.
- .4 Section 12 24 13 Manually Operated Window Shades
  - .1 REPLACE Article 2.1.1 with the following:
    - .1 This specification is based on LeGrand Solarfective Products Ltd. Manual Teleshades. Similar products by the following manufacturers will also be acceptable without requiring a request for substitution:
      - .1 Altex SunProject Deko Shade System
      - .2 Hunter Douglas RB500 shade system.

### 3.3 ARCHITECTURAL DRAWINGS

- .1 Drawing A0.01R Building Elements, Schedules, OBC Data, Typical Details, Abbreviations & General Notes
  - .1 ADD TYPICAL DETAILS FOR SERVICE TRENCHES, AS SHOWN ON DRAWING ASK.005, ATTACHED.
- .2 Drawing A5.01 Building Sections
  - .1 SECTION DETAIL 6/A5.01: REPLACE DETAIL WITH THAT SHOWN ON DRAWING ASK.006, ATTACHED.

### 3.4 STRUCTURAL

- .1 Refer to Structural Addendum No. 2 issued by MTE Consultants, dated April 14, 2025 (2 pages).

### 3.5 MECHANICAL/ ELECTRICAL

- .1 Refer to Addendum 02 issued by MNE Engineering Ltd., dated April 15, 2025 (4 pages).

**END OF ADDENDUM # 3**



**6. Anticipated Project Schedule**

The following table represents the anticipated project timelines. This timeline is an estimate only and may be subject to change by the Board at any time.

DESCRIPTION	DATE
Issue Date of Tender	March 28, 2025
Non-Mandatory Pre-Bid Site Examination	Date: Thursday, April 3, 2025 Time: 3:30pm local time 1206 Snyder's Road West Baden Ontario Designated Meeting Area: Main Entrance
Deadline for Questions	<b>April 24, 2025</b>
Closing Date and Time	<b>April 29, 2025, 2:00 pm local time</b>
Anticipated Contract Start / Work begins	July 2, 2025
Occupancy	January 23, 2026
Substantial Completion Date	January 23, 2026
Ready for Takeover	January 23, 2026
Deemed Complete Date	March 20, 2026

**7. Pre-Bid Site Examination**

Bidders are strongly encouraged to attend the non-mandatory pre-bid site examination and sign the attendance sheet. Date, time and location are provided above in the Anticipated Project Schedule. The Board may not provide another opportunity to visit the site. However, absence from this site meeting will not disqualify any Bidder.

Bidders shall attend the site meeting at their own risk and hold the Board harmless for any issues or damages arising out of their attendance of the site meeting.

The Owner will not consider any claims for additional payments during the execution of the Work for extra work or difficulties encountered resulting from conditions which were either visible or could be reasonably inferred from an examination of the Place of the Work and the available project information prior to the submission of Bids.

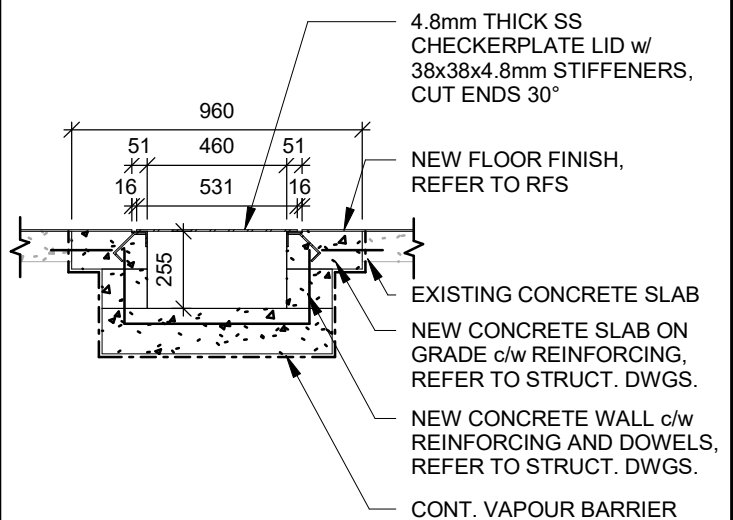
Bidders are encouraged to bring their own measuring tape, camera, or other portable tools as required to the site meeting. Bidders are solely responsible for making their own assessment of the site.

