



Addendum #%
Bid Opportunity: 25-7639-RFT - Alpine Public
School HVAC Upgrade
Closing Date: Monday, March 31, 2025 2:00 PM

The following issued by the Board shall form part of the Bid / Proposal Solicitation document. The revisions and additions noted herein along with any attachments shall be read in conjunction with all other related documents. This Addendum shall, take precedence over the previously issued documents where differences occur. Receipt of this addendum must be acknowledged in the Bidding System, bids&tenders.

If you have already submitted a Bid / Proposal, it will be automatically withdrawn as a result of this addendum. You must resubmit the Bid / Proposal acknowledging all addenda and revising your Bid / Proposal to comply with all addenda.

Information Initiated by the Consultant

Refer to the next pages.

ADDENDUM NO. 1

Issued by email March 19, 2025

The following additions, deletions, modifications and clarifications issued herein are hereby an integral part of the Tender and Contract Documents. Minor Typographic or spelling mistakes in the Contract Documents which do not significantly affect the meaning of the sentence or phrase in which they occur may not necessarily be corrected by Addenda.

GENERAL

1. Ensure that all parties submitting bids are aware of this **Addendum No. 1** and its contents.
2. **Contents of Addendum No. 1** consist of the following:
 - .1 One (1) typed pages of instructions and Three (3) 42x30 Drawings.

AMENDMENTS TO SPECIFICATIONS – BINDER A

Item 01: Section 00 21 13 Instructions to Bidders

- .1 REVISE the follow lines for item “6. Anticipated Project Schedule”, “Anticipated Contractor Start / Work Begins – **April 14, 2025**”
- .2 ADD the follow lines to “6. Anticipated Project Schedule”:
 - a. **“All Shop Drawings for long lead items – April 28th, 2025”**
 - b. **“Consultants to review and respond to shop drawings – May 12th, 2025”**

Item 02: Section 02 41 15 Selective Demolition and Removals

- .1 DELETE item 1.3.1 “Existing ground floor structure contains in-floor heating....”
- .2 DELETE item 3.5.1 “Oil Tank Investigation and Possible Removal”

Item 03: Section 08 11 15 Alpine Public School Door Schedule

- .1 ADD item:

DOOR									FRAME		
DOOR	WIDTH	HEIGHT	FIRE	H.T.	TYPE	MAT	FIN	GLASS	TYPE	MAT	FIN
X049B	2X915	2150	-	-	A	HM	P	-	EX.	HM	P

AMENDMENTS TO DRAWINGS – ARCHITECTURAL

Item 04: Drawing A01 KEY PLAN, FIRE SEPERATIONS, OBC MATRIX AND SCHEDULE

- .1 REPLACE Drawing A01 with the enclosed A01 Drawing.

Item 05: Drawing A03 DEMOLITION AND PROPOSED ROOF PLAN – SECTION A

- .1 REPLACE Drawing A03 with the enclosed A03 Drawing.

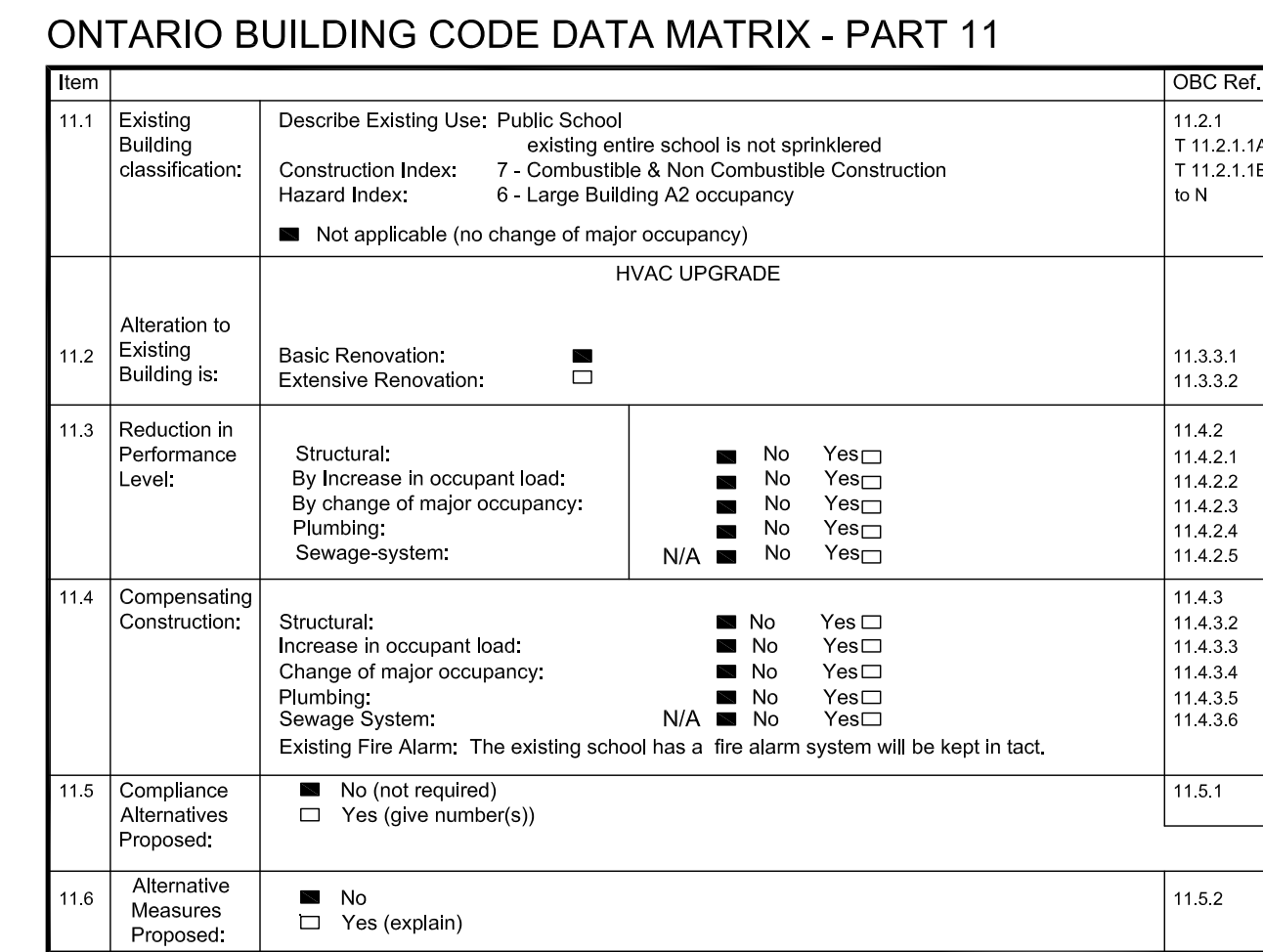
Item 06: Drawing A04 DEMOLITION AND PROPOSED FLOOR PLAN AND ELEVATIONS - SECTION B

- .1 REPLACE Drawing A04 with the enclosed A04 Drawing.

