

ADDENDUM #1

Project	Nelson H.S. Renovations	Project No.	2323
Location	4181 New Street, Burlington, Ontario	Date of Issue	2024 05 27
Owner	The Halton District School Board	File	2323/7.1.3

This Addendum forms part of the Contract Documents and amends the original Drawings and Specifications, dated 2024 05 13, as noted below.

Ensure all parties submitting bids are aware of all items included in this Addendum. Read, interpret and coordinate the items contained herein with the Contract Documents and include all related costs as part of the Bid Price. Acknowledge receipt of this Addendum before submitting your bid.

This Consultant Addendum consists of 6 pages + noted attachments.

A1-1 PROJECT MANUAL – 00 73 03 SUPPLEMENTARY CONDITIONS

.1 Delete items 1.22.1 and 1.22.2.

.2 Add the following:

.1 SC01 GENERAL shall obtain and submit a Performance Bond in the name of the Owner for \$2,500,000 to assure the faithful performance of the Contract, including corrections to the Work required under GC 12.3 – Warranty, on Ontario Construction Act Form 32, Performance Bond Under Section 85.1 of the Act”.

.2 SC01 GENERAL shall obtain and submit a Labour and Material Payment Bond Bond in the name of the Owner for \$2,500,000 to assume faithful payment of monies to parties I contract with the Contract; on Ontario Construction Act Form 31, Labour and Material Payment bond Under Section 85.1 of the Act”.

A1-2 PROJECT MANUAL – 00 73 03 SUPPLEMENTARY SUBCONTRACT CONDITIONS

.1 Add the following:

1.24 SCC 11.2 CONTRACT SECURITY

.1 SC03 MECHANICAL shall obtain and submit a Performance Bond in the name of the Owner for Fifty Percent (50%) of the subcontract price to assure the faithful performance of the Contract, including corrections to the Work required under GC 12.3 – Warranty, on Ontario Construction Act Form 32, Performance Bond Under Section 85.1 of the Act”.

.2 SC03 MECHANICAL shall obtain and submit a Labour and Material Payment Bond Bond in the name of the Owner for for Fifty Percent (50%) of the subcontract price to assume faithful payment of monies to parties I contract with the Contract; on Ontario Construction Act Form 31, Labour and Material Payment bond Under Section 85.1 of the Act”.

A1-3 PROJECT MANUAL – 01 21 00 ALLOWANCES

- .1 SC01 : Add the following cash allowances

1.1.4.1.4 Subcontract SC01 Include the stipulated sum of \$30,000 for existing projectors to be disconnected, stored and reinstalled with new HDMI as required.

A1-4 PROJECT MANUAL - 09 21 16 GYPSUM

- .1 Add 2.5.6 : .6 Gypsum Board - Shaft Liner (GB-SL): To ASTM C1658/C1658M, Type X; 25 mm thick; double bevelled edges; silicone treated gypsum core, with coated glass mat facers both sides; eg. Sheetrock Brand Glass-Mat Liner Panels by CGC Inc.

A1-5 DRAWINGS A207, A208, A209, A210, A211, A212 PARTIAL RENOVATION PLANS (not issued)

- .1 Replace Renovation note no. 7 with 'NEW MOVABLE MILLWORK MD-01 FOR ALL CLASSROOMS; PROVIDE 50 UNITS'
- .2 Replace Renovation note no. 13 with 'PROVIDE NEW MANUAL WINDOW SHADES WITH WOOD BLOCKING AT WINDOW HEADS FOR INSTALLATION. WINDOW SHADE SIZE TO BE 1600mmx2100mm AND INCLUDE FOR 200 WINDOWS'
- .3 *Note that installation will need to be done over several mobilizations to coordinate with phasing requirements*

A1-6 DRAWING A306 FIRST FLOOR PARTIAL FLOOR FINISH PLAN & ROOM FINISH NOTES (not issued)

- .1 Room Finish Schedule : Replace ceiling finish for 1C5 as below

NUMBER	ROOM NAME	WALL FINISH	CEILING FINISH
1C5	CORRIDOR 1C5	PAINT	EXST. ACT/NO PAINT

- .2 Add Room Finish Notes : 'PRIME AND PAINT ALL EXPOSED STRUCTURE, DUCTS, PIPES & CONDUITS IN ALL THE ABOVE LISTED ROOMS.'