- .4 Installation, finishing and commissioning of products.
- .5 Applicable taxes and duties, excluding HST.
- .4 Inspection and testing allowances shall include:
  - .1 Net cost of inspection and testing services.
  - .2 Applicable taxes and duties, excluding HST.
- .5 Other costs related to work covered by cash allowances are not covered by the allowance, but shall be included in the Contract Price.
- .6 Where costs under a cash allowance exceed the amount of the allowance, the Contractor will be compensated for any excess incurred and substantiated plus an allowance for overhead and profit as set out in the Contract Documents.
- .7 Progress payments on accounts of work authorized under cash allowances shall be included in the monthly certificate for payment.
- .8 Submit, before application for final payment, copies of all invoices and statements from suppliers and subcontractors for work which has been paid from cash allowances.

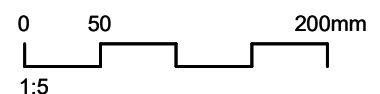
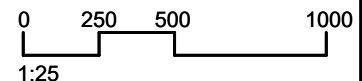
#### 1.4. ALLOWANCES SCHEDULE

Include in the Bid Price a cash allowance of to address the cost of the following items:

1	Designated Substance Removal. (Additional removal not already identified in the ACM Summary report)	\$10,000.00
2	Testing and Inspection:	\$5,000.00
3	Roof Tie-ins for new parapets and HVAC Units:	\$45,000.00
4	Supply and Installation of Finishing Hardware, including all electrified hardware/ automatic door operators (As directed by the Consultant)	\$65,000.00
5	Supply and Installation of new Lockers (not shown on Drawings):	\$20,000.00
6	<b>Supply of Furnishings noted to be installed by Contractor on Drawings; Supply and Installation of Furnishings not indicated on Drawings:</b>	\$30,000.00
7	Removal of redundant above ceiling services/ wiring not already identified on Drawings:	\$15,000.00