Item 07: Drawing A05 DEMOLITION AND PROPOSED RCP PLAN – SECTION B

- .1 REVISE Room name of “Trans X049” to “Storage Room X049”.

End of Addendum No. 1



A01 SCALE : 1:200

SCALE AS NOTED	PROJECT 24138
DATE MARCH 2025	
DRAWN GY	DRAWING A01
CHECKED PL/JK	
PRINT DATE CAD FILE	MARCH 2025 T:24138/02

G.C. IS TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.

ALL REMOVAL/SUBSTITUTIONS TO BE COORDINATED WITH STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS PRIOR TO DEMOLITION START. FOR ADDITIONAL DEMOLITION DOCUMENTS AND DETAILS SEE STRUCTURAL, MECH. AND ELEC. DWGS.

GENERAL CONTRACTOR TO **X-RAY ALL EXISTING CONCRETE FLOOR SLABS** AS REQUIRED PRIOR TO DEMOLITION. IF EXISTING WIRING, CONDUIT, ETC. CUT DURING SLAB DEMOLITION, CONTRACTOR IS RESPONSIBLE TO RESTORE ALL EXISTING ITEMS PRIOR TO DEMOLITION. SEE SPEC.

CONTRACTOR TO REMOVE EXISTING WINDOW COVERINGS, HARDWARE, ETC. AND STORE FREE FROM DIRT AND DAMAGE AND RE-INSTALL AFTER DEMOLITION IS COMPLETE.

CONTRACTOR TO PREPARE AND PAINT ALL EXISTING AND NEW WALLS IN CONSTRUCTION AREA (INCLUDING AREAS IN EXISTING CORRIDORS AFFECTED BY REMOVAL OF WALLS) TO SPECIFICATION, R/100% SHEEN, SMOOTH.

CONTRACTOR TO COORDINATE DEMOLITION OF ALL RACEWAY/CONDUIT/ETC. WITH ELECTRICAL DRAWINGS. PATCH AND MAKE GOOD ALL WALLS AS REQUIRED FOR NEW FINISHES.

AREA OF WORK TO BE THOROUGHLY CLEANED TO OWNERS SATISFACTION. ALL OF CONSTRUCTION DUST, DEBRIS AND MATERIALS AS PER SPECIFICATION SECTION 071411.

CONTRACTOR TO REMOVE EXISTING MULTI-ZONE ROOF TOP UNIT COMPLETELY. REFER TO MECH. DWGS.

CONTRACTOR TO CUT AND REMOVE EXISTING SECTION OF GAS PIPING. REFER TO MECH. DWGS.

CONTRACTOR TO REMOVE AND RELOCATE EXISTING ROOF DRAIN. REFER TO MECH. DWGS.

CONTRACTOR TO REMOVE AND RELOCATE EXISTING SAN. VENT. REFER TO MECH. DWGS.

TOTAL EXTENT OF ROOF REMOVAL AND REPLACEMENT FOR NEW MECHANICAL WORK.

G.G. IS TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.

CONTRACTOR TO REMOVE EXISTING WINDOW COVERINGS, HARDWARE, ETC. AND STORE FREE FROM DIRT AND DAMAGE AND RE-INSTALL AFTER CONSTRUCTION IS COMPLETE.

CONTRACTOR TO PATCH ALL EXISTING HOLES IN EXISTING BLOCK, PREPARE AND PAINT ALL EXISTING AND NEW WALLS IN CONSTRUCTION AREA INCLUDING AREAS OF EXISTING CORRIDORS AS NOTED ON FLOOR PLAN. REFER TO SPECIFICATION AND SCHEDULES.

CONTRACTOR TO PAINT ALL EXISTING DOORS, FRAMES, ETC. USED FOR CONSTRUCTION ACCESS TO MATCH EXISTING PRIOR TO PROJECT COMPLETION.

STUFF DECK PLATES AND ANY TOP OF WALL PENETRATIONS WITH ROXUL AND CAULKING AS REQUIRED TO MAINTAIN EXISTING SMOKE-TIGHT JOINTS FOR ALL EXISTING SEPARATIONS AT WALLS, CEILINGS, FLOORS, AND FINE SEPARATIONS AND SPECIFICATIONS.

AREA OF WORK TO BE THOROUGHLY CLEANED TO OWNER SATISFACTION. ALL OF CONSTRUCTION DUST, DEBRIS AND MATERIALS AS PER SPECIFICATION SECTION 017411.

(R1) CONTRACTOR TO SUPPLY AND INSTALL NEW MULTIZONE ROOF TOP UNIT ON NEW ROOF CURB. REFER TO DETAIL, AND MECH. DWGS.

(R2) CONTRACTOR TO RELOCATE EXISTING SAN. VENT. REFER TO MECH. DWGS.

(R3) CONTRACTOR TO RELOCATE ROOF DRAIN. REFER TO MECH. DWGS.

(R4) CONTRACTOR TO SUPPLY AND INSTALL NEW ERV UNIT. REFER TO MECH. DWGS.

(R5) CONTRACTOR TO SUPPLY AND INSTALL NEW CONCRETE PAVEMENT. REFER TO DETAIL.



1:150	24138
DATE MARCH 2025	
DRAWN GY	DRAWING A03
CHECKED PL/JK	
PRINT DATE	MARCH 2025
CAD FILE	T:24138102

DEMOLITION PLAN NOTES

G.C. IS TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.

ALL REMOVALS/DEMOLITIONS TO BE COORDINATED WITH STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS PRIOR TO DEMOLITION START. FOR ADDITIONAL DEMOLITION, DOCUMENTS AND DETAILS SEE STRUCTURAL, MECH. AND ELEC. DWGS.

GENERAL CONTRACTOR TO X-RAY ALL EXISTING CONCRETE FLOOR SLABS AS REQUIRED PRIOR TO DEMOLITION, OF EXISTING WIRES, CONDUIT, UNDERGROUND PLUMBING, ETC. CUT DURING SLAB DEMOLITION, CONTRACTOR IS RESPONSIBLE TO RESTORE ALL EXISTING ITEMS PRIOR TO DEMOLITION. SEE SPEC.