A1-7 DRAWING A307 FIRST FLOOR PARTIAL FLOOR FINISH PLAN & ROOM FINISH NOTES (reissued)

- .1 Room Finish Schedule : Replace ceiling finish for 1C6 and 1C7 as indicated
- .2 Room Finish Schedule : Replace notes for Room 102 CSC4 as indicated
- .3 Room Finish Schedule : Replace notes for Room 117 Family Office as indicated
- .4 Room Finish Schedule : Add notes for Room 106 Family Studies and Room 108 Science Lab as indicated
- .5 Add Room Finish Notes : 'PRIME AND PAINT ALL EXPOSED STRUCTURE, DUCTS, PIPES & CONDUITS IN ALL THE ABOVE LISTED ROOMS.'

A1-8 DRAWING A308 SECOND FLOOR PARTIAL FLOOR FINISH PLAN & ROOM FINISH NOTES (not issued)

- .1 Room Finish Schedule : Replace ceiling finish for 2C1 as below

NUMBER	ROOM NAME	WALL FINISH	CEILING FINISH
2C1	CORRIDOR 2C1	PAINT	EXST. ACT/NO PAINT

- .2 Add Room Finish Notes : 'PRIME AND PAINT ALL EXPOSED STRUCTURE, DUCTS, PIPES & CONDUITS IN ALL THE ABOVE LISTED ROOMS.'

A1-9 DRAWING A309 SECOND FLOOR PARTIAL FLOOR FINISH PLAN & ROOM FINISH NOTES (reissued)

- .1 Room Finish Schedule : Replace ceiling finish for 2C2 and 2C3 as indicated
- .2 Room Finish Schedule : Replace ceiling finish for Room 210 as indicated
- .3 Room Finish Schedule : Replace ceiling finish for Room 217 as indicated
- .4 Room Finish Schedule : Replace ceiling finish for Room 217 as indicated
- .5 Room Finish Schedule : Add notes for Room 242 Music Room and Room 244 Music Room as indicated
- .6 Add Room Finish Notes : 'PRIME AND PAINT ALL EXPOSED STRUCTURE, DUCTS, PIPES & CONDUITS IN ALL THE ABOVE LISTED ROOMS.'

A1-10 DRAWINGS A700 INTERIOR ELEVATIONS (reissued)

- .1 Replace drawings with attached revision no. 3
- .2 Revised interior elevation no. 3 and 8 for 'Gypsum Board wall outline'
- .3 Revised interior elevation no. 10 and 13 'new wood trim note'
- .4 Added interior elevation no. 14, 15, 16 and 16a

A1-11 DRAWING A702 INTERIOR ELEVATIONS AND MILLWORK DETAILS (reissued)

- .1 Replace drawings with attached revision no. 3
- .2 Added 1963 Corridor interior elevation no. 2, 3 & 4.
- .3 Added no. 6 – typical plan detail @ full height wood trim closure detail at existing wall finish termination
- .4 Revised 'Typical Millwork Construction Notes'

A1-12 MECHANICAL

- .1 Refer to the attached Mechanical Addendum M-01 prepared by RDZ Engineering dated May 27, 2024.

A1-13 BIDDER QUESTIONS

Q1 – Bid Details on Bids & Tenders states Bid Closing date as: June 4, 2024 3:00:59 PM (EDT); whereas Instructions to Bidders section 00 21 13 states the offers to be received by Owner on the 30th day of May, 2024 before 3:00:00 pm. Please clarify

A1 – Bids closing date is to be as follows : June 4, 2024 before 3:00:00pm

Q2 – Please confirm whether the Self Leveling and cementitious coating in regards to the floors is by the SC01 Contract or SC08?

A2 - _By SC08 The flooring subcontractor is to include preparation of floors for new flooring by providing a cementitious coating suitable to cover old mastic, and/or level any minor surface imperfections.

Q3 – Please confirm if the concrete floor patching noted on 1a on Drawing A207 is under SC01 Contract or SC08?

A3 – Existing plumbing connection to be capped off by SC03

Concrete topping to match adjacent level by SC01 (ie any structural concrete fill or firestopping)

Cementitious Floor finish patchwork by SC08? (ie as part of floor levelling as required)

Q4 – Specification Section 12 24 13 notes that the Roller shades are under a cash allowance but the Cash Allowance Section does not include this, Please confirm?

