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Autodesk Docs://Crestview PS Reno/22057 CRESTVIEW ARCH 22.rvt



A0.0

Drawn by : AM,SR, Checked by : AM Scale : 1 : 1

Project Name:
Project Location:
Project Number:

Client:
 CRESTVIEW PUBLIC SCHOOL

**CRESTVIEW PUBLIC SCHOOL
 RENOVATION**
 153 MONTCALM DRIVE
 KITCHENER, ON
 N2B 2R6
22057

Revision Schedule

Particular	Date	No.

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COVER PAGE

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ARCHITECTURAL DRAWINGS

Table listing architectural drawings including cover page, drawing list, abbreviations, wall & floor schedules, life safety plan, existing site plan, library renovation plan, gymnasium renovation plan, new universal washroom & vestibules plans, level 1 - new rm. numbers, library elev. & sections, 3D views - library, renovation section - vestibule 1 & 2 / library wall, library RCP & ceiling details, gymnasium reflected ceiling plan, interior elevations - gymnasium, quiet room interior elev., barrier free WSRM TYP. DETAILS, window and door schedules, millwork elevations - library, millwork elev. & details, library plan - demolition, gymnasium plan - demolition, change R/W/WSHRM & VEST. PLAN - DEMOLITION, demolition section - vestibule 1 & 2.

MECHANICAL

Table listing mechanical drawings including key plan, legend & schedule, schedules and details, ground floor part plans 'A' - 'C' & 'D' - DEMO, ground floor part plans 'B' - DEMO, ground floor part plans 'A' - RENOVATION, floor part plans 'A' - 'C' & 'D' - RENOVATION, ground floor plans 'B' - RENOVATION, ground floor part plans 'B' - RENOVATION, roof plan - RENOVATION.

ELECTRICAL

Table listing electrical drawings including legend, details and schedules lighting, control details and schedules, demolition plan, renovation plan, distribution panel diagram, panel schedule.

STRUCTURAL

Table listing structural drawings including structural notes, library renovation floor plan, library renovation floor plan.

WALL TYPE LEGEND table with columns: TYPE, DESIGN, CONSTRUCTION. Includes diagrams for Wall Type 1, 2, and 3 with detailed construction notes and material specifications.

FLOOR TYPE LEGEND table with columns: TYPE, DESIGN, CONSTRUCTION. Includes diagrams for Floor Type F1 and F2 with detailed construction notes and material specifications.

GENERAL ABBREVIATIONS

Table listing general abbreviations such as A/F/F, A.F., ADJ., ARCH., BAR., BB., BD., BF., BFP., BFS., B/N/C., CBS., CCJ., CH., CHB., CH.TBL., C.J., CM., COH., COMP., CONT., CP., CV., C/W., DBL., DC., DF., DWG., DS., DST., DSP., ECS., ELEV., EM., EW., EX., EXP., EXIST., FB., FD., FDG., FDN., F/D/C., FEC., FE., FLEX., FL., FLRNG., F/R/R., FS., FTG.S., F/V., GALV., GB., GD., GEN., HB., HD., HOC.P., HO., HORIZ., INSUL., KP., L., M./MIR., MANUF., MAX., MECH., MIN., MS., N/I/C., NO., NTS., O.H., O.T.A., PER.(S), PB., PTD/D., P/P/P., PRE-FIN., PRES.TR., RCH., REQ.D., R.C.P., REIN., REF., RD., RM., RWL., SCD., SCHEDULES, SH., SHF., SHV., SPD., SPEC.D., STRUCT., S/W., TB., TC., THERM., TM., TOB., TPD., TYP., U/C., U/S., V.A.P., VERT., VFS., W/, WB., W.C., WR., WW., /, %, @, o/c.

MATERIALS ABBREVIATIONS

Table listing materials abbreviations such as AB, ACT, AWP, AC, AL, AN, ANOD, AN(C), B, B&B, BPG, CAR, CB, CEM, CET / CT, CONC, CPH, C(S), C(P), EM, EP, ESF, ET, F, FT, GYP.BD., GLB, GLBL, GL, GWA, GYM.MAT, GNT, GWB, HW, HDG., HMD, L/C/C., LINO, LVT, LVP, LKG, MAR, MAS, MS, MTL, MW, NAT., PB, PC, P/P, PTD., PP, PL, PLAM, PLYWD., PSP, PF, POFF, QT, R, RB, RSP, S, SAFF, SC, SF, SG, SGL, SHV, S.S., SPC, ST, STL, S/S, ST3TL, SV, T, TDG, TBB, TECTUM, TERR, T.S., TURF, U, VCGB, VCP, VCT, VPF, VR, WD, WP.

BUILDING OBC MATRIX table containing project information, project description, project type, major occupancy classification, building area, building height, existing building classification, renovation type, occupant load, plumbing fixtures, barrier-free design, reduction in performance level, compensating construction, compliance alternatives, travel distance to egress and exit doors, fire separations, and fire separations details.

ROOM FINISH SCHEDULE table with columns: No., NAME, Area, FLOOR (FINISH, BASE), WALL FINISH (NORTH, SOUTH, WEST, EAST), CEILING FINISH, COMMENTS.

Table listing abbreviations for room finishes such as ACT, CRP, EX, GB, P, PT, PL.BD., PD, RB, T, VSF, VCT.

Revision Schedule

Table with columns: Particular, Date, No. Issued for tender: 2023.03.06, 1.

ALL DIMENSIONS MARKED TO AND FROM EXISTING BUILDING ELEMENTS ARE APPROXIMATE AND MUST BE CONFIRMED ON SITE BEFORE STARTING CONSTRUCTION.

MILLWORK CABINETS ARE TO BE EXTENDED THROUGHOUT ALL WALLS WHERE MILLWORK IS REQUIRED. ALL MILLWORK DIMENSIONS ARE INDICATIVE.

MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAIN WALLS AND SCREENS REQUIRED FOR THIS RENOVATION BEFORE ORDERING AND ASSEMBLING.



CLIENT: CRESTVIEW PUBLIC SCHOOL

PROJECT: 22057 RENOVATION

153 MONTCALM DRIVE KITCHENER, ON N2B 2R6

ORIGINAL PAGE SIZE ARCH D - 24" X 36"



Ontario Association of Architects logo

Large graphic area containing the VVG ARCHITECTS logo and the text 'DRAWING LIST, ABBREVIATIONS, WALL & FLOOR'.

Revision Schedule		
Particular	Date	No.
ISSUED FOR TENDER	2023.03.06	1

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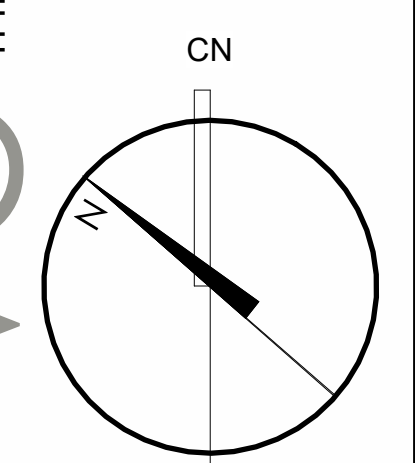
PROJECT:
22057
RENOVATION

153 MONTCALM DRIVE
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LIFE SAFETY PLAN

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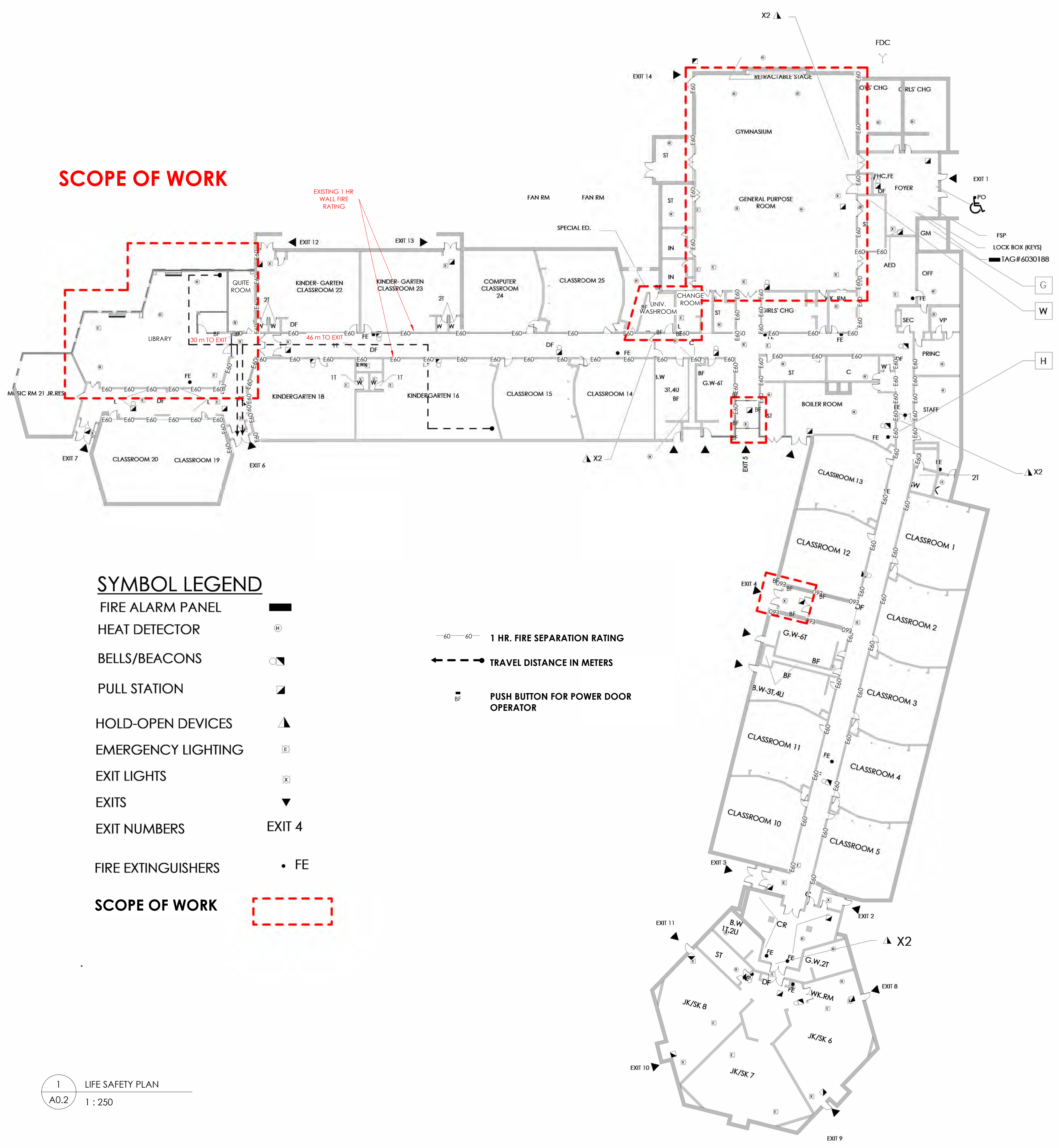
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Drawn by: Author/Checked by: Check/scale: As indicated

LEGEND

- A/V AUDIO VISUAL
- BF BARRIER FREE WASHROOM
- B.W BOYS' WASHROOM
- C CUSTODIAN
- CHG CHANGE ROOM
- CL CLASSROOM
- CR COAT RACK
- DF DRINKING FOUNTAIN
- FE FIRE EXTINGUISHER
- FDC FIRE DEPT CONNECTION
- FHC FIRE HOSE CABINET
- FSP FIRE SAFETY PLAN
- GM GAS METER ENCLOSURE
- G.W GIRLS' WASHROOM
- IN INSTRUCTOR
- J.RES JUNIOR RESOURCE
- K KITCHEN
- L LOCKERS
- LIB LIBRARIAN
- OFF OFFICE
- PRINC PRINCIPAL
- SEC SECRETARY
- ST STORAGE
- SW STAFF WASHROOM
- VP VICE PRINCIPAL
- W WASHROOM
- WK.RM WORK ROOM
- PO DOOR WITH POWER OPERATOR