CONTRACTOR TO PREPARE AND PAINT ALL EXISTING AND NEW WALLS IN CONSTRUCTION AREA (INCLUDING AREAS IN EXISTING CORRIDORS AFFECTED BY RENOVATION), REFER TO SPECIFICATION AND SCHEDULES.

CONTRACTOR TO COORDINATE DEMOLITION OF ALL RACEWAY/CONDUIT/ETC. WITH ELECTRICAL DRAWINGS, PATCH AND MAKE GOOD ALL WALLS AS REQUIRED FOR NEW FINISHES. AREA OF WORK TO BE THOROUGHLY CLEANED TO OWNER SATISFACTION. ALL OF CONSTRUCTION DUST, DEBRIS AND MATERIALS.

1 PATCH ALL EXISTING HOLES IN CONCRETE BLOCK WALLS AND PREPARE FOR NEW PRIME AND PAINT OF ENTIRE ROOM, CONTRACTOR TO REMOVE ALL MSC. HOOKS AND LOOSE FITMENTS PRIOR TO PAINTING AND REINSTALL UPON COMPLETION.

2 CAREFULLY SAW CUT EXISTING WALL TO EXTEND SHOWN FOR NEW OPENING AND STEEL LINTEL. REMOVE PARTIAL CUT BLOCK ALTERNATE COURSES ON EITHER SIDE OF OPENING FOR INSTALLATION OF DOUBLE BULLNOSE BLOCK JAMB (TOOTHED) INCLUDING BASE AND ANY PADLOCKS. REFER TO DETAIL. (A04) PATCH AND REPLACE FINISHES TO MATCH EXISTING AND NEW FINISHES WHERE APPLICABLE. REFER TO FINISH SCHEDULE. REFER TO PROPOSED PLAN FOR OPENING SIZE.

3 CONTRACTOR TO REMOVE EXISTING MILLWORK COMPLETELY AND HANOVER TO SCHOOL BOARD, PATCH AND LEVEL EXISTING FLOOR FOR NEW FLOOR FINISH. COORDINATE ON SITE AS REQUIRED.

4 CONTRACTOR TO REMOVE EXISTING LADDER AND PLATFORM COMPLETELY. PATCH EXISTING BLOCK WALL AND PREPARE FOR NEW PAINT FINISH.

5 CONTRACTOR TO REMOVE EXISTING OVERHEAD DOOR, EXISTING FRAME TO REMAIN, PATCH AND MAKE GOOD EXISTING DOOR FRAME FOR NEW PAINT FINISH.

6 CONTRACTOR TO DEMOLISH EXISTING MILLWORK AND INFL. EXISTING 1950mm WIDE OPENING WITH NEW CORRUGATED METAL PANEL (COLOUR TO MATCH ADJACENT WALL) ON WATER PROOF AND INSULATED STEEL STUD. WITH PAINTED METAL BACK PAN (FLUSH WITH INTERIOR WALL) CONTRACTOR TO ENSURE GALVALUME WATER SEAL AROUND INFILL.

CONSTRUCTION NOTES

G.C. IS TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.

CONTRACTOR TO PATCH ALL EXISTING HOLES IN EXISTING BLOCK, PREPARE AND PAINT ALL EXISTING AND NEW WALLS IN CONSTRUCTION AREA (INCLUDING AREAS IN EXISTING CORRIDORS AS NOTED ON FLOOR PLAN), REFER TO SPECIFICATION AND SCHEDULES.

STUFF DECK FLUTES AND ANY TOP OF WALL PENETRATIONS WITH ROXUL AND CAULKING AS REQUIRED TO MAINTAIN EXISTING SMOKE-TIGHT JOINTS FOR EXISTING 1 HOUR FIRE SEPARATION AT CORRIDOR WALLS. REFER TO A01 FIRE SEPARATIONS AND SPECIFICATIONS. REFER TO DETAIL 3A04

AREA OF WORK TO BE THOROUGHLY CLEANED TO OWNER SATISFACTION, ALL OF CONSTRUCTION DUST, DEBRIS AND MATERIALS

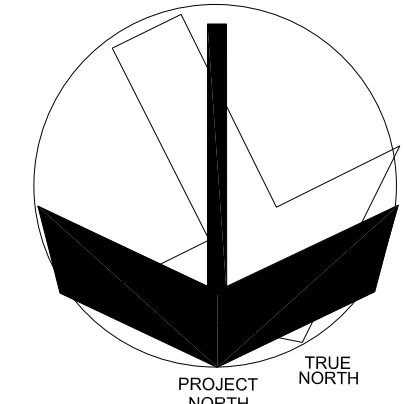
1 INSTALL NEW 190mm CONCRETE BLOCK WALL, FLOOR TO UNDERSIDE DECK, WITH BASEBOARD, PRIME AND PAINT FINISH.

2 SUPPLY AND INSTALL NEW 1/4" DOOR FRAME, DOOR, LINTEL AND HARDWARE IN PROPOSED WALL. REFER TO DOOR SCHEDULE, STRUCTURAL LINTEL SCHEDULE FOR LINTEL SIZE.