A4 – Manual Roller shades are in contract and not as a part of cash allowance. Refer to revised Renovation Note no. 13 in Addendum 01

Q5 – Please confirm who is responsible for the supply and installation of the duct penetration steel lintels and angles shown on details 9, 11, 12, 13 on drawing A501?

A5 – SC05 STRUCTURAL STEEL to supply. SC01 to install

Q6 – Please confirm that all the blocking, caulking, sealing, Air/ vapour barrier and metal flashings in regards to the new windows shown on details, 1,2,3,4,6 & 7 on drawing A501 is by Contract SC06?

A6 – Wood blocking to support the window frame, vapour retarder, air barriers by SC01,

Caulking, sealing, metal flashing by SC06

Q7 – I could not find on the drawings where the following sections are required, can you please confirm if the scope is required and where?

- Section 03 35 46
- Section 07 81 00
- Section 08 31 00
- Section 08 81 13

A7 – Section 03 35 46 SC08 FLOORING (see Q2 above)

- Section 07 81 00 by SC01 GENERAL. Required at all new structural steel supporting 2nd floor.
- Section 08 31 00 - 1 per classroom and opening size to be 305 x 305mm
- Section 08 81 13 - not required – delete this section

Q8 – Please confirm that SC09 is responsible for the spray fire proofing shown on details 12, 13 on drawing A501?

A8 – Refer to 01 12 00 Multiple Contract Summary : Division 07 - Applied Fireproofing and Fire stopping - by SC01

Q9 – Please confirm that the new Prefab Screen noted on note 1 Drawing A213 is provided by SC03 or SC07?

A9 – By SC03

Q10 – Certain rooms such as 122, 123, 128, etc. do not indicate item 10 in Renovation Notes. However, they do have the note (Scope of work similar to classroom 134). Classroom 134 does have item 10. Are these other rooms to be painted? How do we determine what is scope is similar?

A10 – All rooms where the note indicates similar scope of work to match demolition & renovation scope of work accordingly. For painting scope of work also refer to drawings 'A306, A307, A308 & A309 Floor Finish Plans and Room Finish Notes' included in Addendum no. 1

Q11 – Will temporary curb covers/ temporary waterproofing be required at newly installed roof curbs? If so, is this to be included in the Roofing, Mechanical, or General contractors scope?

A11 – Yes, will be required. Waterproofing by Roofing contractor. All efforts will be made to keep mobilizations as consolidated as possible

Q12 – Will the roofer be required to temporarily seal/ waterproof the cut edge of the existing roofing to allow for cutting of the concrete deck by others?

A12 – Yes, will be required. Waterproofing by Roofing contractor. All efforts will be made to keep mobilizations as consolidated as possible

Q13 – Regarding the roofing scope, SC07; can all of the roof work/ curbs be installed in one mobilization or will they need to be scheduled separately as the mechanical

units are ready to be installed? If separate installations are required, how many mobilizations should be carried in the bid submission?

A13 – Include at least 3 separate mobilizations

Q14 – Will ceiling removals and cutting and patching for mechanical work be completed by the SC-01 contractor?

A14 – Ceiling removal, cutting and patching to be completed by SC01.