SCOPE OF WORK



SYMBOL LEGEND

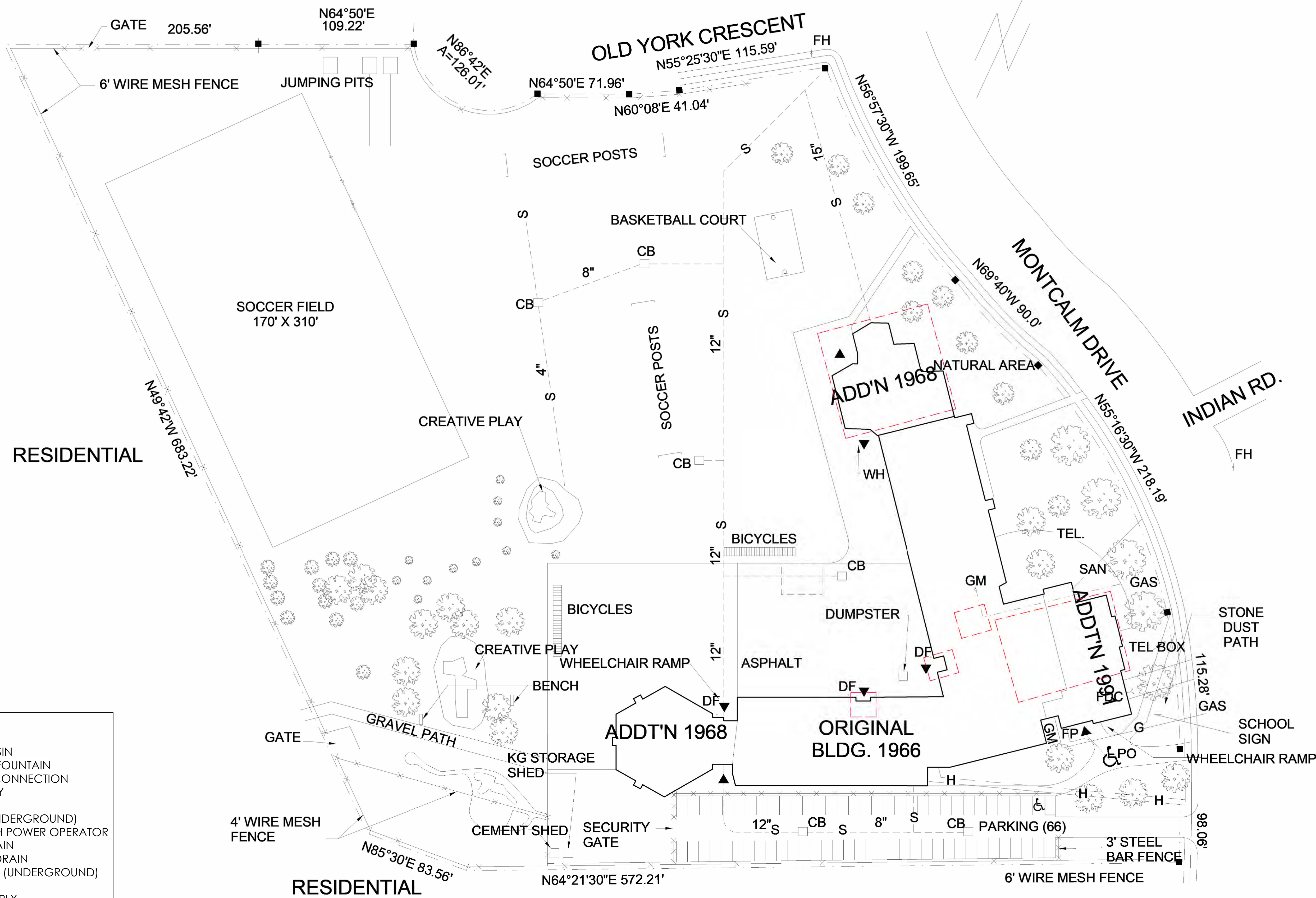
- FIRE ALARM PANEL [Symbol]
 - HEAT DETECTOR [Symbol]
 - BELLS/BEACONS [Symbol]
 - PULL STATION [Symbol]
 - HOLD-OPEN DEVICES [Symbol]
 - EMERGENCY LIGHTING [Symbol]
 - EXIT LIGHTS [Symbol]
 - EXITS [Symbol]
 - EXIT NUMBERS EXIT 4 [Symbol]
 - FIRE EXTINGUISHERS • FE [Symbol]
 - SCOPE OF WORK** [Red dashed line symbol]
- 60—60— 1 HR. FIRE SEPARATION RATING
- ←---→ TRAVEL DISTANCE IN METERS
- BF PUSH BUTTON FOR POWER DOOR OPERATOR

GENERAL LEGENDS:

--- SCOPE OF WORK AREA

SITE LEGENDS:

CB	CATCH BASIN
DF	DRINKING FOUNTAIN
FDC	FIRE DEPT CONNECTION
G	GAS SUPPLY
GM	GAS METER
H	HYDRO (UNDERGROUND)
PO	DOOR WITH POWER OPERATOR
S	STORM DRAIN
SAN	SANITARY DRAIN
T	TELEPHONE (UNDERGROUND)
T	TELE. POLE
W	WATER SUPPLY
WH	WHEELCHAIR RAMP
--UF--	U/G FIBRE



2
A2.2
EXISTING SITE PLAN
(1 : 500)

Revision Schedule		
Particular	Date	No.
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MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAIN WALLS AND SCREENS REQUIRED FOR THIS RENOVATION BEFORE ORDERING AND ASSEMBLING.



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PROJECT:
22057
RENOVATION

153 MONTCALM DRIVE
KITCHENER, ON
N2B 2R6

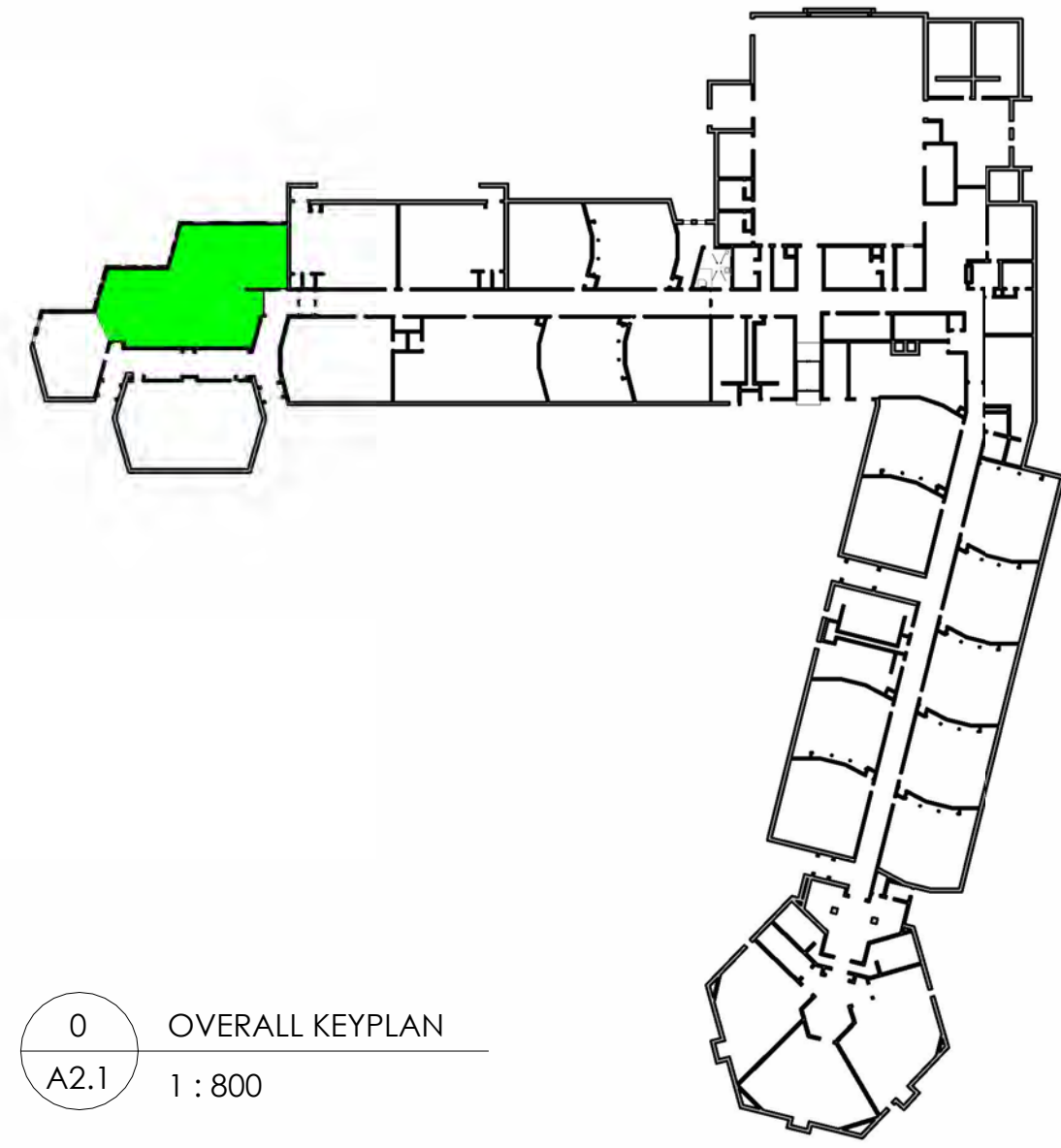
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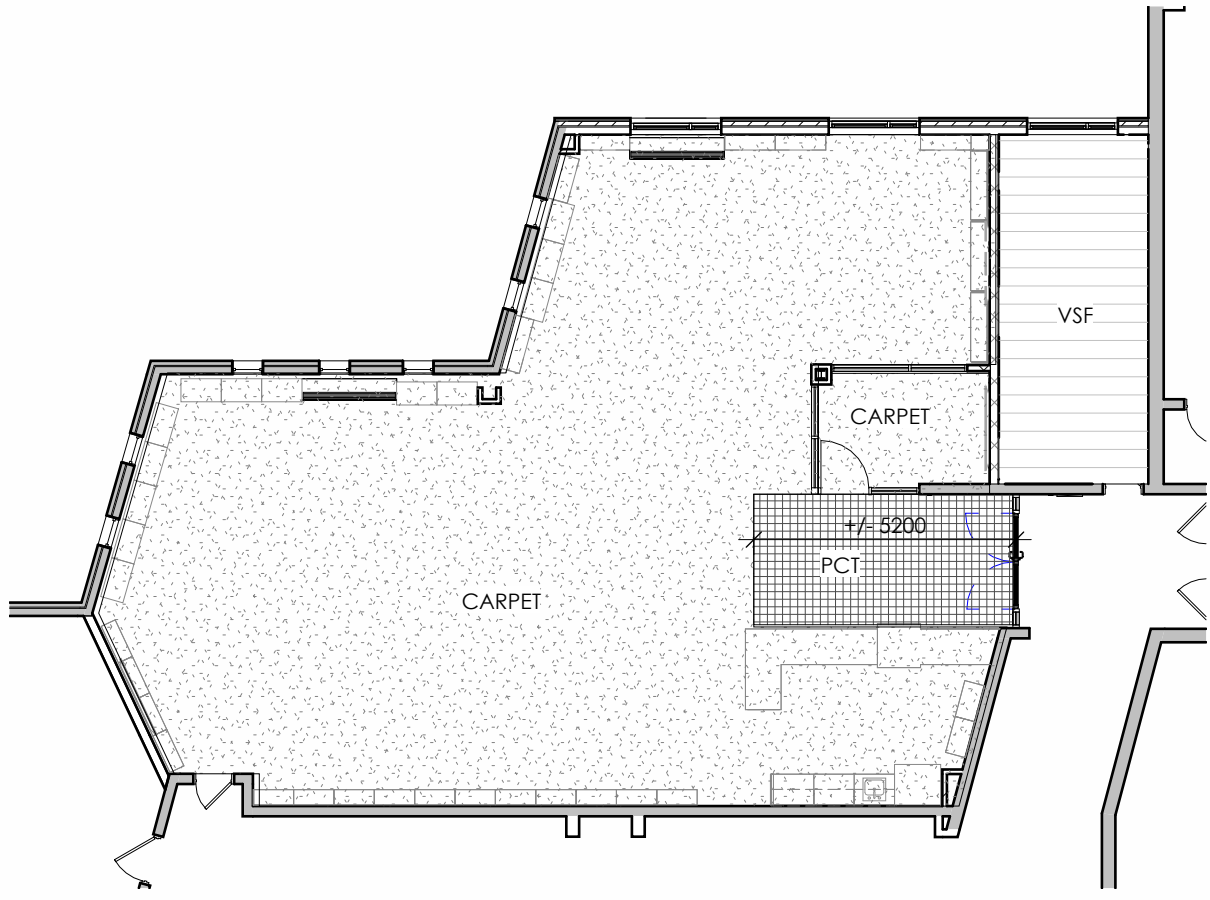
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A1.1

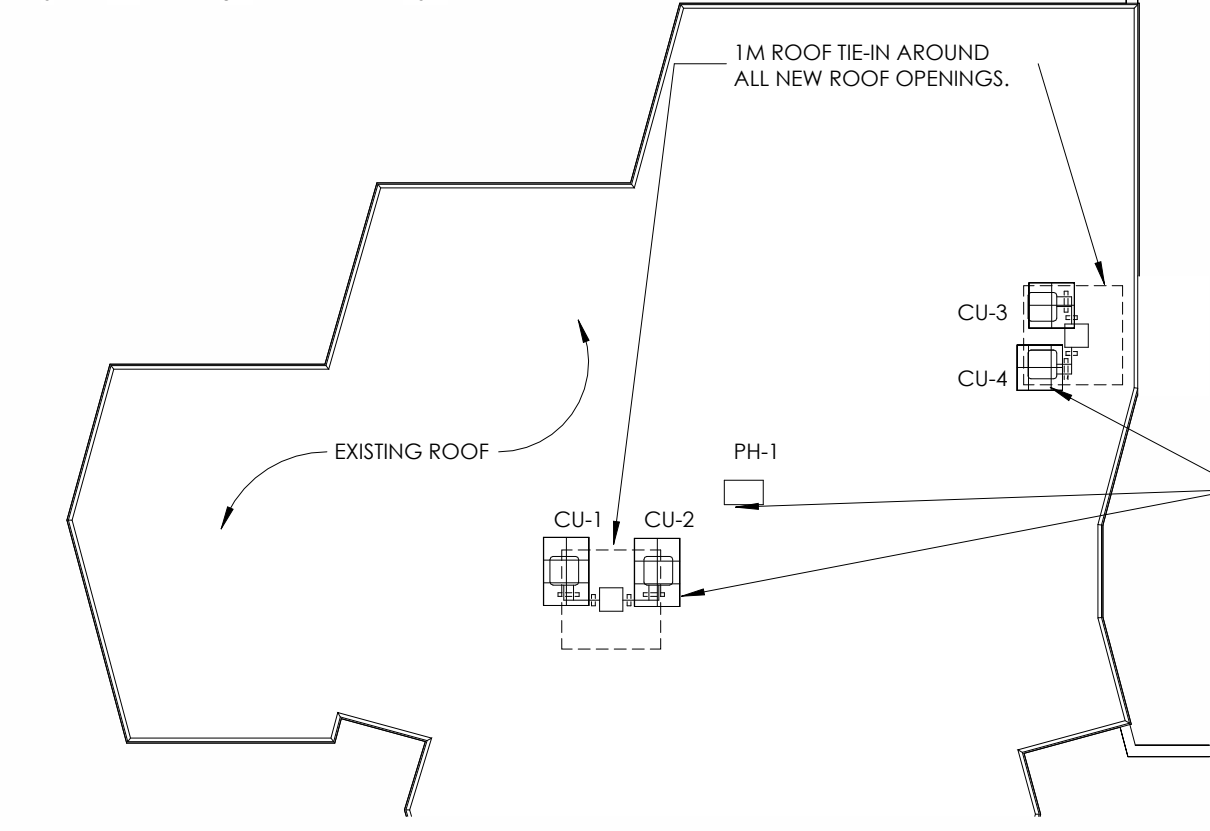
EXISTING SITE PLAN



0 OVERALL KEYPLAN
A2.1 1 : 800



2 LIBRARY RENO. FLOOR FINISH PLAN
A2.1 (1 : 150)



3 ROOF PLAN
A2.1 (1 : 200)

FLOOR PLAN LEGEND

	# Ref	ELEVATION REFERENCE		WINDOW #
	# Ref	WALL SECTION REFERENCE		WALL TYPE
	# Ref	BUILDING SECTION REFERENCE		CURTAIN WALL #
	###	DATUM		SCREEN #
	(#)	DOOR TYPE (COORD. W/ DOOR SCHEDULES)		RM. NAME
				ROOM NO. # m2 # SF # OCCUPANT(S)
				FLOOR TYPE
				POWER DOOR OPENER