3 CONTRACTOR TO PRIME, PAINT FINISH AND NEW RUBBER BASE ENTIRE ROOM.

4 CONTRACTOR TO SUPPLY AND INSTALL NEW SHIPS LADDER, ALIGNED WITH EXISTING ROOF HATCH OPENING. REFER TO SPECS.

5 CONTRACTOR TO SUPPLY AND INSTALL NEW CONCRETE PAD. REFER TO ELEC. SPECS.

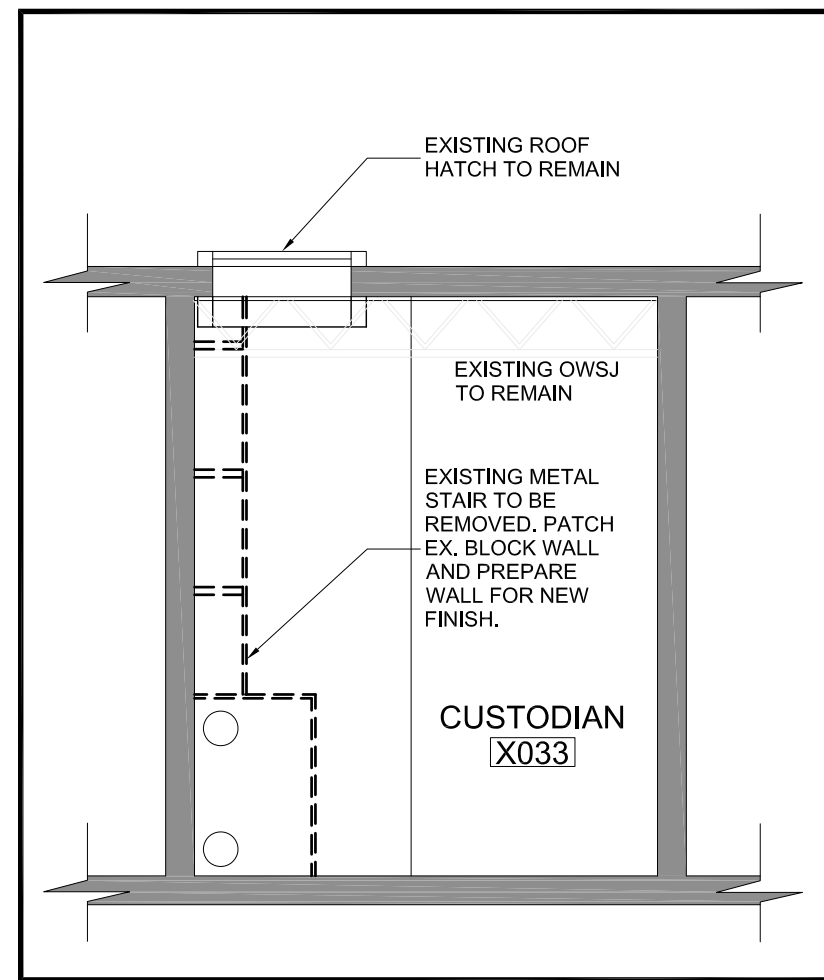


LEGEND

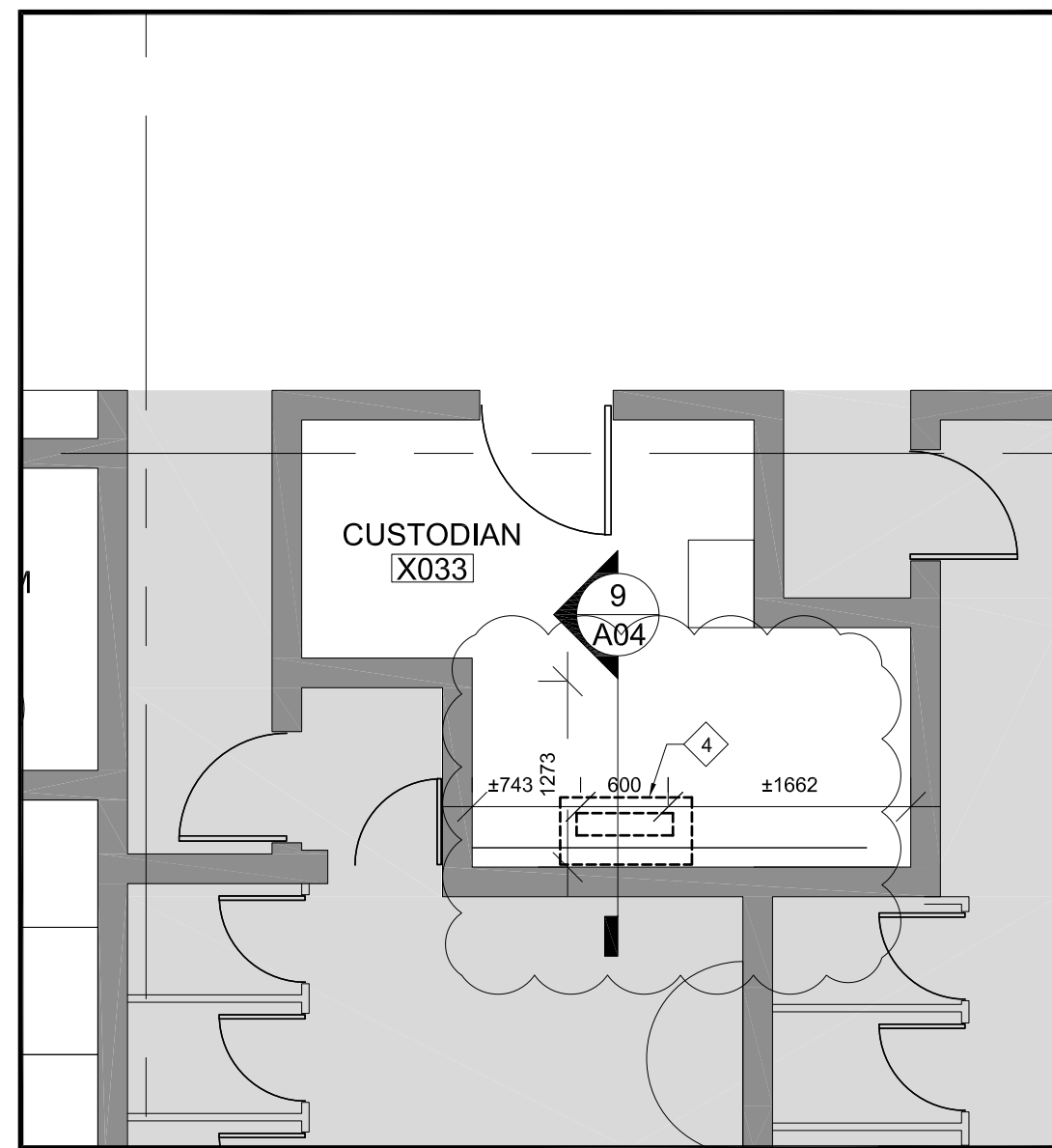
EXISTING TO REMAIN

NEW CONSTRUCTION OR RENOVATION

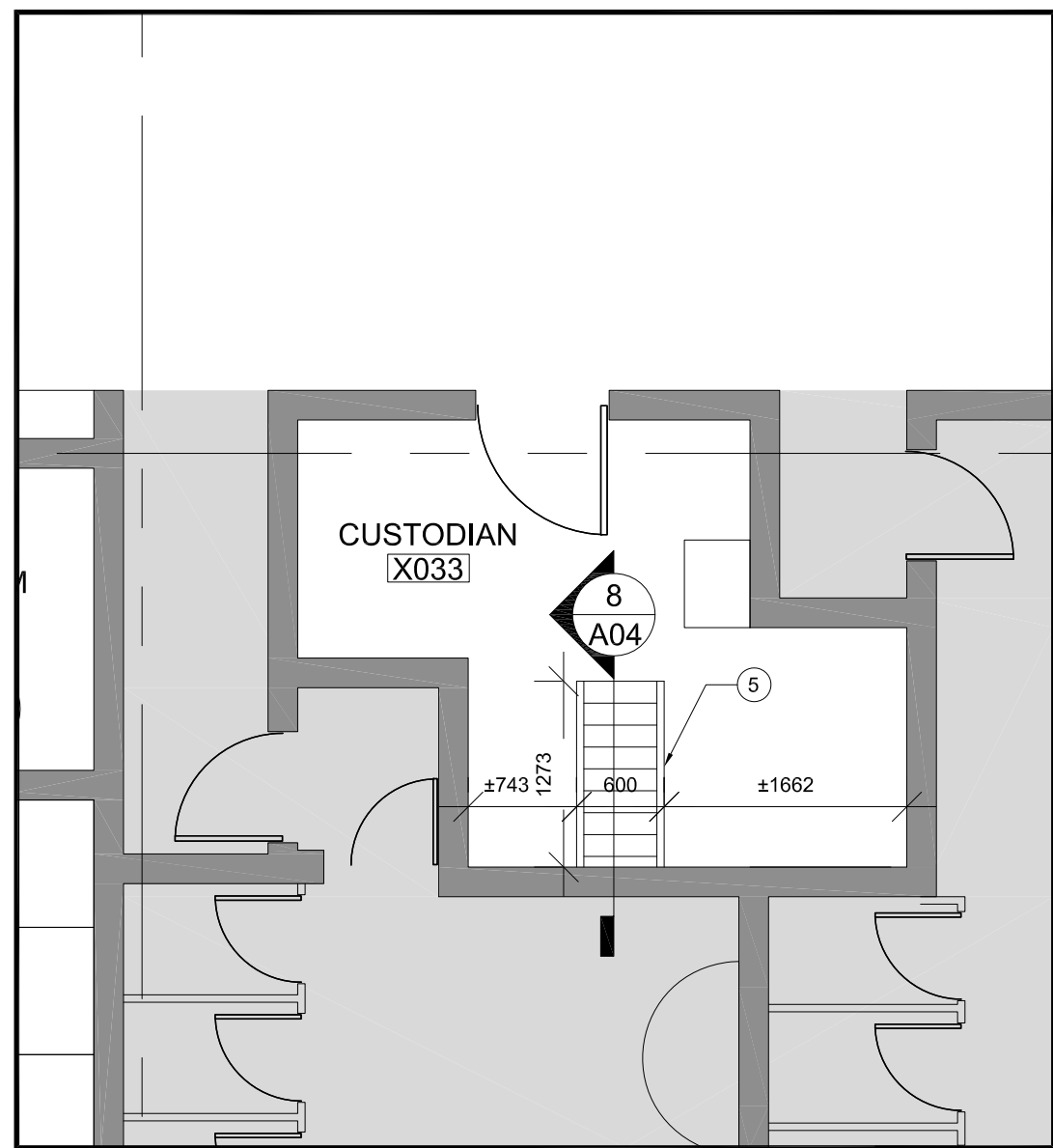
AREA OF WORK ON THIS PAGE



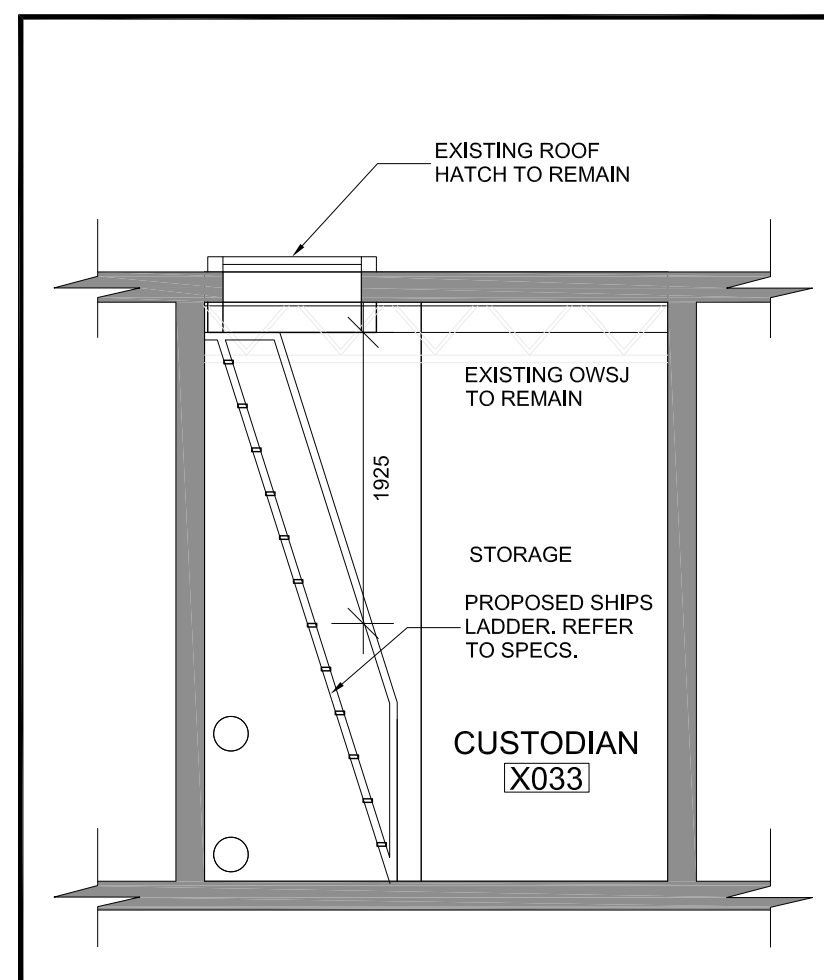
9 DEMO. ELVATION- STORAGE
A04 SCALE 1:50