2 TYPICAL TRENCH SECTION  
ASK.005 0 250 500

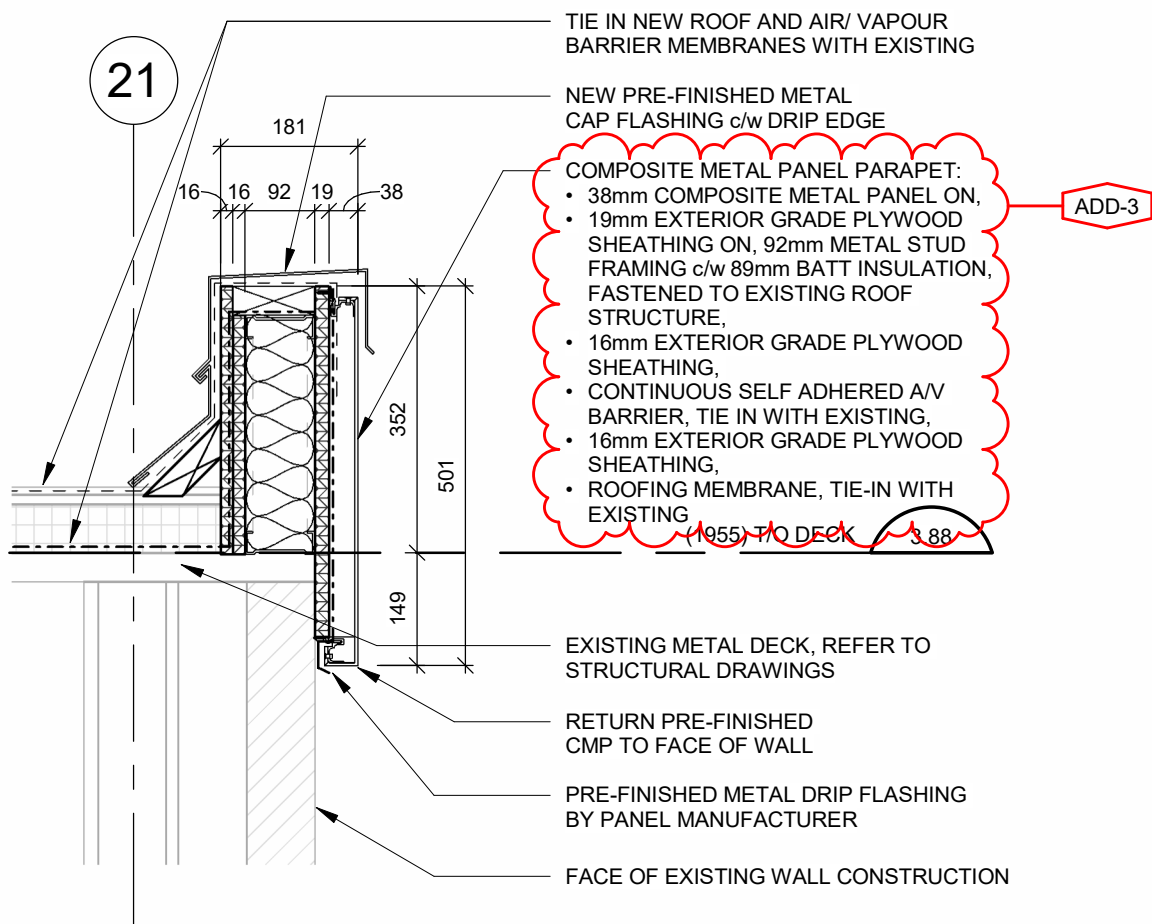


## 1128B

## ACE CLASSROOM & SCIENCE CLASSROOM RENOVATIONS

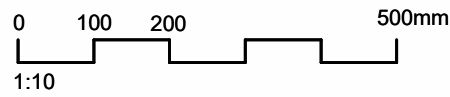
04/15/25

REVISED NOTE ALSO APPLIES TO  
SECTION DETAIL 5/A6.01 AND 8/A6.01



1  
ASK.006

SECTION DETAIL



# Waterloo-Oxford District Secondary School

1206 Snyder's Rd W, Baden, ON N3A 1A4 ACE CLASSROOM & SCIENCE CLASSROOM RENOVATIONS

REVISED SECTION DETAIL - 6/A5.01

Project No.:  
1128B

Plot Date:  
04/15/25

**CORNERSTONE**  
ARCHITECTURE

102-320 Thamees St. London ON Canada N6A 0E1  
P 519 432 6644 F 519 432 6737  
cornerstonearchitecture.ca

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ASK.006

This addendum, prepared by MTE Consultants, forms part of the contract documents and modifies the original specifications and drawings as follows.

## **STRUCTURAL DRAWINGS**

### **AMMENDMENT NO.1**

### **DRAWING S1.1**

- a. Details 4-P and 4-Q added to drawing to detail lateral support along top of masonry walls.
- b. Detail added for trench. Refer to architectural drawings for location and extent of trench.

### **AMMENDMENT NO.2**

### **DRAWING S2.1**

- a. Add note to drawing to provide lateral support along top of all new masonry walls.  
See details 4-P and 4-Q on drawing S1.1 for details.