HATCH IDENTIFICATION MARKER LEGEND

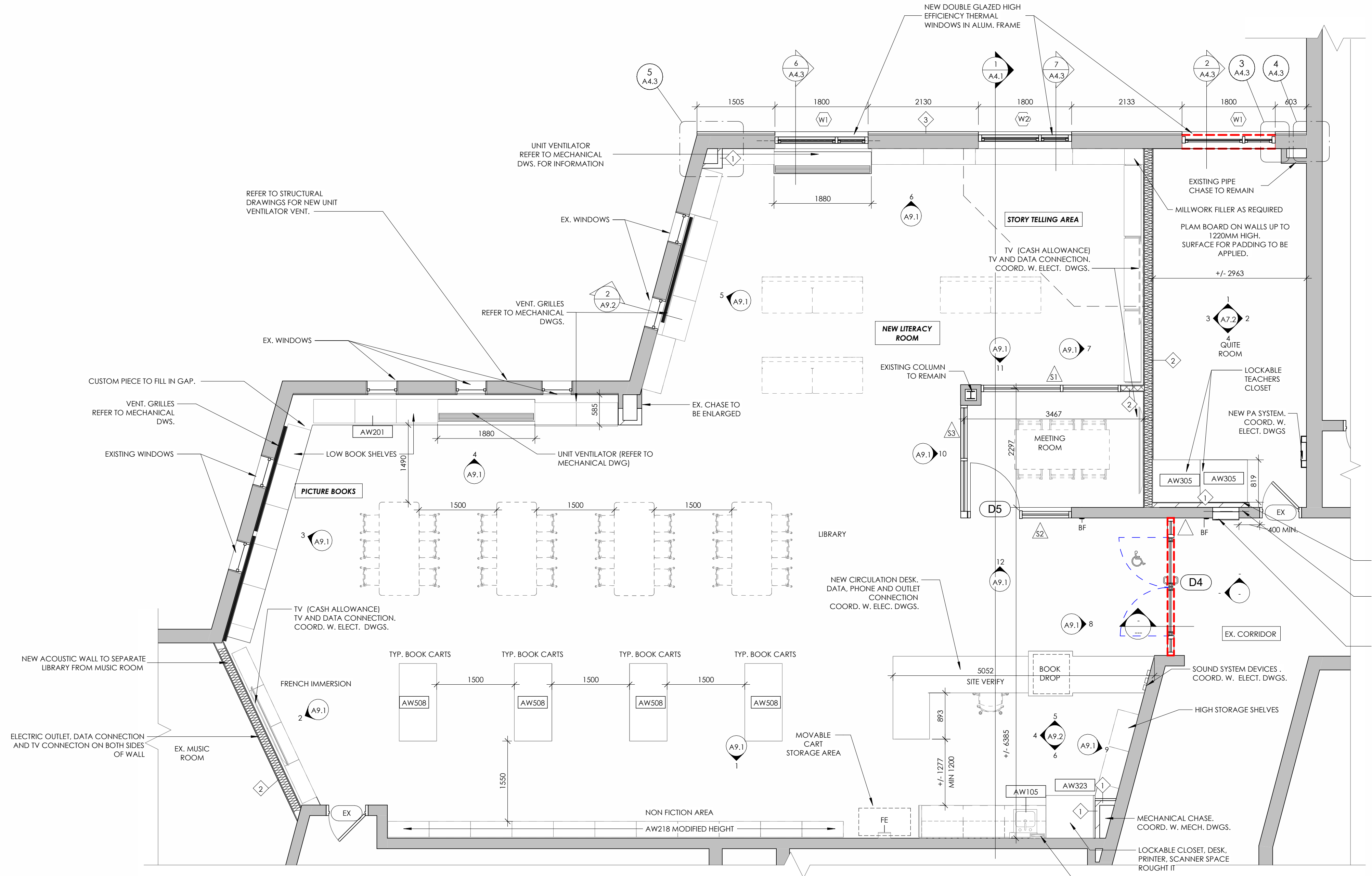
	SCOPE OF WORK		EXISTING FLOOR, ROOF, CANOPY OR CEILING SURFACES TO BE DEMOLISHED, REPAIRED OR PREPARED AS NOTED. COORDINATE FULL EXTENT WITH ALL OTHERS DISCIPLINES.
	MILLWORK/EQUIP ITEM IN CONTRACT (COORD. W/ A9 DWG. 3)		ITEMS NOT IN CONTRACT - N/C (COORD. W/ A9 DWG. 3)
	EXISTING RADIATOR AND VENTILATOR		

WALL IDENTIFICATION MARKER LEGEND (COORD. W/ WALL TYPES)

	NEW CONC. BLOCK WALL SYSTEM
	NEW GYP. BD. ON METAL STUDS WALL SYSTEM
	EXISTING WALL SYSTEM

FLOOR PLAN NOTES:

- SHOP DWG.'S TO BE IN DIMENSION UNITS AS ILLUSTRATED ON THIS DWG. OR THEY WILL BE REJECTED (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE)
- REFER TO DWG. A2.1 FOR GENERAL LEGEND OF SYMBOLS
- ALL DUCT SHAFT ENCLOSURES TO SUIT DUCT SIZES REQUIRED. COORD WITH MECHANICAL DRAWINGS
- UNLESS OTHERWISE NOTED, ALL WALLS ARE TO GO UP TO THE U/S OF DECK ABOVE & BE SEALED TIGHT.
- PROVIDE NEW CONCRETE SLAB IN BOTH IN ENTIRE AREA OF WORK WITH GRANULAR BASE AND THICKENED SLAB WHERE NEW CONCRETE BLOCK WALLS WILL BE LOCATED



1 LIBRARY RENO. FLOOR PLAN
A2.1 (1 : 50)

RENOVATION NOTES

FLOOR NOTES

- INSTALL NEW FLOORING.
- INSTALL NEW TRADITIONAL 4" JOHNSONITE BLACK RUBBER WALL BASE.
- PROVIDE ALUMINUM TRANSITION STRIPS AT ALL DOORWAYS.

WALL NOTES

- PROVIDE NEW WALL PAINT FINISHES.
- PROVIDE NEW SIGNAGES AND GRAPHICS AS REQUIRED.
- PROVIDE NEW 3 WINDOWS ON NORTH SIDE EXTERIOR WALL.
- PROVIDE NEW PARTITION WALLS.
- PROVIDE NEW CEILING.

MECH./ELEC. NOTES

- PROVIDE NEW CEILING LIGHT FIXTURES.
- PROVIDE NEW WIRING AND OUTLETS IF REQUIRED.
- PROVIDE NEW VANITY WITH SINK AND NEW PLUMBING FIXTURES.
- PROVIDE NEW LED SCREEN AND WIRING/OUTLETS AS REQUIRED.

MILLWORK NOTES

- PROVIDE NEW BOOK SHELVES.
- PROVIDE NEW STORAGE UNITS.
- PROVIDE NEW STUDY TABLES WITH CHAIRS AS REQUIRED BY SCHOOL BOARD.
- PROVIDE NEW MEETING ROOM FURNITURE AS REQUIRED.
- PROVIDE NEW BF DOUBLE DOOR.

NOTE: ALL HEATING UNITS AND VANILATOR UNITS LOCATIONS ARE REFER TO MECHANICAL DWGS.

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MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAIN WALLS AND SCREENS REQUIRED FOR THIS RENOVATION BEFORE ORDERING AND ASSEMBLING

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PROJECT:
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RENOVATION

153 MONTCALM DRIVE
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WATERLOO REGION DISTRICT SCHOOL BOARD

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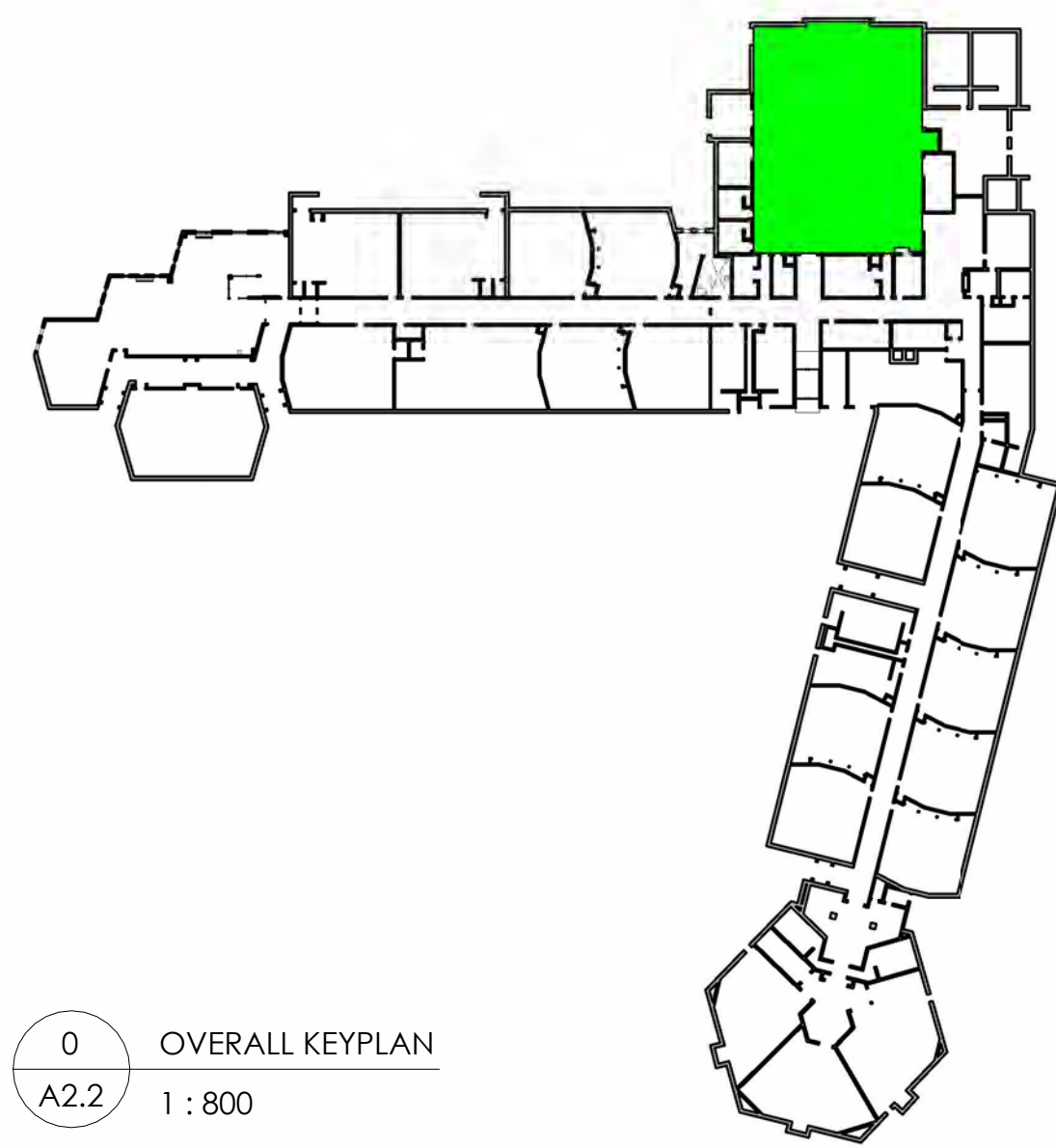
LIBRARY RENOVATION PLAN

A2.1

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0 OVERALL KEYPLAN
A2.2 1 : 800