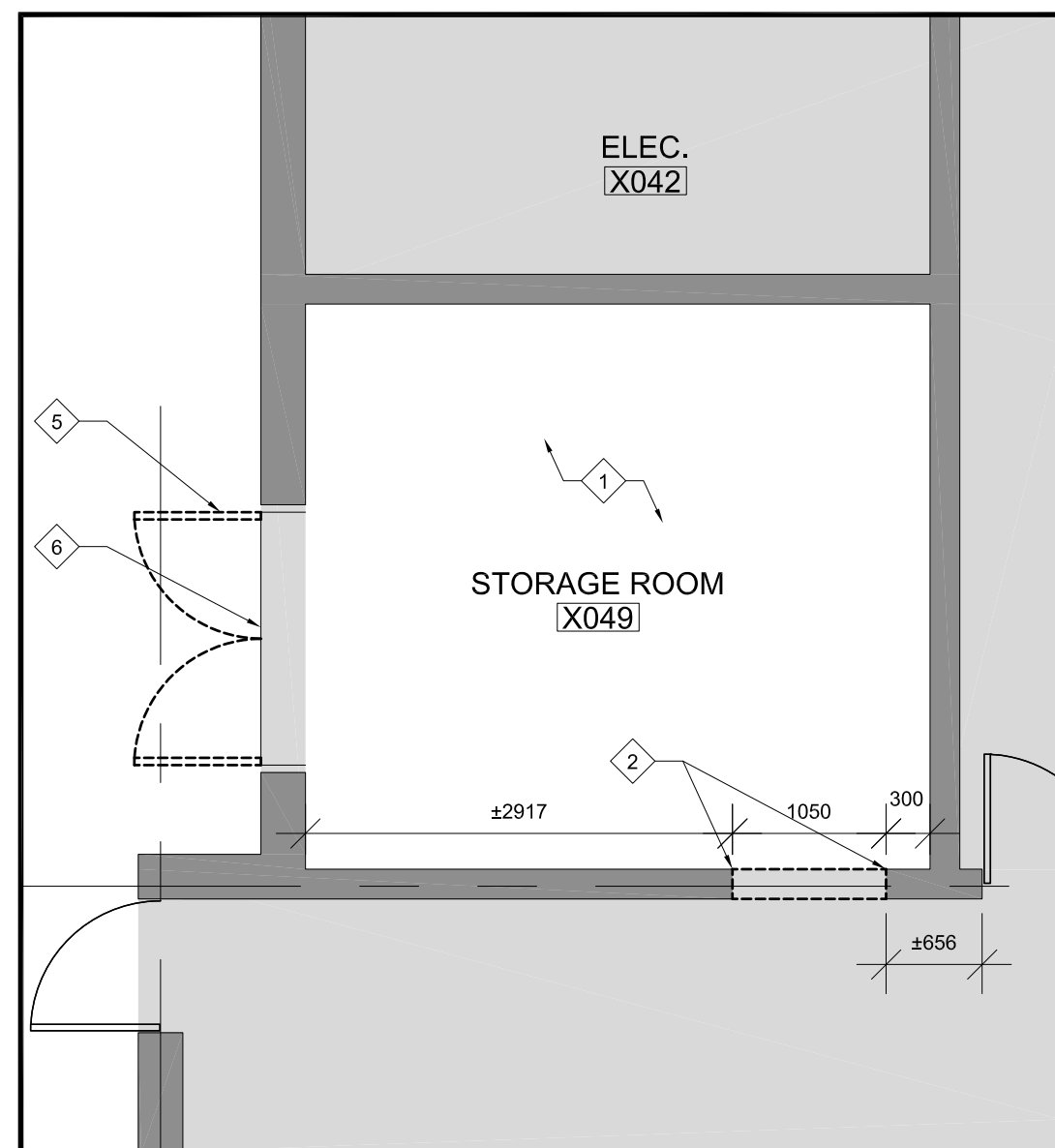
7 DEMO. ENLARGED STORAGE
A04 SCALE 1:50



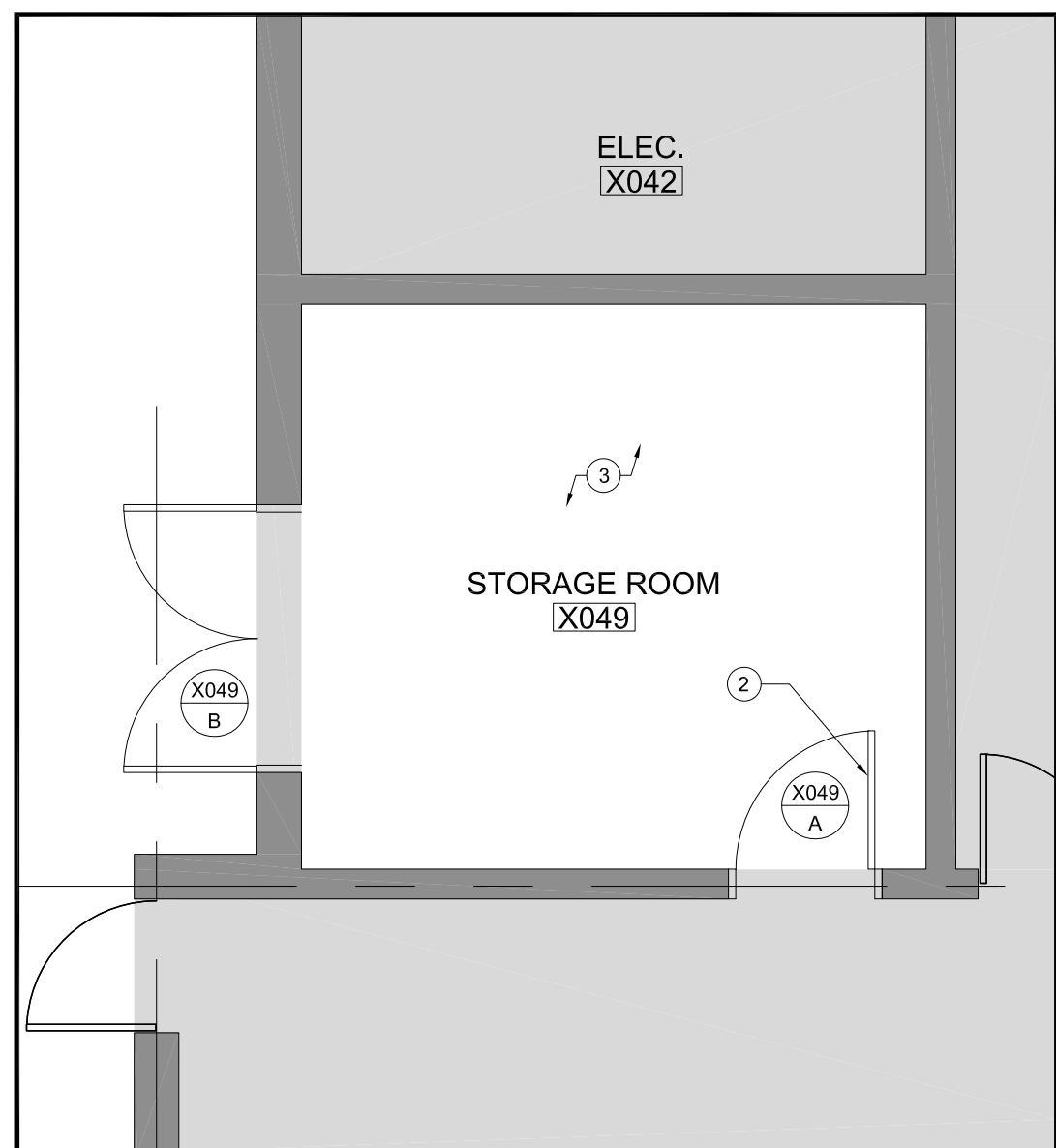
6 PROP. ENLARGED STORAGE
A04 SCALE 1:50