### **Enclosures:**

Drawings S1.1

**END OF STRUCTURAL ADDENDUM NUMBER TWO**



LINTEL SCHEDULES															
GENERAL PURPOSE LINTELS				LINTELS FOR IDENTIFIED OPENINGS											
STEEL LINTELS			REINFORCED MASONRY LINTELS		MARK	MATERIAL	ARRANGEMENT	REMARKS							
MAXIMUM CLEAR SPAN	MATERIAL	MASONRY TYPE	<p>SECTION A-A</p> <table border="1"> <thead> <tr> <th>LINTEL DEPTH "d"</th><th>"L" OPENING WIDTH</th></tr> </thead> <tbody> <tr> <td>200</td><td>1300</td></tr> <tr> <td>400</td><td>2700</td></tr> <tr> <td>600</td><td>3700</td></tr> </tbody> </table> <p>ELEVATION</p>	LINTEL DEPTH "d"	"L" OPENING WIDTH	200	1300	400	2700	600	3700	L1	L102x102x6.4 + L127x127x6.4		LOCATE L1 LINTELS BETWEEN EX JOIST BEARINGS
LINTEL DEPTH "d"	"L" OPENING WIDTH														
200	1300														
400	2700														
600	3700														
1400mm	L-89 x 89 x 6.4	90 BRICK OR 90 BLOCK PER WYTHE		L2	W200x19 + 220x6 PLATE		PROVIDE BP1 EACH END								
1800mm	L-127 x 89 x 6.4 LLV														
2200mm	L-127 x 89 x 7.9 LLV														
2800mm	L-152 x 102 x 9.5 LLV														
2000mm	2 L-89 x 64 x 6.4 LLV	140 BLOCK													
1800mm	2 L-89 x 89 x 6.4	190 BLOCK													
2400mm	2 L-127 x 89 x 6.4 LLV														
4200mm	S200x27 + PL 170x6	240 BLOCK													
1400mm	L-102 x 102 x 6.4 + L-127 x 102 x 6.4														
3000mm	S150x19 + PL 220x6														
1200mm	S100x11 + PL 270x6														
1900mm	S150x19 + PL 270x6	290 BLOCK													
3500mm	S200x27 + PL 270x6														
CONDITIONS OF USE FOR GENERAL PURPOSE LINTEL SCHEDULE:				NOTES FOR LINTELS FOR IDENTIFIED OPENINGS SCHEDULE:											
<ol style="list-style-type: none"> <li>WHERE LINTEL MARKS ARE SHOWN THUS: "L#", REFER TO SCHEDULE "LINTELS FOR IDENTIFIED OPENINGS" ON THIS DRAWING.</li> <li>A SUITABLE LINTEL IS TO BE SUPPLIED FOR ALL MASONRY OPENINGS.</li> <li>THIS SCHEDULE IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.</li> <li>THIS SCHEDULE IS TO BE USED AS A GUIDE WITH REGARD TO WALL SIZE AND OPENING WIDTH FOR ANY LINTELS NOT SPECIFICALLY NOTED ON PLAN.</li> <li>CONCRETE BLOCK UNITS ARE HOLLOW AND UNFILLED EXCEPT FOR FIRST COURSE ABOVE LINTEL WHICH SHALL BE FILLED SOLID UNLESS NOTED OTHERWISE.</li> <li>DO NOT SHORE LINTELS DURING WALL CONSTRUCTION.</li> <li>PROVIDE 200mm BEARING EACH END ON 400mm LONG BY 2 COURSES DEEP OF FILLED OR SOLID MASONRY UNLESS NOTED OTHERWISE ON DRAWING.</li> </ol>				<ol style="list-style-type: none"> <li>A SUITABLE LINTEL IS TO BE SUPPLIED FOR ALL MASONRY OPENINGS. FOR OPENINGS THROUGH MASONRY WALLS WHICH DO NOT HAVE A SPECIFIC MARK REFER TO SCHEDULE "GENERAL PURPOSE LINTELS" ON THIS DRAWING.</li> <li>SEE PLANS FOR LINTEL MARKS.</li> <li>LINTEL SUPPORTING EXTERIOR WYTHE OF MASONRY IN EXTERIOR WALLS SHALL BE HOT DIP GALVANIZED. SEE GENERAL PURPOSE LINTEL SCHEDULE FOR SIZE.</li> <li>FULL HEAD JOINTS ARE REQUIRED FOR DEPTH OF MASONRY LINTEL WHEN SPECIFIED</li> <li>GROUT FOR LINTEL TO BE 25MPa.</li> <li>MASONRY CONTROL JOINTS ARE NOT TO BE LOCATED THROUGH MASONRY LINTELS.</li> <li>ALL EXTERIOR LINTELS TO BE HOT-DIP GALVANIZED AFTER FABRICATION AND STRAIGHTENED TO MEET CSA S16 TOLERANCES.</li> <li>PROVIDE 8" BEARING EACH END UNLESS NOTED OTHERWISE ON DRAWING.</li> <li>BEARING TO BE ON 2'-0" LONG BY 2 COURSES DEEP OF FILLED MASONRY UNLESS OTHERWISE NOTED ON PLAN, DRAWING, OR BEARING PLATE SCHEDULE.</li> </ol>											
<ol style="list-style-type: none"> <li>CONNECT LINTELS DIRECTLY TO STRUCTURE WHERE INSUFFICIENT BEARING IS AVAILABLE.</li> <li>LINTEL SUPPORTING EXTERIOR WYTHE OF MASONRY IN EXTERIOR WALLS SHALL BE HOT DIP GALVANIZED.</li> <li>ALL DOUBLE ANGLE LINTELS TO BE WELDED BACK-TO-BACK TOP AND BOTTOM WITH 5mm FILLET WELDS x 50mm LONG WELD AT 600mm o/c.</li> <li>LINTELS IN CURVED WALLS ARE TO BE ROLLED TO REQUIRED RADIUS.</li> <li>MASONRY CONTROL JOINTS ARE NOT TO BE LOCATED THROUGH LINTELS.</li> <li>FULL HEAD JOINTS ARE REQUIRED FOR DEPTH OF LINTEL.</li> </ol>															

BEARING PLATE SCHEDULE				
MARK	SIZE	ANCHOR SIZE	HOLD DOWN BAR	REMARKS
BP1	190x190x16	1-20mm DIA. x400LG	WHEN USED AT ROOF PROVIDE 1-15M FULL HEIGHT OF WALL	MINIMUM GROUTING bxd 600x400

Diagram illustrating the cross-section of a typical new trench, showing dimensions and reinforcement details.