RENOVATION NOTES

FLOOR NOTES

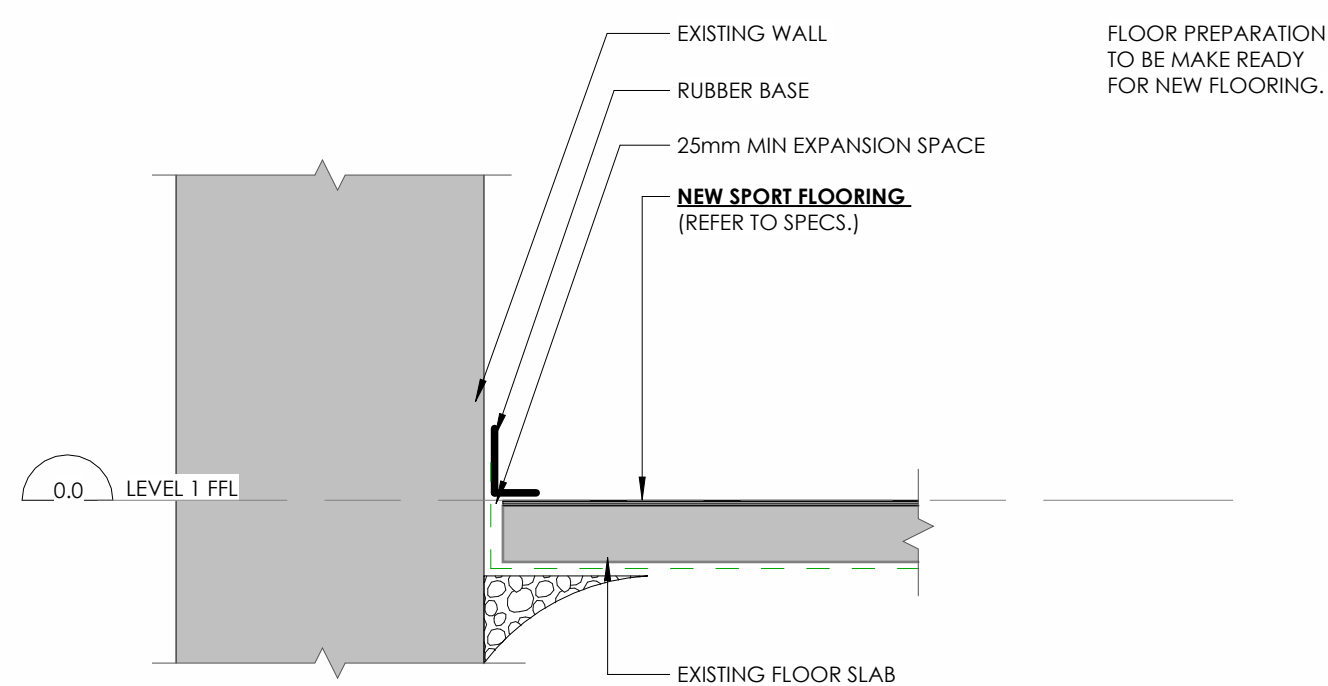
- INSTALL NEW SPORT FLOORING - REFER TO SPECS.
- INSTALL NEW BLACK RUBBER WALL BASE.
- PROVIDE ALUMINUM TRANSITION STRIPS AT ALL DOORWAYS.
- PROVIDE FLOOR SOCKETS BY CORE DRILLING (GYMNASIUM & HEALTH FS2-2 3/8" BRASS)
- PROVIDE GYMNASIUM LINES AND WORK SHOULD BE DONE DURING NON OCCUPIED HOURS WITH PROPER VENTILATION. (GYM LINE DWGS TO BE PROVIDED BY OWNER)

WALL NOTES

- PROVIDE NEW WALL PAINT FINISHES.
- PROVIDE NEW SIGNAGES AND GRAPHICS AS REQUIRED (CASH ALLOWANCE)

MECH./ ELEC. NOTES

- PROVIDE NEW 2 MAIN BASKETBALL BACKBOARD/ALL HARDWARES AS REQUIRED.



3 TYP. FLOOR SECTION DETAILS
A2.2 (1 : 10)

HATCH IDENTIFICATION MARKER LEGEND

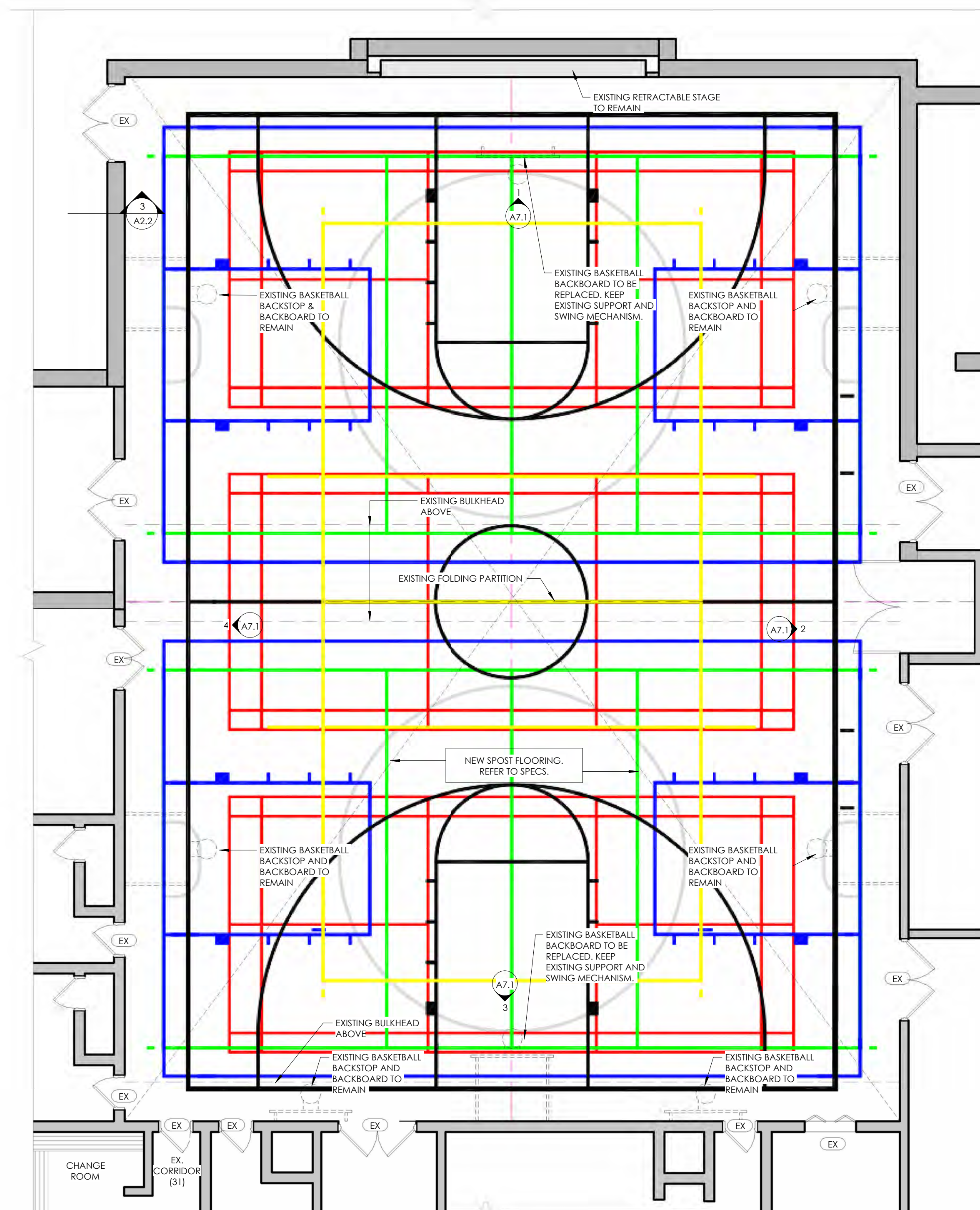
- SCOPE OF WORK
- ▤ EXISTING FLOOR, ROOF, CANOPY OR CEILING SURFACES TO BE DEMOLISHED, REPAIRED OR PREPARED AS NOTED. COORDINATE FULL EXTENT WITH ALL OTHERS DISCIPLINES.
- ▭ MILLWORK/EQUIP ITEM IN CONTRACT (COORD. W/ A9 DWG.S)
- ▭ ITEMS NOT IN CONTRACT - N/I/C (COORD. W/ A9 DWG.S)
- ▭ EXISTING RADIATOR AND VENTILATOR

WALL IDENTIFICATION MARKER LEGEND (COORD. W/ WALL TYPES)

- ▨ NEW CONC. BLOCK WALL SYSTEM
- ▨ NEW GYP. BD. ON METAL STUDS WALL SYSTEM
- ▭ EXISTING WALL SYSTEM

FLOOR PLAN NOTES:

- SHOP DWG.S TO BE IN DIMENSION UNITS AS ILLUSTRATED ON THIS DWG. OR THEY WILL BE REJECTED (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE)
- REFER TO DWG A2.1 FOR GENERAL LEGEND OF SYMBOLS
- ALL DUCT SHAFT ENCLOSURES TO SUIT DUCT SIZES REQUIRED. COORD WITH MECHANICAL DRAWINGS
- UNLESS OTHERWISE NOTED, ALL WALLS ARE TO GO UP TO THE U/S OF DECK ABOVE & BE SEALED TIGHT.
- PROVIDE NEW CONCRETE SLAB IN BOTH IN ENTIRE AREA OF WORK WITH GRANULAR BASE AND THICKENED SLAB WHERE NEW CONCRETE BLOCK WALLS WILL BE LOCATED



2 GYMNASIUM RENO. FLOOR PLAN
A2.2 (1 : 75)

Revision Schedule

Particular	Date	No.
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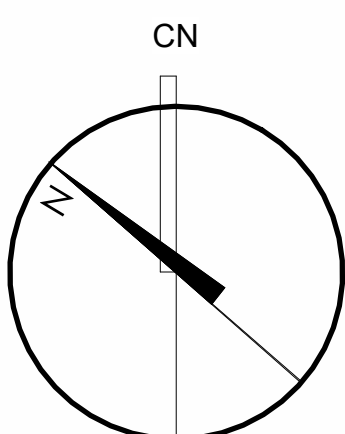
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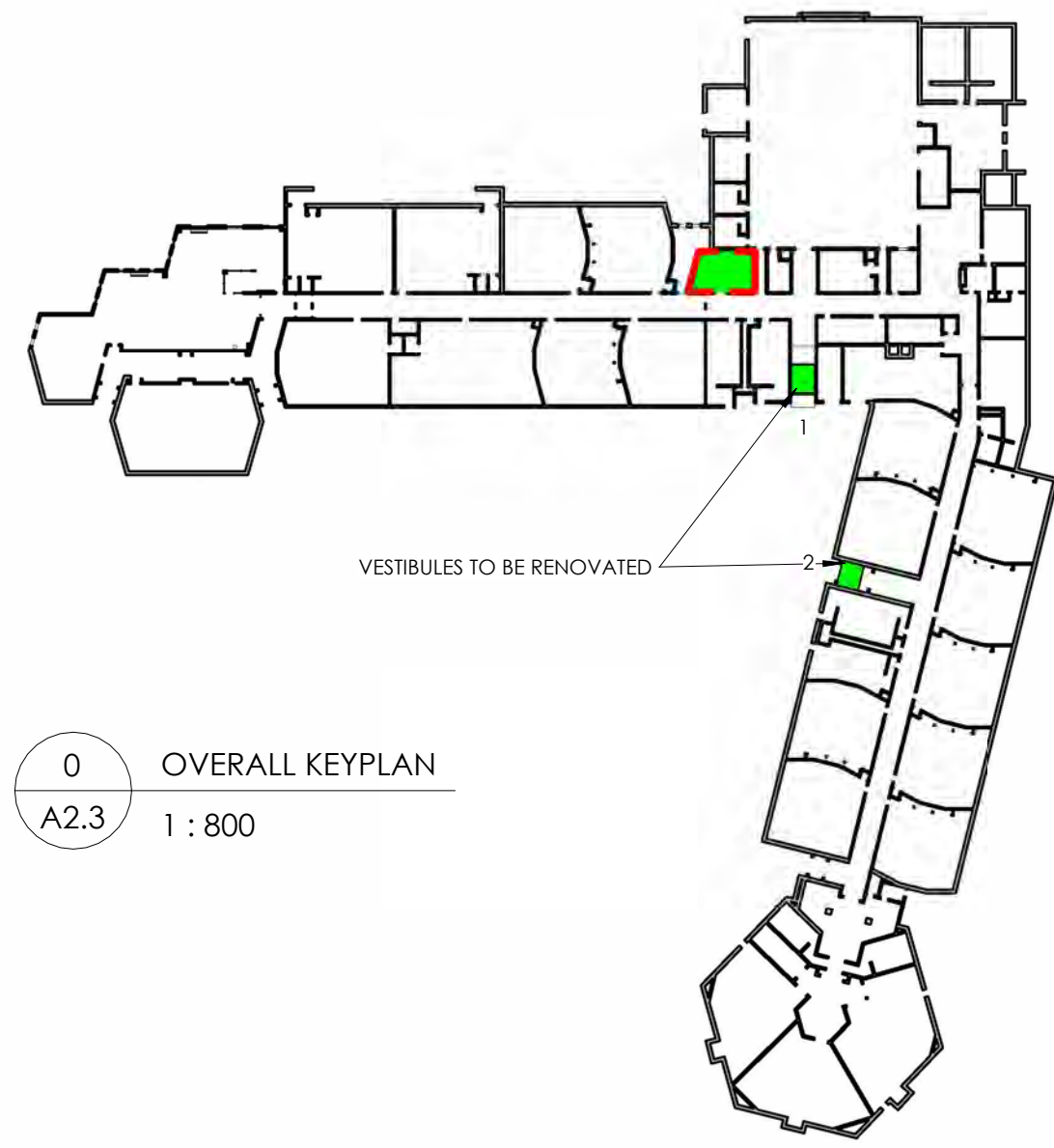
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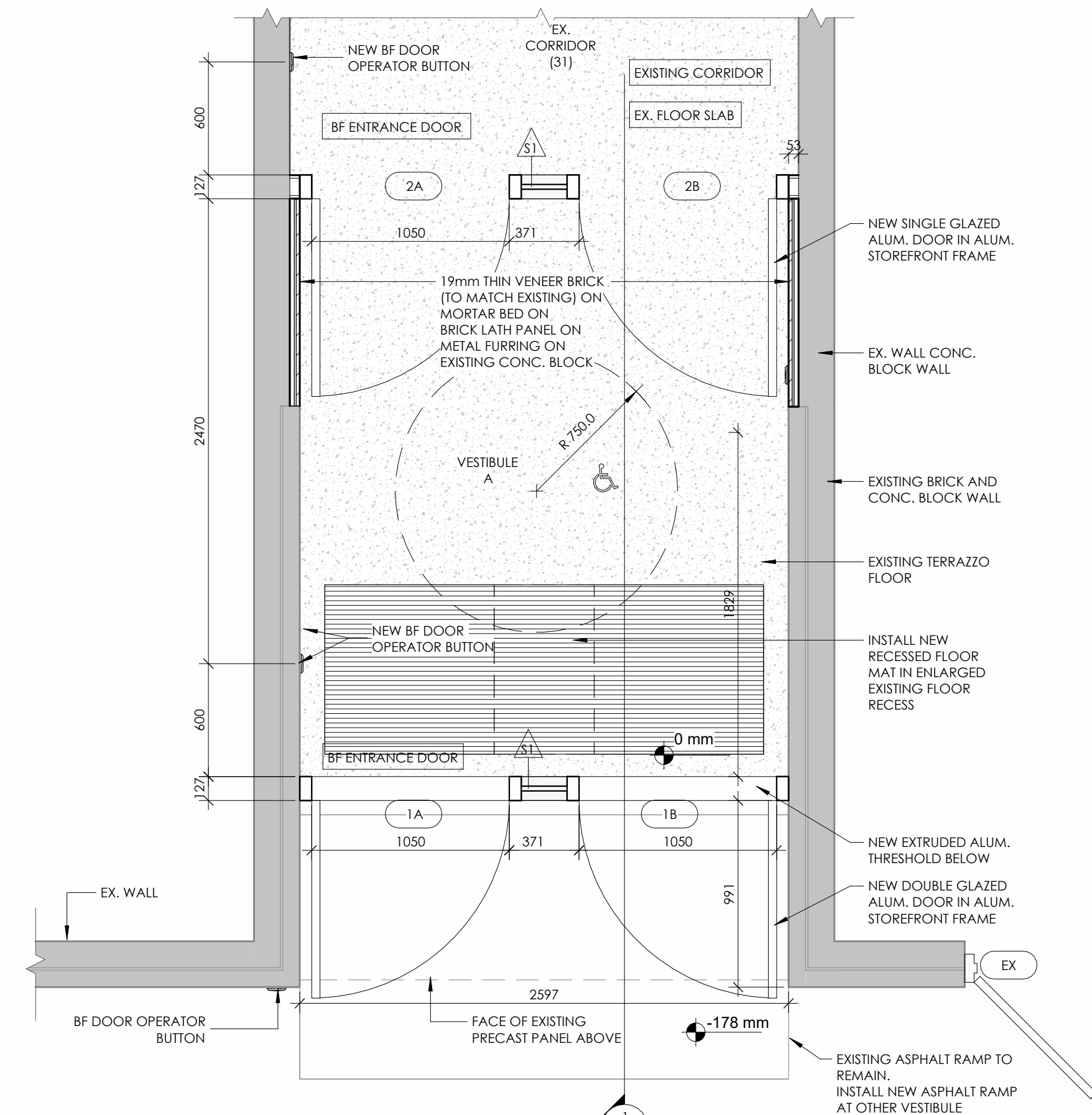
GYMNASIUM RENOVATION PLAN