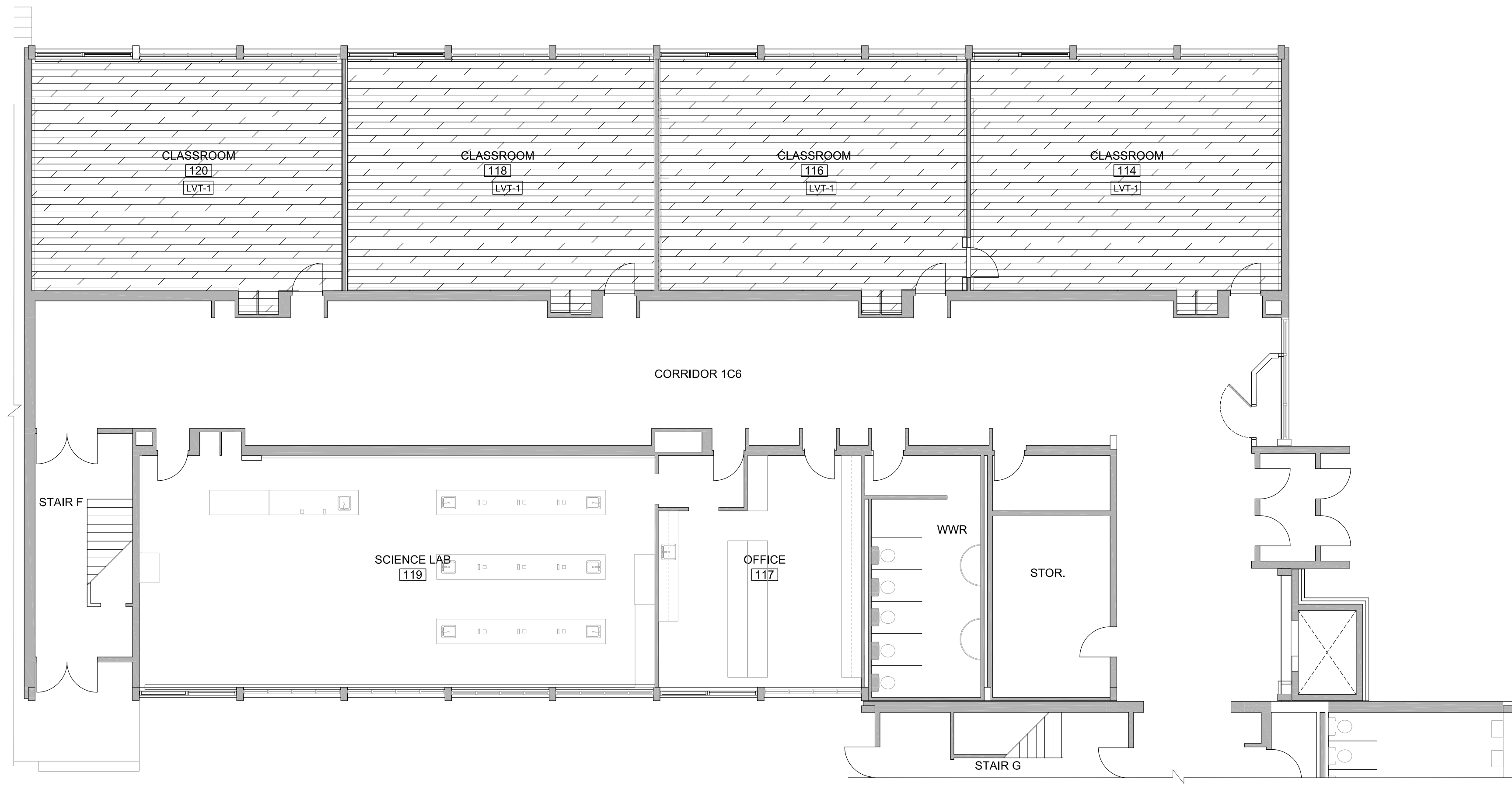
Q15 - At the site walkthrough there was discussion that some of the mechanical equipment is being pre-purchased (some of the Unit Ventilators and some of the RTUs?) but that the mechanical contractor would be responsible for payment of the pre-purchased equipment. The mechanical drawings do not appear to show which equipment is being pre-purchased, and section 01 60 00 indicates the UVs and RTUs are pre-purchased. Please clarify what mechanical equipment has been pre-purchased, and if the mechanical contractor has any responsibility for payment of the equipment.

A15 – Refer to the attached Mechanical Addendum M-01 prepared by RDZ Engineering dated May 27, 2024