Dimensions and Reinforcement Details:

- Top width: 460
- Bottom width: 150 (center section), 150 (left side), 150 (right side)
- Height of trench: 255
- Reinforcement: 5-15M CONTINUOUS, 10M@300 U BARS
- Welded Strap Anchor: L51x51x4.8 CONT. + 40x4.8x175 WELDED STRAP ANCHOR AT 600 o.c. EACH SIDE OF TRENCH
- 10M DOWELS SEE DETAIL 3-M ON S1.1
- SEE ARCHITECTURAL FOR COVER PLATE DETAILS

REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS AND EXTENT OF NEW TRENCH

Scale: 1:10

CUT TOP COURSE AS  
REQUIRED AND FILL SOLID

STEEL ROOF DECK SEE PLAN

FILL SOLID OR PROVIDE COMPRESSIBLE  
JOINT FILLER IF SPECIFIED BY ARCHITECT

OWSJ OR BEAM.  
SEE PLAN

FOR SPACING OF ANGLES SEE  
DETAIL 4-P. FOR ANGLE SIZES:

- LESS THAN 2000mm LONG  
USE L76x4-1/2
- GREATER THAN 2000mm,  
BUT LESS THAN 3000mm  
USE L89x89x6.4

L76x76x4-1/2x150LG WELD  
TO HORIZONTAL ANGLE  
INSTALL TIGHT TO WALL

SEE ARCHITECTURAL PLANS  
FOR BLOCK WALL THICKNESS,  
LOCATION AND EXTENT

## STANDARD DETAIL

NOT TO SCALE      LATERAL SUPPORT - PARALLEL TO  
OPEN WEB STEEL JOIST

4-Q

SEE ARCHITECTURAL DRAWINGS FOR FIRE SMOKE STOPPING OR ACOUSTICAL SEAL

HSS 38x38x3.2 x350LG, WELDED TO OWS/J AT SPACING SHOWN IN TABLE 4-P

L76x76x4.8x150LG, AT EACH HSS, EACH SIDE OF WALL

SEE ARCHITECTURAL PLANS FOR BLOCK WALL THICKNESS, LOCATION AND EXTENT

FLOOR OR ROOF

BRACE ANGLE:  
LESS THAN 2000mm LONG USE L64x64x.8  
GREATER THAN 2000mm, BUT LESS THAN 3000mm USE L89x89x6.4

TABLE 4-P	
MASONRY WYTHE THICKNESS	MAXIMUM SPACING OF LATERAL SUPPORT
90mm	900mm
140mm	1400mm
190mm & THICKER	1800mm

**STANDARD DETAIL**

NOT TO SCALE      LATERAL SUPPORT - BELOW OPEN WEB STEEL JOIST

4-P

1. GENERAL CONTRACTOR TO SITE VERIFY ALL CONDITIONS AND OR DIMENSIONS SHOWN OR IMPLIED ON THE STRUCTURAL DRAWINGS.
2. GENERAL CONTRACTOR TO CO-ORDINATE ALL STRUCTURAL DOCUMENTS AND WORK WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND SITE SERVISING DOCUMENTS AND WORK.
3. REPORT ANY DISCREPANCIES AND OR CONFLICTS IN DIMENSIONS OR DETAILS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCING THE WORK IN QUESTION.
4. PROVIDE ALL TEMPORARY NEEDLING, SHORING AND BRACING AS REQUIRED TO SAFELY COMPLETE THE WORK SHOWN ON THE STRUCTURAL DRAWINGS. SUBMIT, UPON REQUEST OF THE STRUCTURAL ENGINEER, DRAWINGS DETAILING THE TEMPORARY WORKS, SEALED SIGNED AND DATED BY A LICENSED PROFESSIONAL ENGINEER.
5. THE GENERAL CONTRACTOR IS TO NOTE THE EXISTING ROOF STRUCTURE IS 10" PRECAST CONCRETE. THE CONTRACTOR MUST CARRY THE COST TO SCAN AND CORE DRILL ALL NEW OPENINGS REQUIRED IN THE ROOFING FOR THE MECHANICAL AND ELECTRICAL SERVICES. PROVIDE A CORING PLAN SHOWING THE SIZE, SPACING AND LOCATIONS OF ALL CORED OPENINGS FOR REVIEW BY MTE PRIOR TO ANY CORES BEING COMPLETED. RELOCATE CORES AS REQUIRED TO AVOID DAMAGING THE EXISTING REINFORCING AND PRESTRESS STRANDS IN THE PRECAST PANELS.