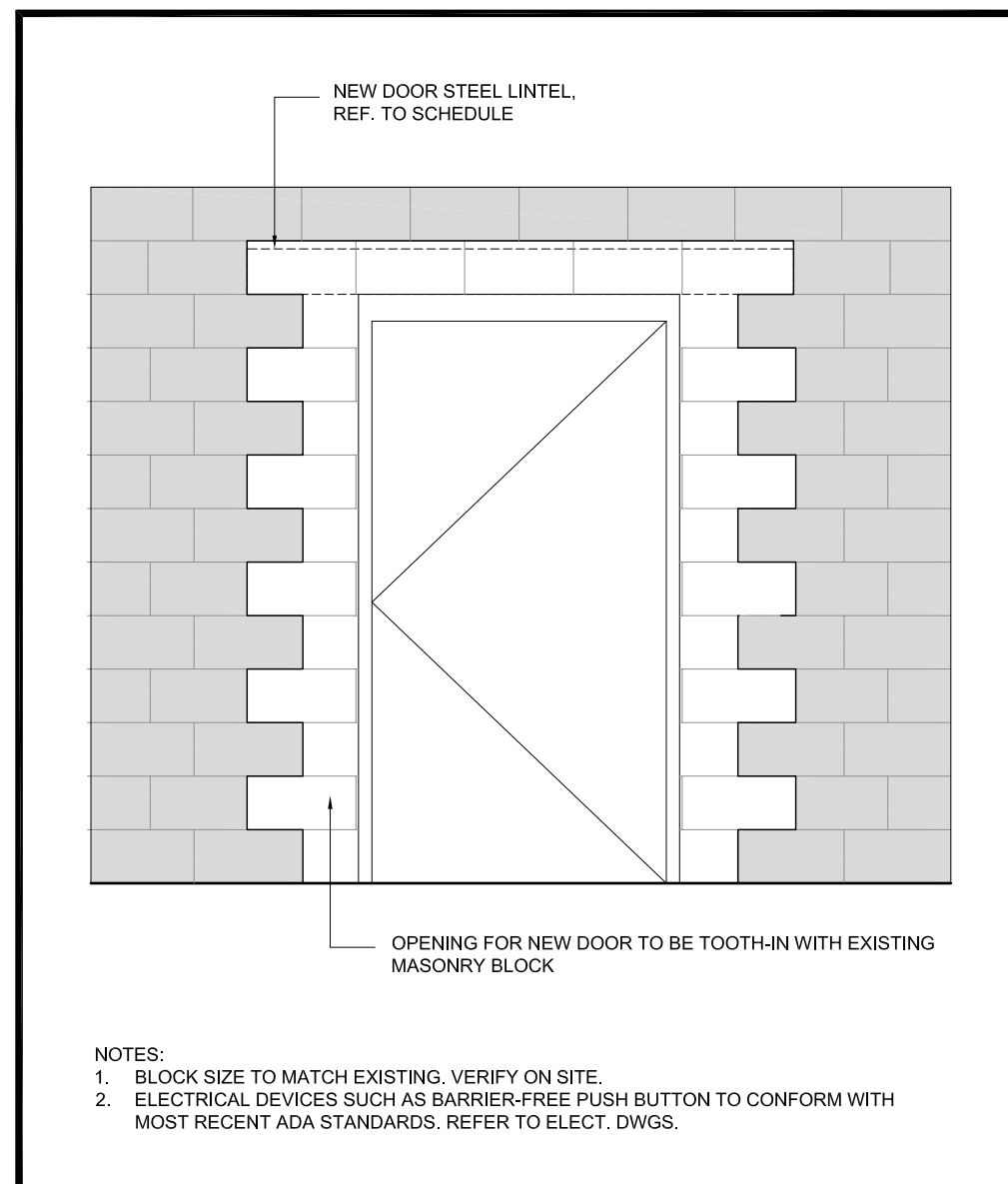
8 PROP. ELVATION- STORAGE
A04 SCALE 1:50



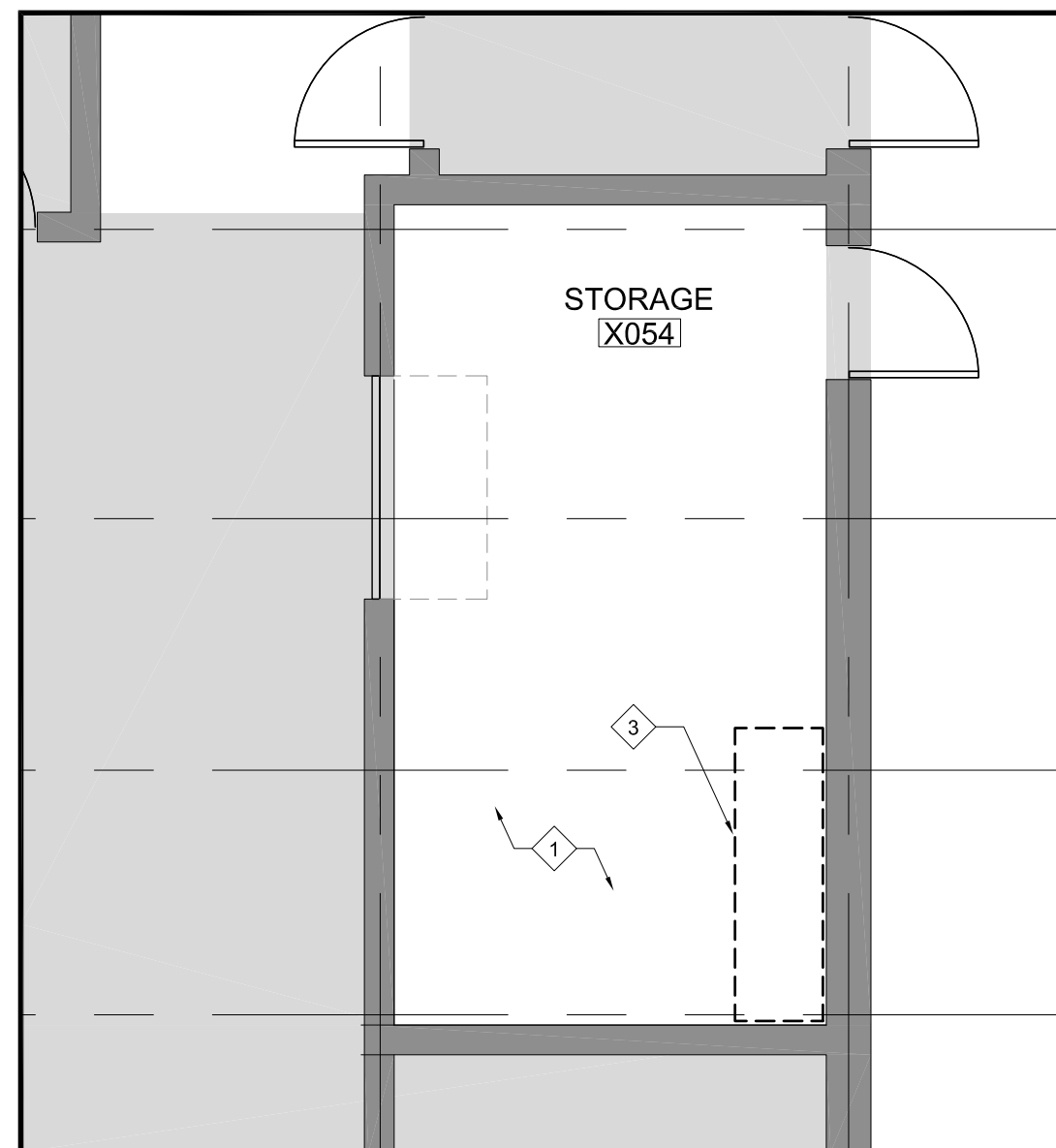
5 DEMO. ENLARGED TRANS. RM
A04 SCALE 1:50