A2.2

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0 OVERALL KEYPLAN
A2.3 1 : 800



4 VESTIBULE 1 & 2 RENOVATION PLAN
A2.3 1 : 25

FLOOR PLAN LEGEND

	# Ref	ELEVATION REFERENCE
	# Ref	DETAIL REFERENCE
	# Ref	WALL SECTION REFERENCE
	# Ref	BUILDING SECTION REFERENCE
	###	A/F/F LEVEL # (ABOVE FINISHED FLOOR) GRID LINE
	(31)	DOOR TYPE (COORD. W/ DOOR SCHEDULES)

	W#	WINDOW #
	W	WALL TYPE
	CW#	CURTAIN WALL #
	S#	SCREEN #
	RM. NAME	ROOM NO. # M2 # SF # OCCUPANT(S)
	###	ROOM NO.
	F#	FLOOR TYPE
	PO	POWER DOOR OPENER
	BF	PUSH BUTTON FOR POWER DOOR OPERATOR - 610mm MIN. FROM THE DOOR SWING TOWARDS THE BUTTON TO 1500mm MAX. (925mm A/F/F TO CENTER OF BUTTON TYP.)
	EPB	EMERGENCY PUSH BUTTON (925mm A/F/F TO CENTER OF BUTTON TYP.) (450mm A/F/F TO CENTER OF BUTTON IN UNIV. WR. TYP.)
	CB	CALL BUTTON (925mm A/F/F TO CENTER OF BUTTON TYP.)

	R 750.0	TYP. BF TURNING CIRCLE RADIUS & INDIVIDUAL AREA OF REFUGE LOCATION
	[Pattern]	SCOPE OF WORK
	[Pattern]	EXISTING FLOOR, ROOF, CANOPY OR CEILING SURFACES TO BE DEMOLISHED, REPAIRED OR PREPARED AS NOTED. COORDINATE FULL EXTENT WITH ALL OTHERS DISCIPLINES.
	[Pattern]	MILLWORK/EQUIP ITEM IN CONTRACT (COORD. W/ A9 DWG.3)
	[Pattern]	ITEMS NOT IN CONTRACT - N/I/C (COORD. W/ A9 DWG.3)
	[Pattern]	EXISTING RADIATOR AND VENTILATOR

WALL IDENTIFICATION MARKER LEGEND (COORD. W/ WALL TYPES)

	NEW CONC. BLOCK WALL SYSTEM
	NEW GYP. BD. ON METAL STUDS WALL SYSTEM
	EXISTING WALL SYSTEM

FLOOR PLAN NOTES:

- SHOP DWG.'S TO BE IN DIMENSION UNITS AS ILLUSTRATED ON THIS DWG. OR THEY WILL BE REJECTED (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE)
- REFER TO DWG A2.1 FOR GENERAL LEGEND OF SYMBOLS
- ALL DUCT SHAFT ENCLOSURES TO SUIT DUCT SIZES REQUIRED. COORD WITH MECHANICAL DRAWINGS
- UNLESS OTHERWISE NOTED, ALL WALLS ARE TO GO UP TO THE U/S OF DECK ABOVE & BE SEALED TIGHT.
- PROVIDE NEW CONCRETE SLAB IN BOTH IN ENTIRE AREA OF WORK WITH GRANULAR BASE AND THICKENED SLAB WHERE NEW CONCRETE BLOCK WALLS WILL BE LOCATED

RENOVATION NOTES

UNIVERSAL WASHROOM

FLOOR NOTES

- INSTALL NEW PORCELAIN TILE FINISH FLOORING. NON-SLIP FINISH. FLOOR TILE SIZE: 305X305MM SEAL GROUT
- PORCELAIN TILE WALL BASE TO MATCH FLOOR TILE
- PROVIDE ALUMINUM TRANSITION STRIPS AT ALL DOORWAYS.
- PATCH AND REPAIR ALL FLOORS DAMAGED BY DEMOLITION WORK. PROVIDE TRANSITION STRIPS BETWEEN NEW AND EXISTING FLOOR FINISHES. PROVIDE NEW VAPOUR SEAL COATING TO EXISTING FLOOR UNDER NEW FLOOR FINISHES TYP.

WALL NOTES

- PROVIDE NEW SIGNAGES AND GRAPHICS AS REQUIRED.
- PROVIDE NEW PARTITION AND PLUMBING WALLS.
- PROVIDE NEW CEILING.
- PROVIDE NEW PORCELAIN TILE WALL FINISH.
- PROVIDE NEW BF DOORS AND FRAMES

MECH./ELEC. NOTES

- PROVIDE NEW CEILING LIGHT FIXTURES.
- PROVIDE NEW WIRING AND OUTLETS IF REQUIRED.
- PROVIDE NEW VANITY WITH SINK, NEW PLUMBING FIXTURES AND ACCESSORIES.
- PROVIDE NEW WATER CLOSET, PLUMBING FIXTURES AND ACCESSORIES.
- PROVIDE NEW FLOOR DRAIN IF REQUIRED.
- PROVIDE NEW EMERGENCY PUSH BUTTONS AND DOOR OPERATOR BUTTONS.

BARRIER FREE ENTRANCE TYPICAL

FLOOR NOTES

- PROVIDE NEW ALUMINUM THRESHOLD AT EXTERIOR VESTIBULE DOORS

WALL NOTES

- PROVIDE NEW SIGNAGES AND GRAPHICS AS REQUIRED.

MECH./ELEC. NOTES

- PROVIDE NEW WIRING AND OUTLETS IF REQUIRED.
- PROVIDE NEW DOOR OPERATOR BUTTONS.
- PROVIDE NEW BF DOORS AND FRAMES

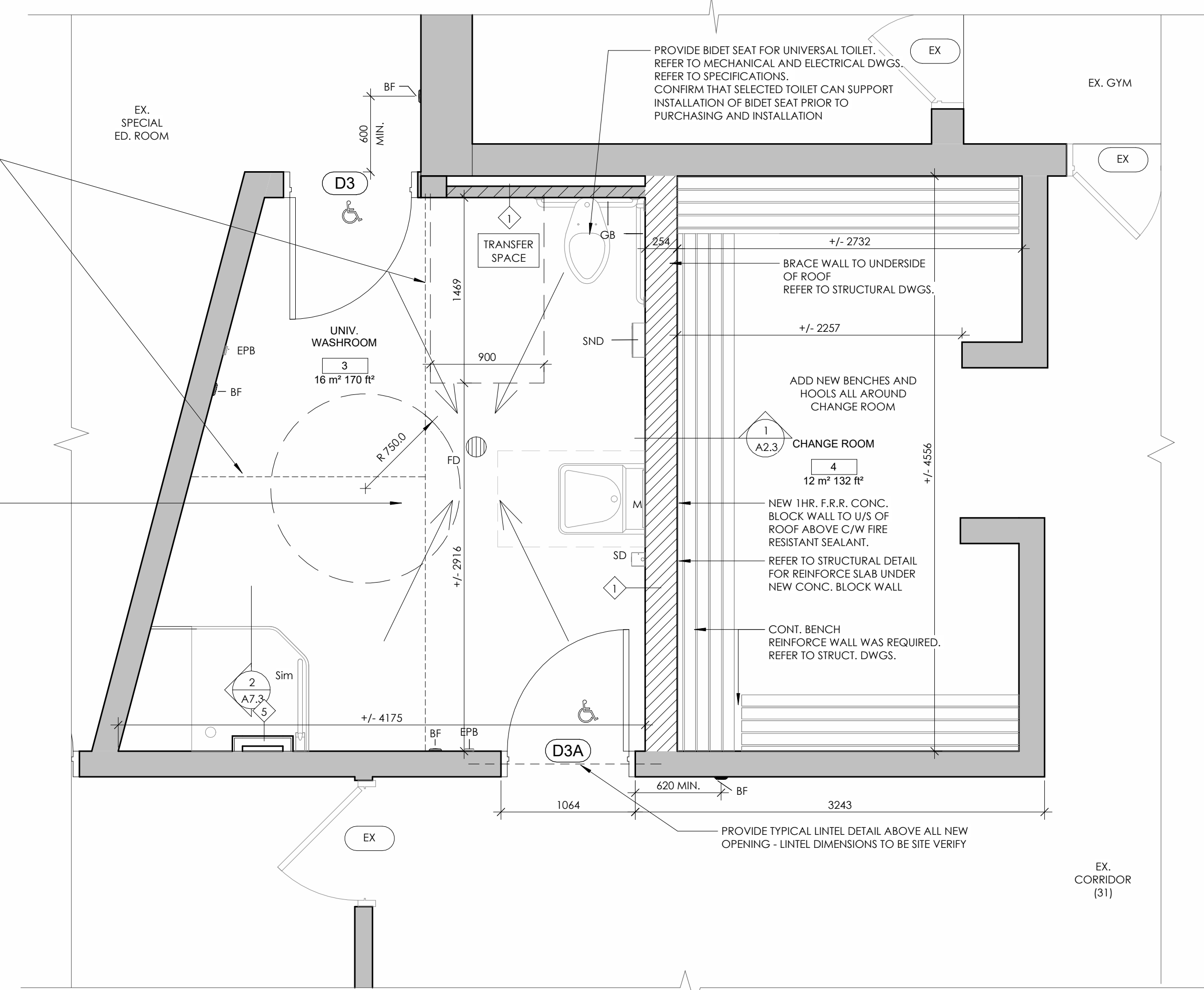
GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL ROUGH-IN & PLUMBING ROUGH-IN, FIXTURE & ACCESSORY MOUNTING HEIGHTS & OTHER NON-TYPICAL SPACES W/ OWNER / OPERATOR PRIOR TO CONSTRUCTION. THE ABOVE NOTED HEIGHTS SHALL BE CONFIRMED TO BE IN ACCORDANCE W/ THE LATEST O.B.C. PRIOR TO ROUGH-IN & INSTALLATION.
- CONCRETE BLOCK IN WASHROOMS W/O WALL FINISH TO HAVE SPECIAL PERFORMANCE COATING APPLIED W/ RUBBER BASE.
- COORDINATE W/ ARCHITECT FOR FINISH & COLOURS PRIOR TO INSTALLATION.
- SHOP DRAWINGS TO BE IN DIMENSION UNITS AS ILLUSTRATED ON THIS DRAWING OR THEY WILL BE REJECTED

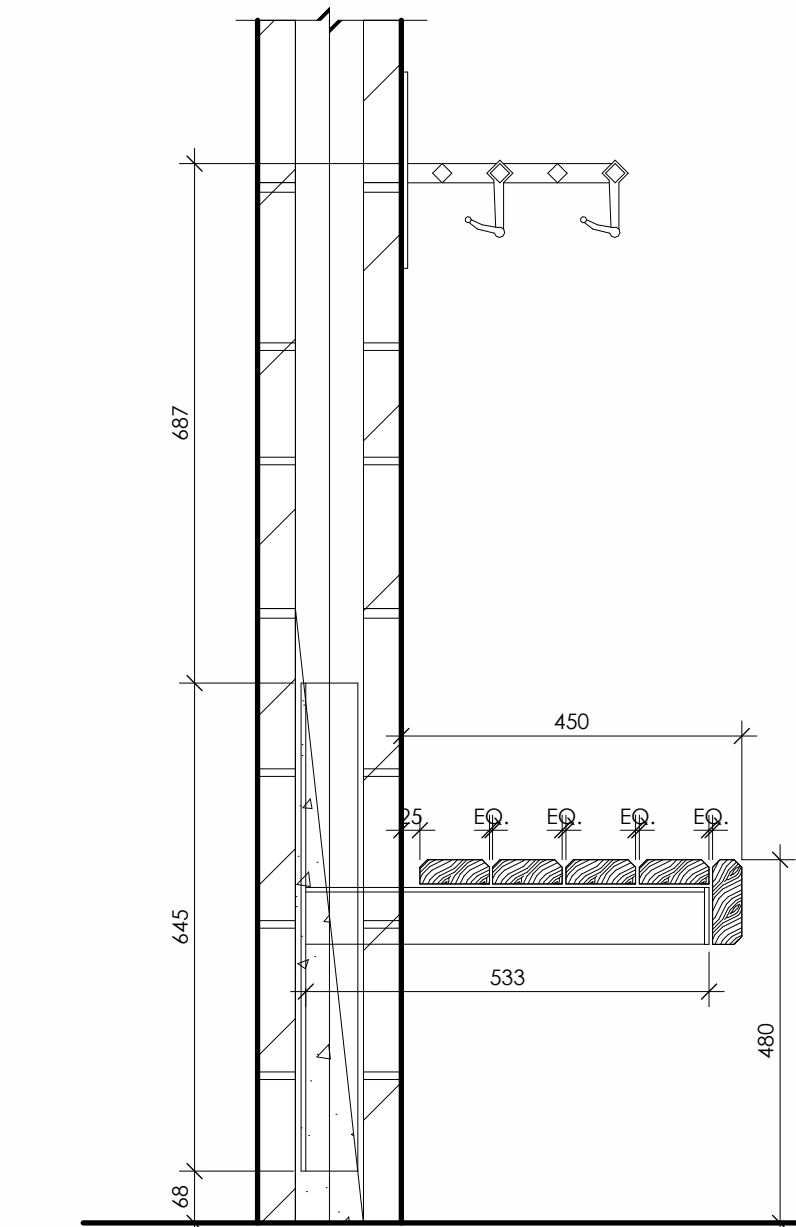
REFER TO STRUCTURAL DRAWINGS FOR BEAMS ABOVE. BEAMS TO BE USED FOR FUTURE LIFT TRACK SYSTEM. REFER TO STRUCTURAL DWGS.