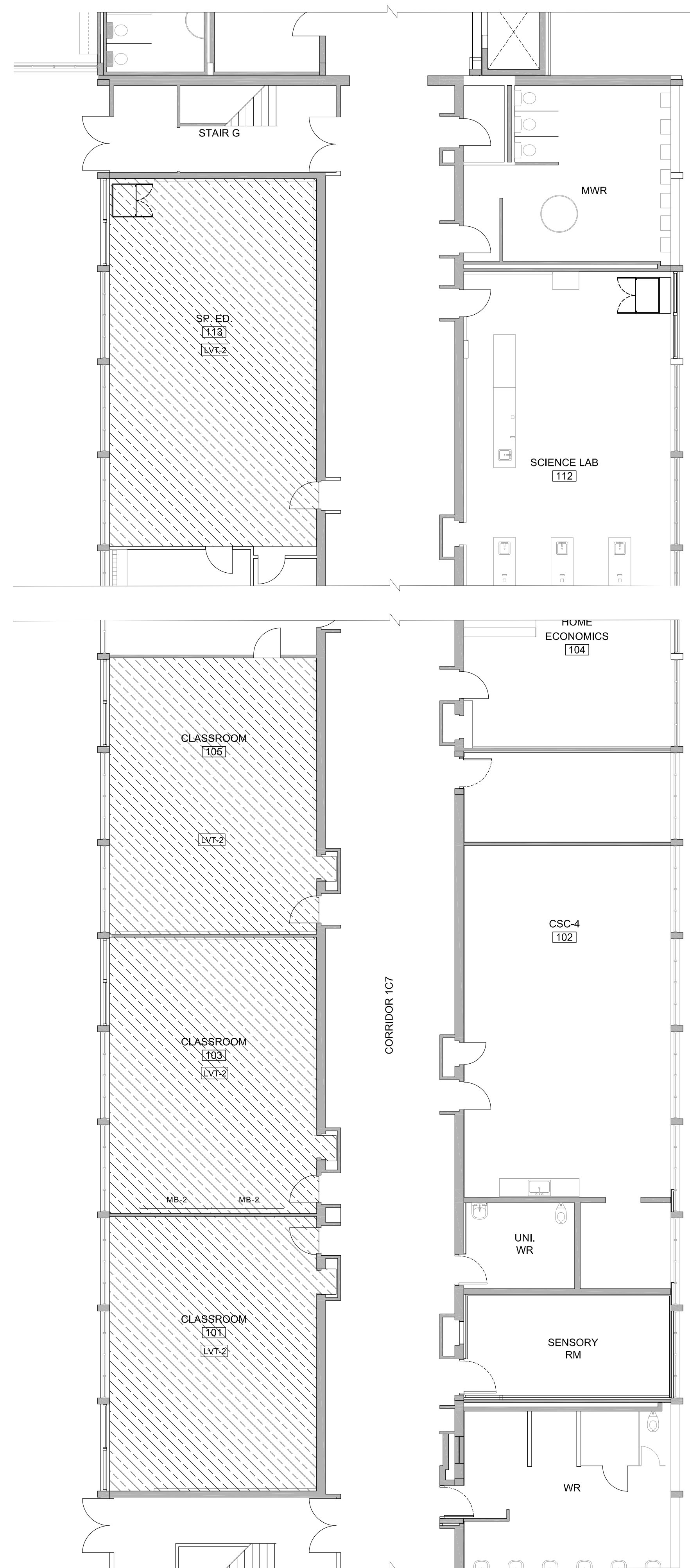
Q16 - There was discussion at the site walkthrough that the Controls portion of the work (Div 25 - Integrated Automation) would be tendered separately, however in the Multiple Contract Summary section of the specification it indicates that Division 25 is part of the Mechanical Tender package, please confirm if SC-03 (Mechanical) should include Division 25 in their tender.

A16 - SC03 Mechanical should NOT include Div 25 Integrated Automation in their bid price. Controls contractor will be engaged separately. SC03 is to INCLUDE all required coordination with the assigned controls contractor.

END OF ADDENDUM #1



2 1959 CLASSROOM WING - FIRST FLOOR PARTIAL RCP
A307 1:100



1 1956 CLASSROOM WING - FIRST FLOOR PARTIAL RCP
A307 1:100

ROOM FINISH SCHEDULE

NUMBER	ROOM NAME	WALL FINISH	CEILING FINISH
1C6	CORRIDOR 1C6	PAINT	EXST. ACT/NO PAINT
1C7	CORRIDOR 1C7	PAINT	EXST. ACT/NO PAINT
1	CLASSROOM 101	PAINT	PAINT
2	CSC4 - 102	PAINT	EXST. ACT/NO PAINT
3	CLASSROOM 103	PAINT	PAINT
4	HOME ECONOMICS 104	PAINT	PAINT
5	CLASSROOM 105	PAINT	PAINT
6	SCIENCE LAB 112	PAINT	PAINT
7	SPECIAL ED. 113	PAINT	PAINT
8	CLASSROOM 114	PAINT	PAINT
9	CLASSROOM 116	PAINT	PAINT
10	OFFICE 117	PAINT	PARTIAL NEW GB CELG/PAINT
11	CLASSROOM 118	PAINT	PAINT
12	SCIENCE LAB 119	PAINT	PAINT
13	CLASSROOM 120	PAINT	PAINT
14	FAMILY STUDIES 106	PAINT	PAINT
15	SCIENCE LAB 108	PAINT	PAINT