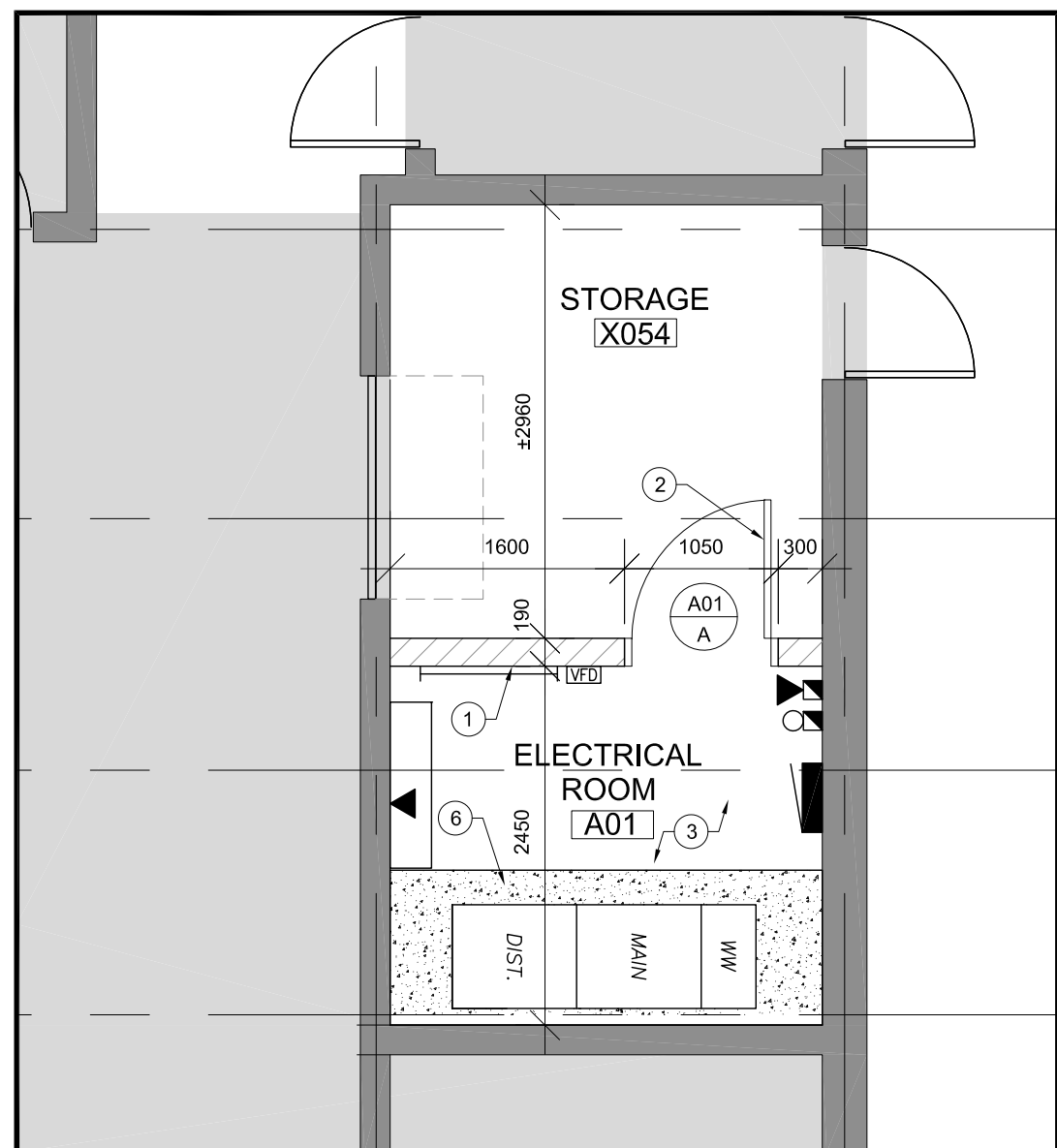
4 PROP. ENLARGED TRANS. RM
A04 SCALE 1:50



10 DOOR ELEVATION & JAMB DETAIL
A04 SCALE NTS



3 DEMO. ENLARGED STORAGE A
A04 SCALE 1:50



2 PROP. ENLARGED STORAGE A
A04 SCALE 1:50



1 PROPOSED - PARTIAL FLOOR PLAN SECTION B
A04 SCALE 1:75

2	ADDENDUM - 1	03/19/25
1	ISSUED FOR TENDER & PERMIT	03/13/25
NO	ISSUED	DATE

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT. AND MUST REPORT ANY DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANTS.



Certificate of Practice: 4292

WRDSB ALPINE PS HVAC UPGRADE

75 LUCERNE DRIVE, KITCHENER, ON



DEMOLITION AND PROPOSED FLOOR PLAN AND ELEVATIONS SECTION B

HOSSACK ARCHITECTURE

105 - 1939 IRONDAK WAY
OAKVILLE, ON L6H 3V8
(905) 815-8284 admin@hossackarch.com

SCALE	1:150	PROJECT	24138
DATE	MARCH 2025	DRAWING	A04
DRAWN	GY	CHECKED	PLUK
PRINT DATE	MARCH 2025	CAD FILE	T:2413802