PORCELAIN TILE ON ALL UNIV. WASHRM WALLS. AT FULL HEIGHT. SEAL GROUT. INSTALL TILE BACKER BOARD WHERE METAL STUD PARTITIONS

PROVIDE OUTLET AND STRUCTURE FOR FUTURE LIFT IN ROOM. COORD. W. ELEC. AND STRUCT. DWGS. MODEL Model 9130009 BHM Voyager Duo 4FB as supplied by Motion Specialties or equivalent.



2 UNIVERSAL WASHROOM & CHANGEROOM RENOVATION PLAN
A2.3 1 : 30



1 TYPICAL BENCH W/ SHELF & HOOKS SECTION
A2.3 1 : 10

Revision Schedule

Particular	Date	No.
ISSUED FOR TENDER	2023.03.06	1

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MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAIN WALLS AND SCREENS REQUIRED FOR THIS RENOVATION BEFORE ORDERING AND ASSEMBLING



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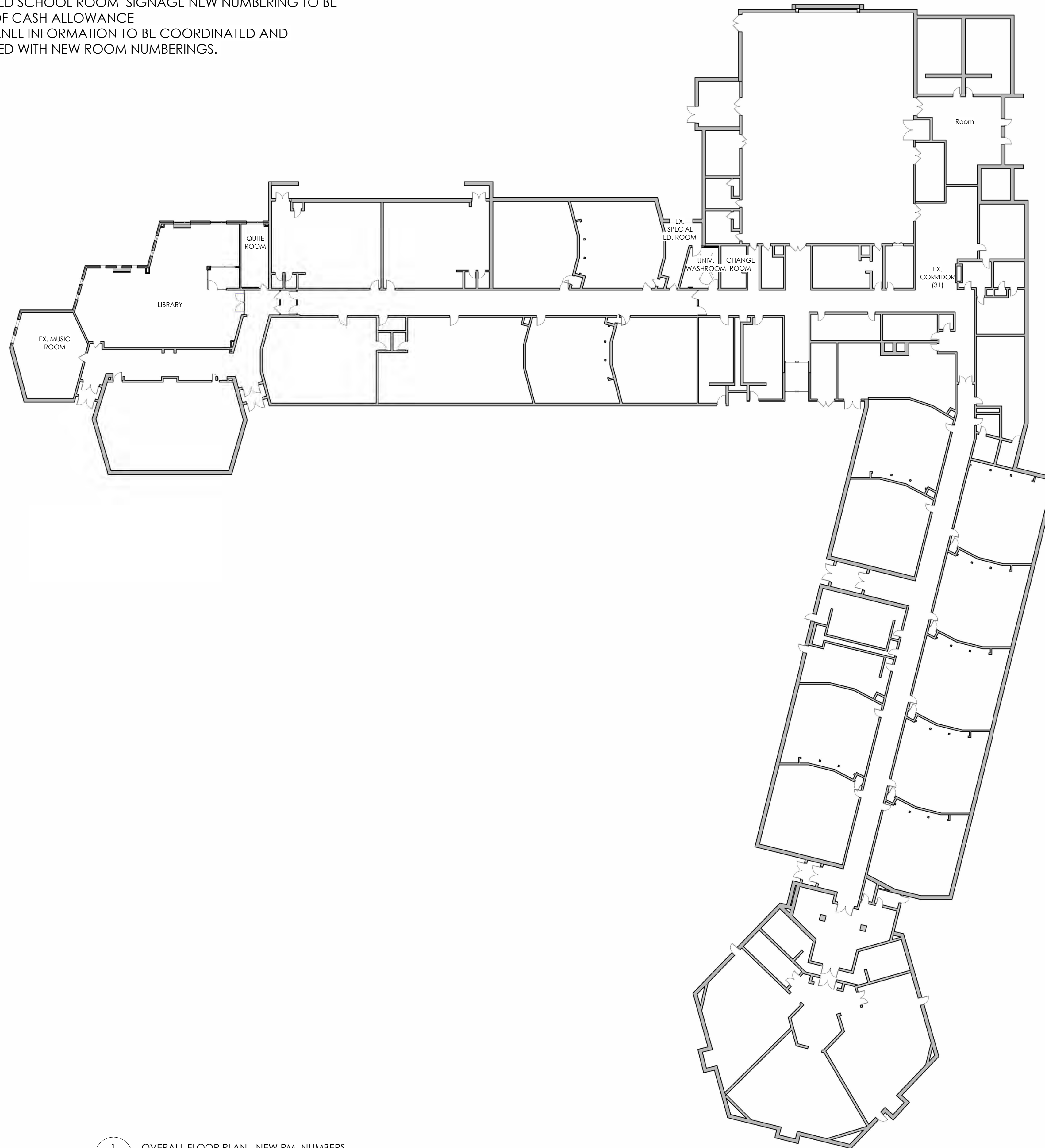


NEW UNIVERSAL WASHROOM & VESTIBULES

A2.3

GC TO COORDINATE WITH THE WRDSB FOR NEW NUMBERING OF SCHOOL ROOMS

UPDATED SCHOOL ROOM SIGNAGE NEW NUMBERING TO BE PART OF CASH ALLOWANCE
 FIRE PANEL INFORMATION TO BE COORDINATED AND UPDATED WITH NEW ROOM NUMBERINGS.



1 OVERALL FLOOR PLAN - NEW RM. NUMBERS
 A2.4 1 : 250

Revision Schedule		
Particular	Date	No.
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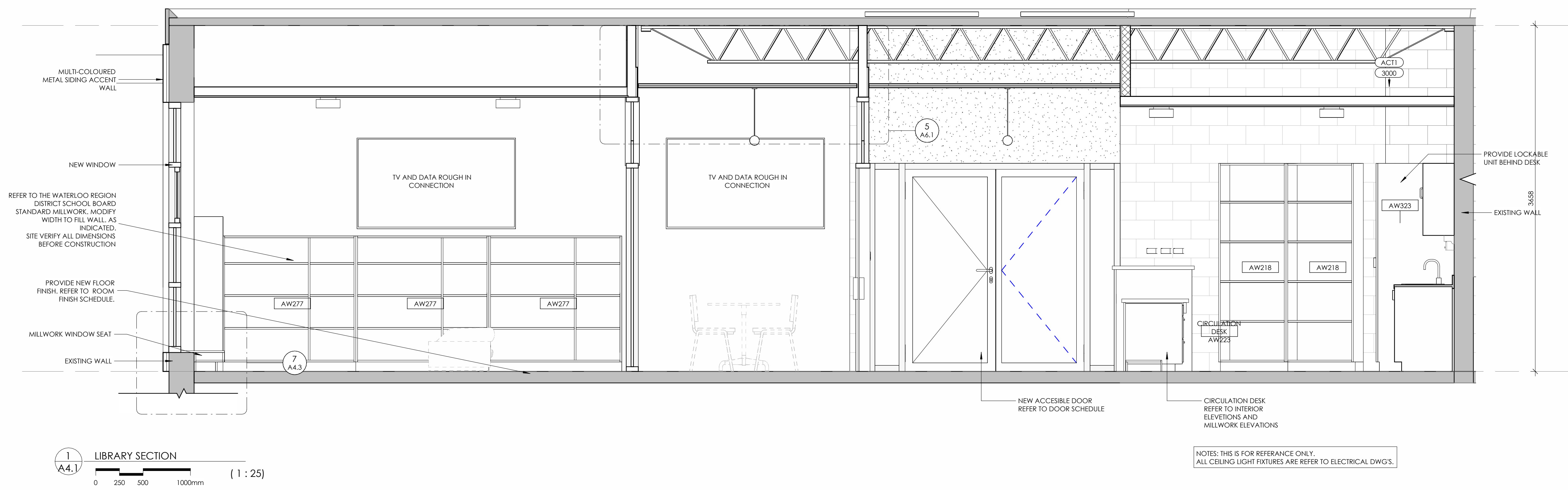
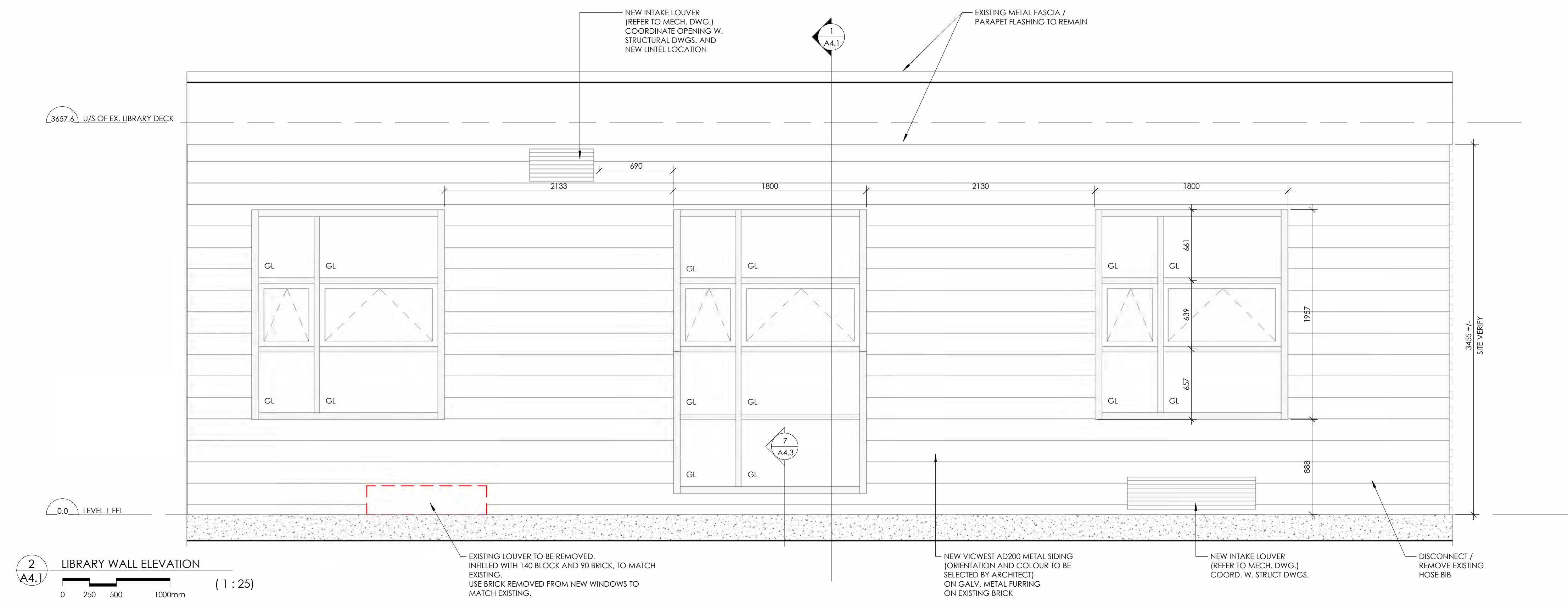
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A2.4