1. ALL CONCRETE WORK INCLUDING MATERIALS, MIXING, PLACING, FINISHING, CURING, COLD WEATHER PROTECTION, HOT WEATHER PROTECTION, FORMWORK AND RESHORING IN ACCORDANCE WITH A23.1 AND A23.3 CURRENT UNLESS NOTED OTHERWISE.
2. ALL CONCRETE REINFORCING INCLUDING MATERIALS, FABRICATION, DETAILING, LAP SPICES, PLACEMENT, FIXING AND COVER IN ACCORDANCE WITH A23.1 AND A23.3 CURRENT UNLESS NOTED OTHERWISE HERE.
3. CURE ALL SLABS ON GRADE WITH PRE-APPROVED CURING COMPOUND COMPATIBLE WITH THE PROPOSED FLOORING ADHESIVE. MAINTAIN AIR TEMPERATURE AT OR ABOVE 10°C FOR SEVEN (7) DAYS.
4. ALL SLABS TO BE LEFT EXPOSED IN THE COMPLETED BUILDING TO RECEIVE TWO COATS OF A PRE-APPROVED CONCRETE SEALER IMMEDIATELY PRIOR TO TURNING THE BUILDING OVER TO THE OWNER.
5. CONCRETE PROPERTIES:

LOCATION	SPEC 28 DAY	SLUMP	AIR CONTENT	EXPOSURE CLASS
SLABS ON GRADE	25MPa	100 MAX.		N

6. REINFORCING STEEL TO BE GRADE 400, WITH A MINIMUM SPECIFIED YIELD STRENGTH OF 400MPa.

1. SUBMIT FOR CONSULTANT'S REVIEW ERECTION DIAGRAMS AND FABRICATION DETAILS IN ACCORDANCE WITH THE GENERAL NOTES.
2. CONSULTANT'S REVIEW OF SHOP DRAWING DOES NOT RELEASE THE CONTRACTOR OF HIS RESPONSIBILITY FOR THE COMPLETENESS OF THE WORK NOR CO-ORDINATION WITH OTHER TRADES.
3. FABRICATION AND ERECTION OF STEEL SHALL BE IN ACCORDANCE WITH CSA S16 (CURRENT).

SHAPE	STANDARD	GRADE	MIN. YIELD STRENGTH
CANADIAN WWF & W	GSA G40.21	350W	50 Ksi
HOLLOW STRUCTURAL SECTION CLASS C	GSA G40.21	350W	50 Ksi
PLATES, CHANNELS, ANGLES	GSA G40.21	300W	50 Ksi
WWF & W NOT ROLLED IN CANADA	ASTM A572	50	50 Ksi

4. STRUCTURAL STEEL TO CONFORM TO THE FOLLOWING TABLE UNLESS NOTED OTHERWISE.
5. ALL STRUCTURAL STEEL SHALL BE SUFFICIENTLY STRAIGHT THAT VARIATIONS CANNOT BE DETERMINED WITH THE UNAIDED EYE. ALL STRUCTURAL STEEL SHALL BE THOROUGHLY CLEANED OF ALL LOOSE MILL SCALE, DIRT, OIL, OR OTHER FOREIGN MATTER BEFORE SHOP PAINTING. SHOP PAINT SHALL CONFORM TO CAN/CGSB 1.40-M89 OR CISC/CPMA STANDARD 2-75.
6. STEEL LINTELS SHALL HAVE A MINIMUM BEARING LENGTH OF 8".
7. WHERE HOT DIP GALVANIZING (HDG) IS SPECIFIED IT SHALL BE IN ACCORDANCE WITH CAN/CSA-G164-M92 (MINIMUM ZINC COATING 600 GSM).

**CUT BACK EXISTING FLOOR SLAB**

TO ALLOW FOR A SAFE WORKING ENVIRONMENT TO PLACE NEW SERVICES

REINFORCING AS FOLLOWS:

- SLAB WIDTH LESS THAN 350mm:
  - 2-10M CONTINUOUS
- SLAB WIDTH GREATER THAN 350mm:
  - WELDED WIRE MESH AS SPECIFIED FOR NEW SLABS ON GRADE, WITH NOT LESS THAN 3 LONGITUDINAL WIRES

PROVIDE UNDER REINSTATED SLAB ON GRADE VAPOUR/MOISTURE PROTECTION SYSTEM AS SPECIFIED FOR NEW SLAB ON GRADE

SAW CUT EDGES FULL DEPTH OF EXISTING SLAB

10M IN 20mm DIA HOLES WITH PREMIXED GROUT (V-3 MEADOWS OR MASTERFLOW 713 BY MASTER BUILDERS)

PROVIDE 10Mx300LG. AT 600c.c.