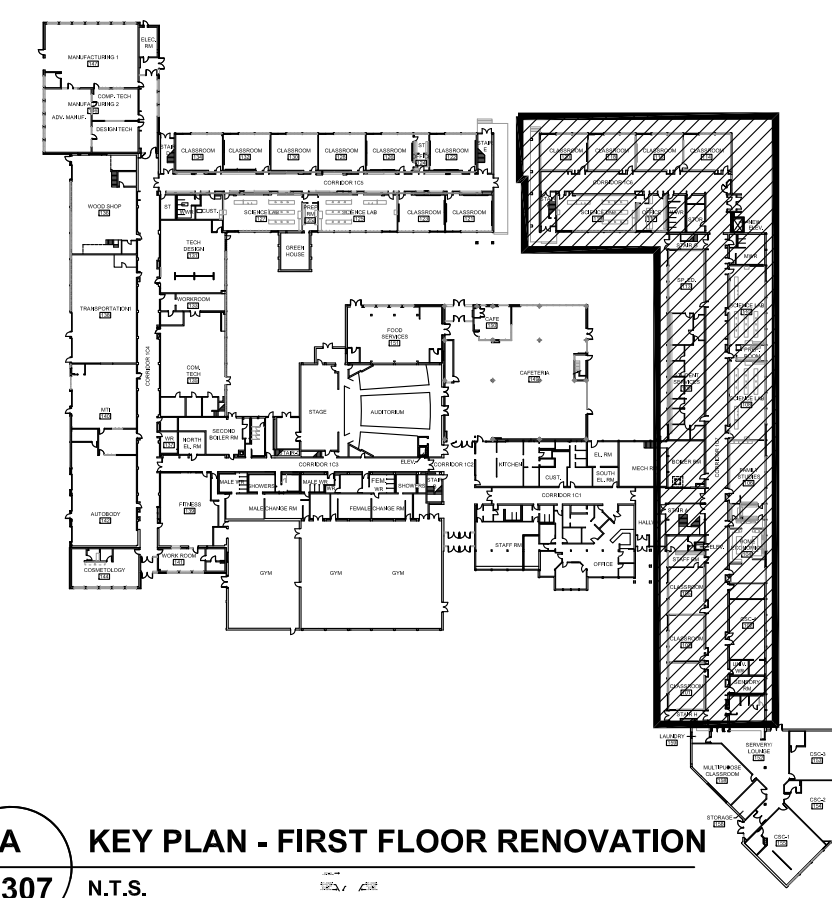
ROOM FINISH NOTES:
1. PRIME AND PAINT ALL EXPOSED STRUCTURE, DUCTS, PIPES & CONDUITS IN ALL THE ABOVE LISTED ROOMS.

FLOOR FINISH PLAN LEGEND:

- LVT - 1 : LUXURY VINYL TILE (COLOUR 1)
- LVT - 2 : LUXURY VINYL TILE (COLOUR 2)
- TER : TERRAZZO FINISH TO MATCH EXISTING MAKE GOOD WITH EXISTING.
- CPT : CARPET TILE (COLOUR-1)

- FLOOR FINISH NOTES:**
- TROWEL ON CEMENTITIOUS SCRATCH COAT BEFORE INSTALLING LVT. INSTALL NEW BASE AT WALLS & MILLWORK TYP.
 - PROVIDE NEW BASE AS NOTED BELOW FOR ALL NEW WALLS - TYP.
 - SLOPE CARPET WITH MORTAR CANT WHERE CARPET MEETS TERRAZZO AT DOOR. MAX. SLOPE 1:20
 - INSTALL THRESHOLD AT DOOR WAY TO MEET OBC BARRIER FREE STANDARDS.
 - TRANSITION STRIP IN EVERY CHANGE OF MATERIAL OR HEIGHT.
 - ALL TERRAZZO IN-FILLS TO EXTEND TO NEXT METAL STRIP.
 - CONTROL JOINT IN TILING SYSTEM EVERY 10 METERS.