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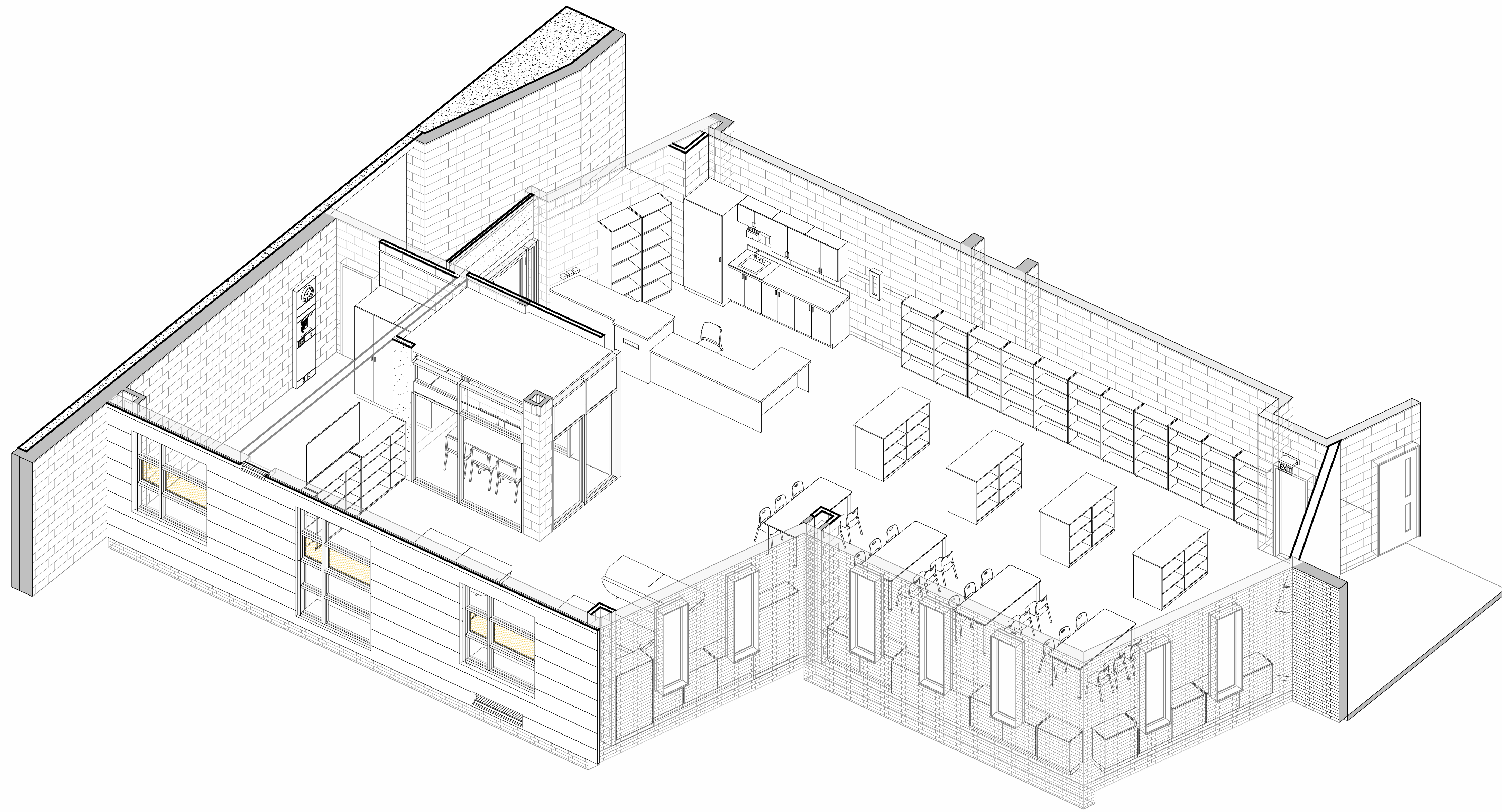
LIBRARY ELEV. & SECTIONS

A4.1

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2 LIBRARY 3D SECTION 2
A4.2



1 LIBRARY ISOMETRIC
A4.2

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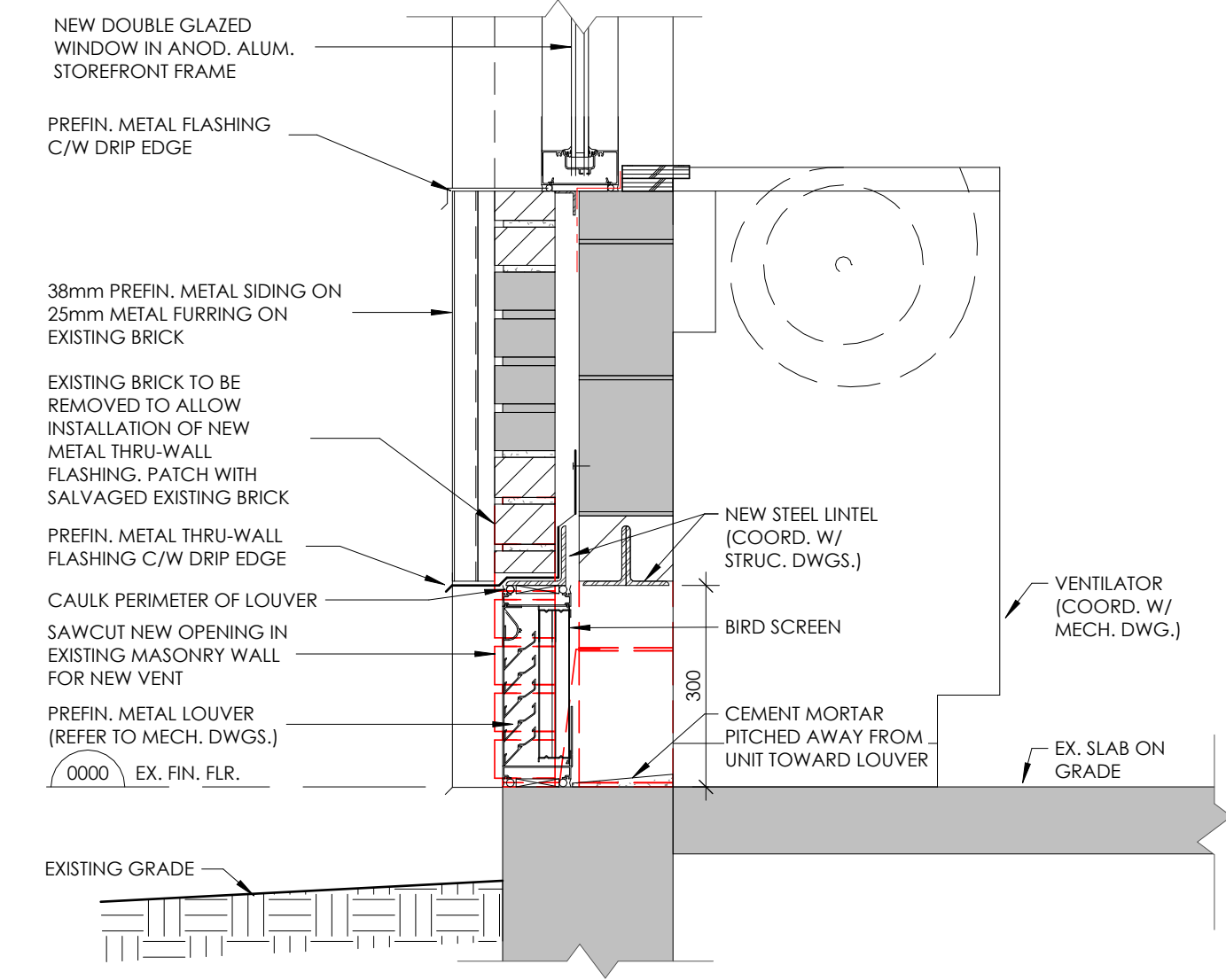
3D VIEWS - LIBRARY

A4.2

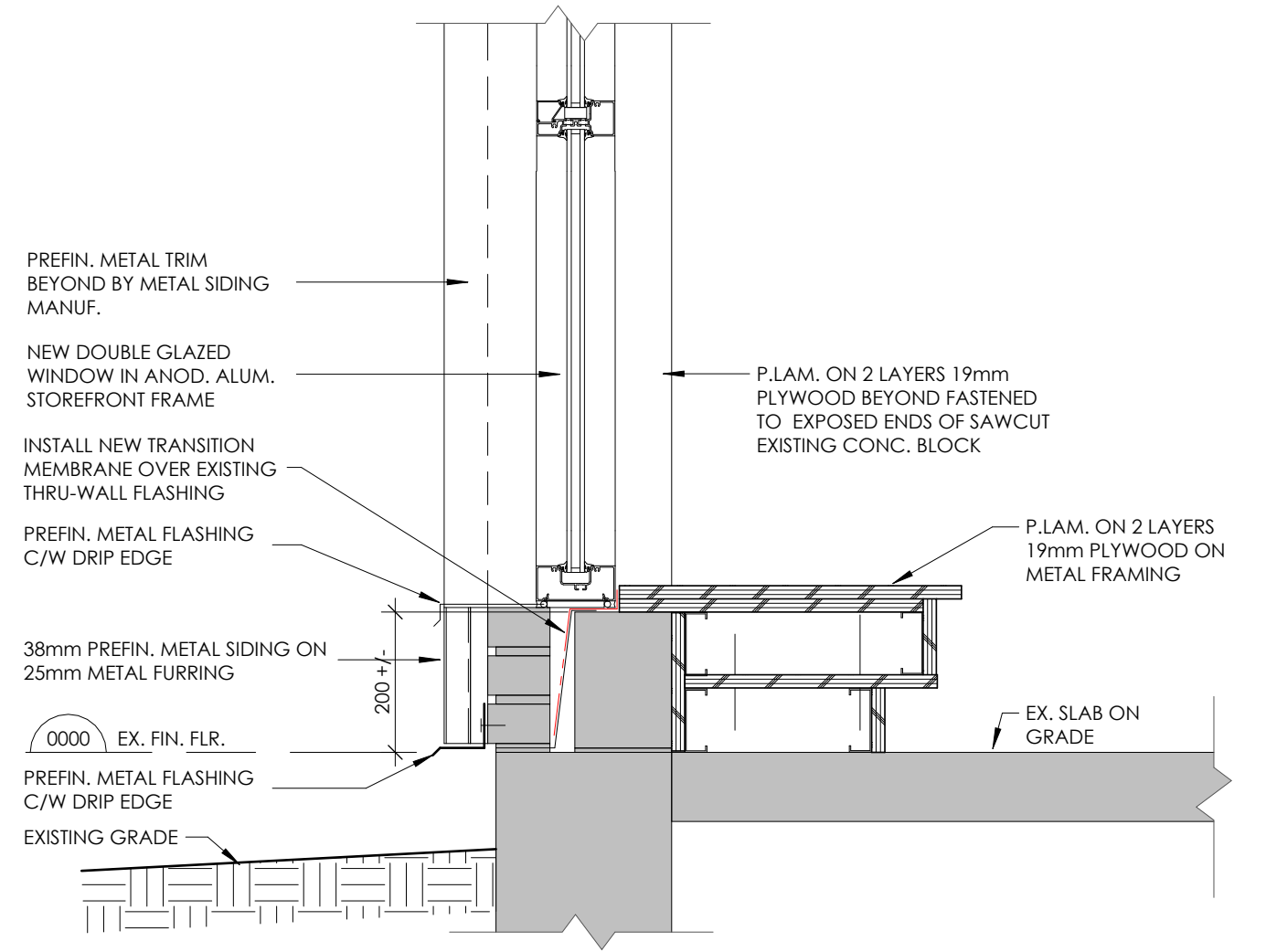
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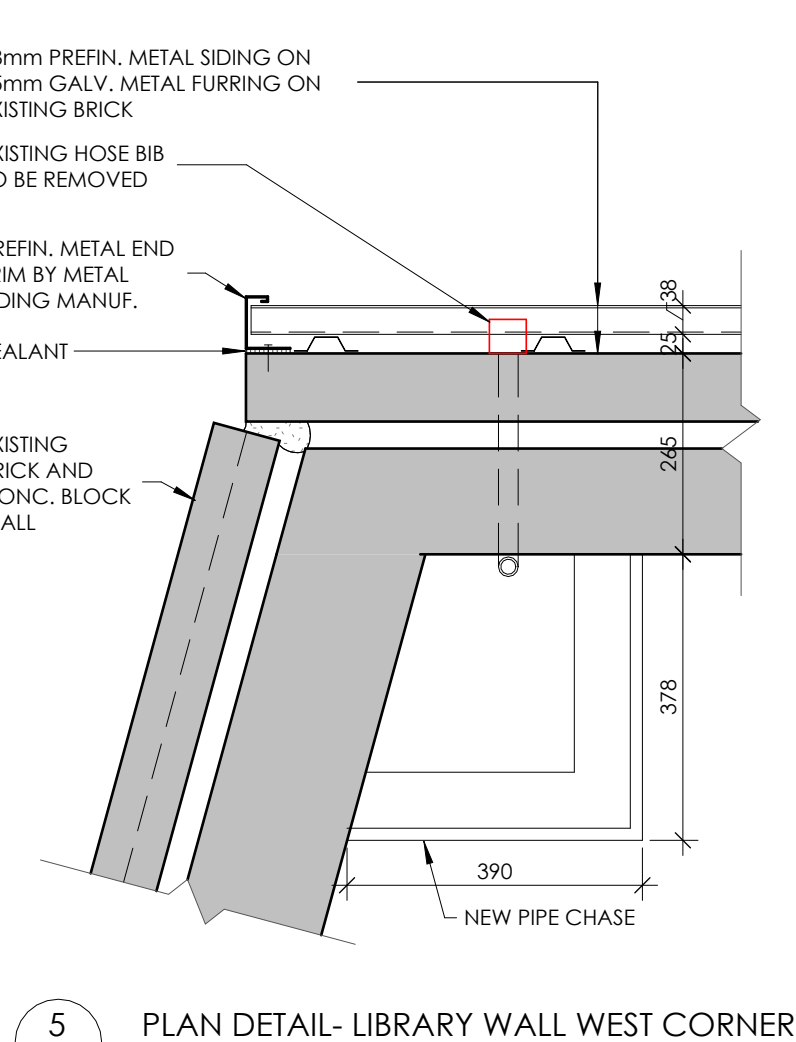
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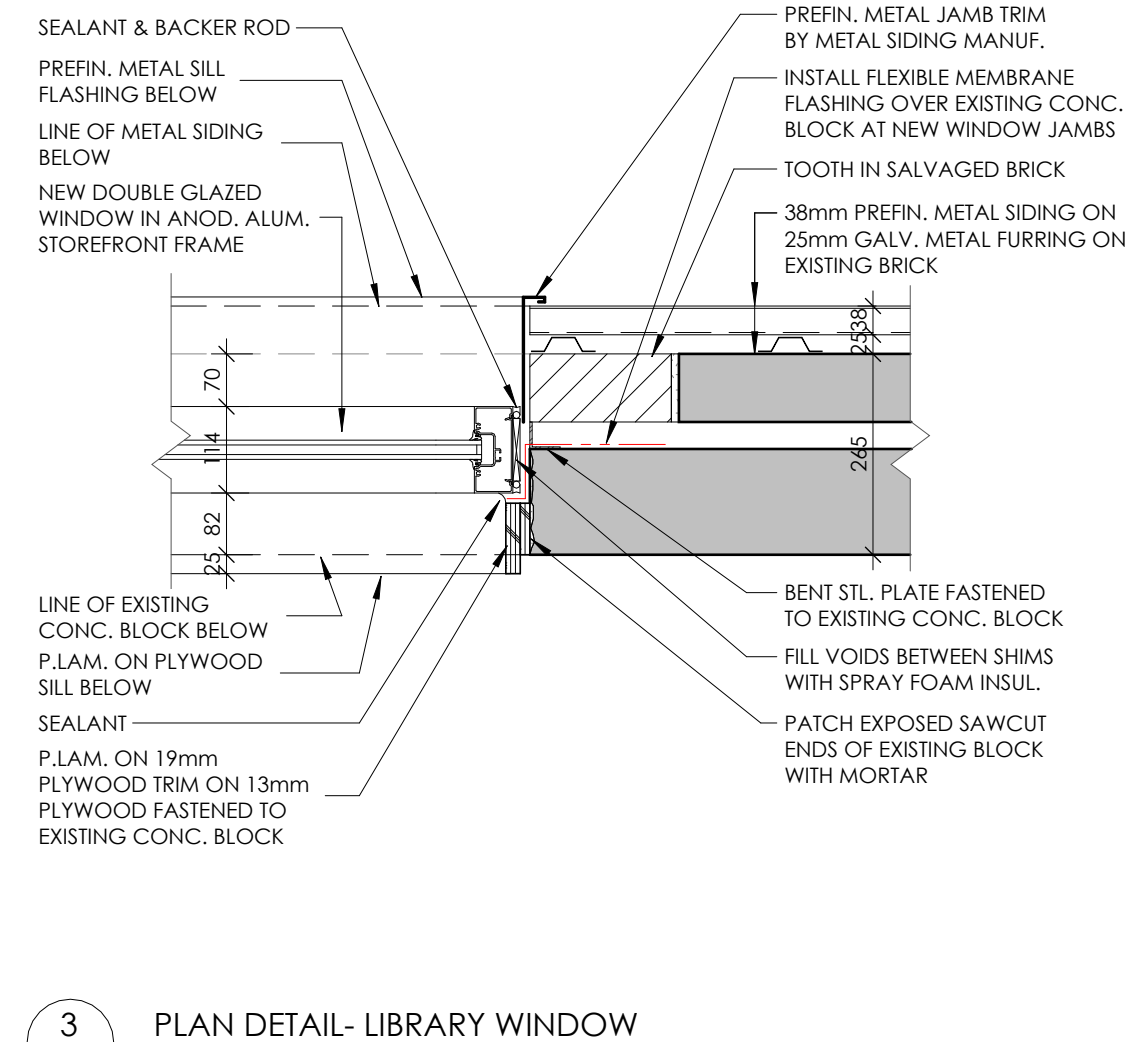
6 WALL SECTION DETAIL - LIBRARY WALL VENT
A4.3 (1:10)