100 MINIMUM

NEW CONCRETE SLAB TO MATCH EXISTING, BUT NOT LESS THAN 150mm CONCRETE FOR THE REINSTATED SLAB ON GRADE TO BE THE SAME SPECIFICATION AS FOR NEW SLAB ON GRADE

NEW BACKFILL TO BE THE SAME SPECIFICATION AS FOR NEW SLAB ON GRADE

NEW UNDERGROUND SERVICE OR NEW FOOTING

**NOTES:**


- UNLESS NOTED OTHERWISE IN THE STRUCTURAL DRAWINGS, SPACING OF EITHER SAW CUT CONTROL JOINTS OR CONSTRUCTIONS JOINTS IN THE REINSTATED SLAB ON GRADE SHALL BE AS FOLLOWS:
  - FOR WIDTHS LESS THAN 350MM AT 900 ON CENTRE ALONG LENGTH OF SLAB.
  - FOR WIDTHS GREATER THAN 350 AND LESS THAN 1800 AT 1200 ON CENTRE LENGTH OF SLAB.
  - FOR WIDTHS GREATER 1800 LONGITUDINAL AND TRANSVERSE CONTROL JOINTS WITH SPACING NOT TO EXCEED 1200 ON CENTRE.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATION OF NEW BURIED SERVICES

**STANDARD DETAIL**

NOT TO SCALE SLAB ON GRADE - REPAIR DETAIL

**(3-M)**

ORIGINAL  
DRAWING  
SEALED BY  
J.A. GILLETT,  
P.ENG.



**MTE**  
Engineers, Scientists, Surveyors



# Waterloo-Oxford District Secondary School

AGE CLASSROOM & SCIENCE CLASSROOM RENOVATIONS

1205 Snyder's Rd W., Baden, ON N3A 1A4

STRUCTURAL DATA, STANDARD DETAILS AND NOTES		
Project No.:	Drawn By:	Revised:
61652_001	JAS	MARCH 2025

S1.1

## S1.1



## ADDENDUM 02

<b>To:</b>	Cornerstone Architecture	<b>Date:</b>	April 15, 2025
		<b>Project:</b>	Waterloo-Oxford District Secondary School
<b>cc:</b>	WRDSB	<b>Project No:</b>	25004

*This addendum forms part of the contract documents and amends the drawings and specifications.*

## Mechanical

1. Reference specification section Division 23.
  - a. Add item 2.11.5e. to read, 'Rosemex'.
  - b. Add item 3.18.1k. to read, 'Prior to submitting a bid that includes an approved equal manufacturer, ensure Division 20, items 1.10.4 and 1.10.5 are fully reviewed, understood and will be adhered to. Even if a manufacturer is an approved equal, it in no way permits it from not fully meeting all performance, construction, accessory, quality, etc. requirements of the basis of design manufacturer. A shop drawing of the approved equal manufacturer will need to be submitted for approval prior to its inclusion in the project. Otherwise, the basis of design manufacturer is to be supplied.
  - c. Add item 3.19.4d. to read, 'Aeon (RN Series)'. Refer also to item 1.b. above.
  - d. Add item 3.19.5d. to read, 'Aeon (RN Series)'.
2. Reference drawing M1.2.
  - a. Reference HVAC-17 in Rooftop Unit Schedule.
    - i. Revise Remarks as follows:
      - 208-3-60, 76 MCA, 90 MOCP.
      - Add 'For roof curb reference, ex rooftop unit is Lennox GCS16-180-375-1Y (verify specific details on site).'
3. Reference drawing M2.3.
  - a. In detail 1, Office 207C, there is no existing convactor heater but there is still an existing wallfin heater that is to be removed.
4. Reference drawing M2.4.
  - a. In detail 1, AV Office 200F, there is no existing exhaust air grille but there is still existing exhaust air ductwork capped immediately outside the space that is to be removed.
  - b. Revise note 3 to read, 'Ceiling fan c/w controls to be removed by Elec Trade & turned over to Owner.'

5. Reference drawing M3.1.
  - a. Revise detail 1 as per attached sketch SK-M01.
6. Reference drawing M3.2.
  - a. Revise note 1 to read, 'In Science Lab 208, temporarily remove and reinstall ex gas piping as required to support installation of additional piping.'
  - b. Revise detail 1 as per attached sketch SK-M01.
7. Reference drawing M3.3.
  - a. In detail 1, add notes 2 and 4 to radiant panel RP-4 in Prep Room 206.
8. Reference drawing M3.4.
  - a. In detail 1, Tech 200A and AV Office 200F, add note to read, 'Temporarily remove and reinstall one supply air diffuser, one return air grille and one exhaust fan as well as sprinkler heads to suit rooftop unit HVAC-17 structural reinforcing and associated removal and reinstallation of drop ceiling.'