FLOOR TYPE	BASE
LVT	100mm RESILIENT BASE
CPT	100mm RESILIENT BASE
TER	100mm± COVED TERRAZZO BASE - MATCH EXISTING MAKE GOOD WITH EXISTING



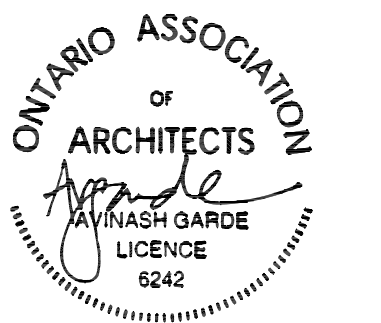
A KEY PLAN - FIRST FLOOR RENOVATION
A307 N.T.S.

Key Plan N.T.S.



No.	Revisions	Date
3	REISSUED W/ ADDENDUM NO. 1	2024 05 27
2	ISSUED FOR BIDS	2024 05 13
1	ISSUED FOR PERMIT	2024 04 29
No.	Issue	Date

General Contractor shall check and verify all dimensions and report all errors and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.



Drawing Title:
**FIRST FLOOR PARTIAL
FLOOR FINISH PLAN &
ROOM FINISH NOTES**

Scale: 1:100 Date: 02/22/2018

Drawn by: MS Checked by:

Job No. 2323 Drawing No. A 307

MECHANICAL ADDENDUM M-01



Project Name: HDSB Nelson High School Renovations Date: May 27, 2024

Project Address: 4181 New Street,
Burlington, ON L7L 1T3

Project No.: 23178

Mechanical Addendum M-01

Include for the following additions, deletions, and/or clarifications in your bid amount. Indicate in the space provided on the bid form that you have received and included for the requirements of this addendum.

1. PRE-TENDERED EQUIPMENT

1.1. PACKAGED VERTICAL UNIT VENTILATORS (TRANE)

- .1 Packaged vertical unit ventilators in the following rooms in the 1963 addition have been pre-tendered and purchased by HDSB. Units purchased are completed with noise control package, HW piping package (control valve, strainer, CBV, etc.), terminal strip, top plenums and curb bases. The units shall be handed over to the awarded mechanical contractor to coordinate delivery and complete installation as per contract documents. The contractor shall take over the warranty of the equipment.

Room # (UV Tag):

121 (UV-1)	122 (UV-1)	123 (UV-1)	126 (UV-1)	128 (UV-1)
130 (UV-1)	132 (UV-1)	134 (UV-1)	225 (UV-1)	227 (UV-1)
228 (UV-1)	229 (UV-2)	230 (UV-1)	232 (UV-1)	234 (UV-1)

1.2. VERTICAL UNIT VENTILATORS WITH REMOTE CONDENSING UNITS (TEMSPEC)

- .1 Vertical unit ventilators and associated remote condensing units in science room 125 (UV-3/CU-2) and science room 127 (UV-7/CU-1) in the 1963 addition have been pre-tendered and purchased by HDSB. Units purchased are completed with noise control package, HW piping package (control valve, strainer, CBV, etc.), terminal strip, top plenums, rear plenums and curb bases. The units shall be handed over to the awarded mechanical contractor to coordinate delivery and complete installation as per contract documents. The contractor shall take over the warranty of the equipment.

MECHANICAL ADDENDUM M-01



Project No.: 23178
Date: May 27, 2024

Page 2 of 2

1.3. HORIZONTAL UNIT VENTILATORS WITH REMOTE CONDENSING UNITS (TEMSPEC)

- .1 Horizontal unit ventilators and associated remote condensing units in the following specialty classrooms in the 1963 addition have been pre-tendered and purchased by HDSB. The units shall be handed over to the awarded mechanical contractor to coordinate delivery and complete installation as per contract documents. The contractor shall take over the warranty of the equipment.

Room # (UV Tag/CU Tag):

231 (UV-6/CU-2)	233 (UV-6/CU-2)
236 (UV-6/CU-2)	240 (UV-5/CU-1)

End of Mechanical Addendum M-01