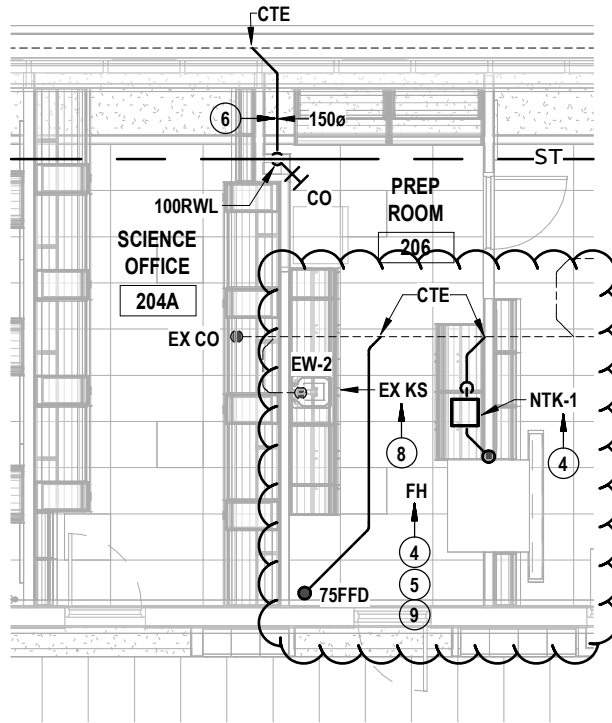
## **Electrical**

1. Reference Wiring for Equipment Schedule on drawing E4.1.
  - a. Revise electrical characteristics of HVAC-17 to: 208V, 3-phase, 76 MCA, 90 MOCP.
2. Reference Single Line Diagram on drawing E4.3.
  - a. Delete provision of new fuses (3x80A) serving HVAC-17. Existing fuses (3x90A) shall be reused.
  - b. Revise new HVAC-17 feeder to the following: 3-#3 T90 CU IN 35 EMT.
  - c. Revise conduit size serving PSD to 41mm.
3. Reference drawings E2.1 & E2.2, Division 26 specification.
  - a. Revise Existing Drawing note 'ABATEMENT' & Division 26, article 1.10.12 to the following:  
THE ABATEMENT OF ALL ASBESTOS CONTAINING MATERIAL (ACM) WITHIN A 600MM RADIUS OF ANY ELECTRICAL WORK SHALL BE COMPLETED BY THE GENERAL CONTRACTOR/ABATEMENT CONTRACTOR. ELECTRICAL SUBCONTRACTOR SHALL COORDINATE ALL WORK WITH THE GENERAL CONTRACTOR/ABATEMENT CONTRACTOR.
4. Reference drawings E2.1 & E2.2
  - a. Revise Existing Drawing note #8 to the following:  
CUTTING, PATCHING & FINISHING OF EXISTING FLOOR BY OTHERS. COORDINATE WITH GENERAL CONTRACTOR.
  - b. Revise Existing Drawing Note #1 to the following:  
DELETE EXISTING DISTRIBUTION PANEL.
    - CUTTING, PATCHING & FINISHING OF WALL BY OTHERS. COORDINATE WITH GENERAL CONTRACTOR.
    - REFER TO SLD.

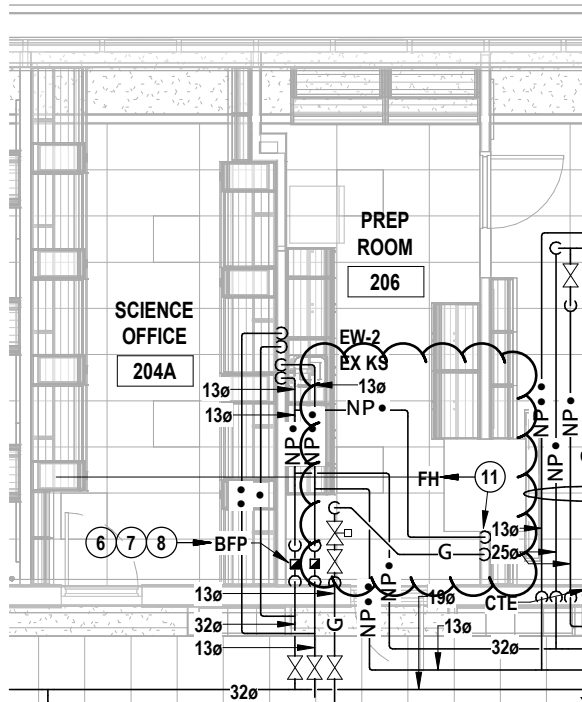


- SALVAGE BREAKERS AND TURN OVER TO SCHOOL CUSTODIAN FOR FUTURE MAINTENANCE.

**End of Addendum**



**1 GROUND FLOOR DRAINAGE RENOVATION PLAN**  
 SK-M01 SCALE: 1:100



**2 GROUND FLOOR DOMESTIC WATER RENOVATION PLAN**  
 SK-M01 SCALE: 1:100