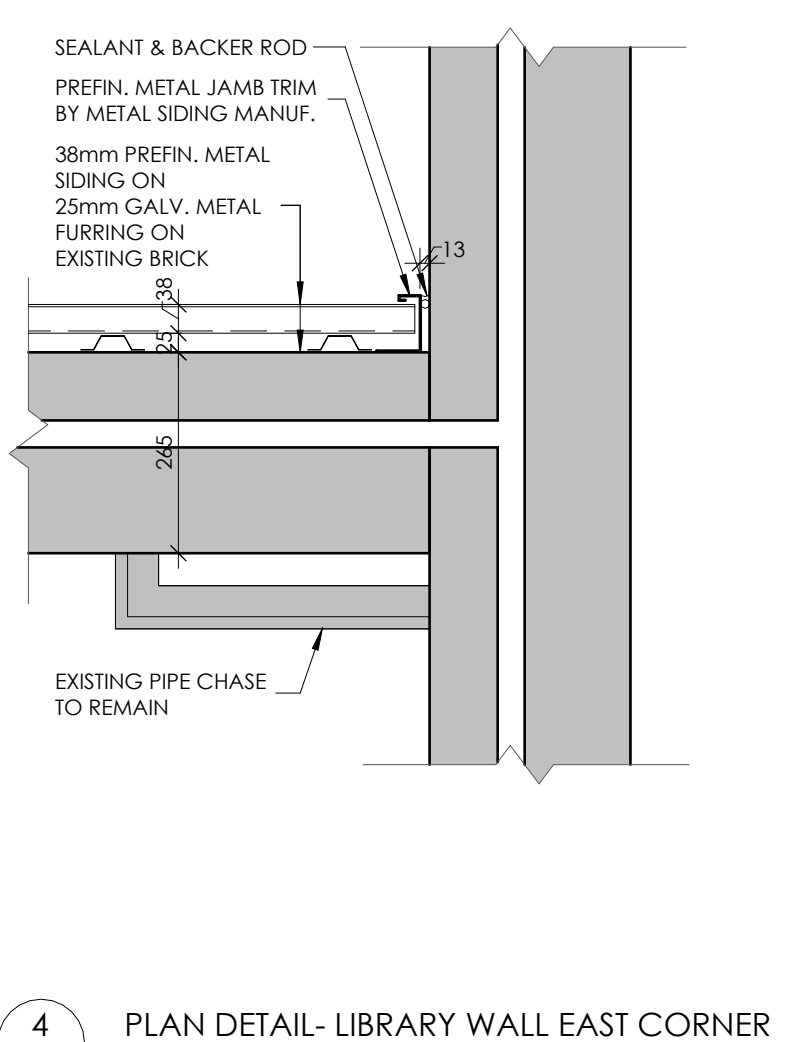
7 WALL SECTION DETAIL - LIBRARY LOW WINDOW SILL
A4.3 (1:10)



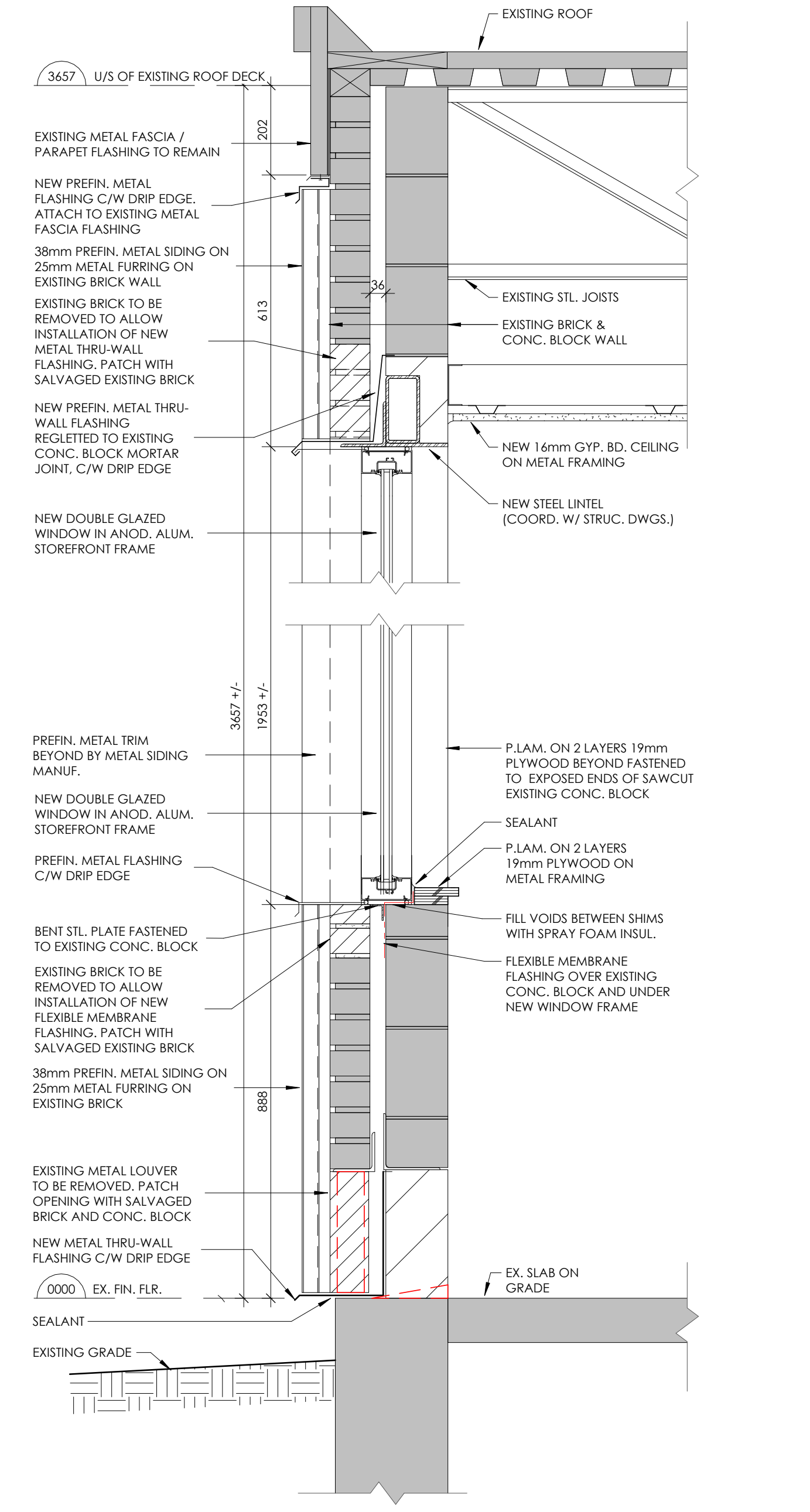
5 PLAN DETAIL - LIBRARY WALL WEST CORNER
A4.3 (1:10)



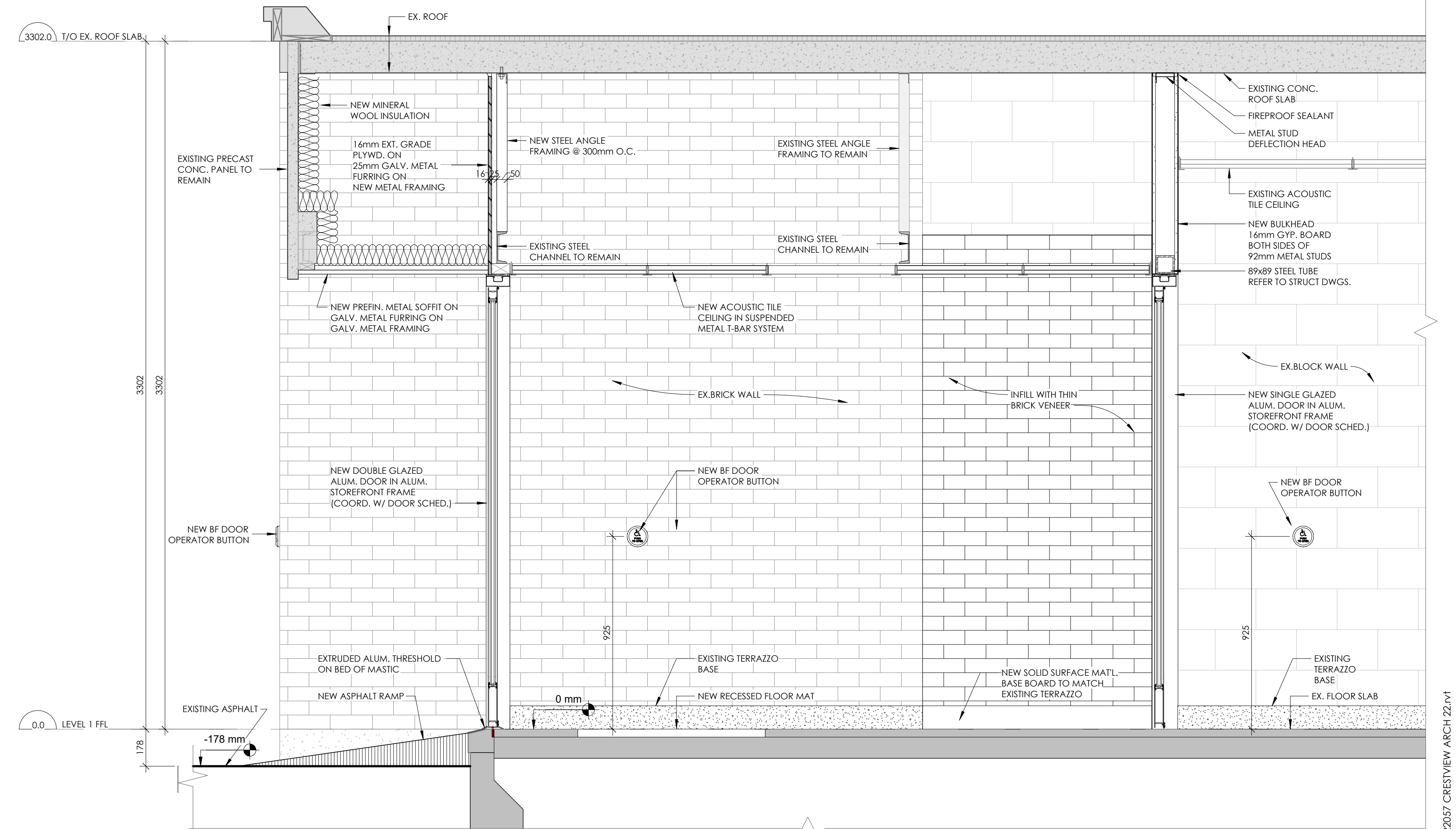
3 PLAN DETAIL - LIBRARY WINDOW
A4.3 (1:10)



4 PLAN DETAIL - LIBRARY WALL EAST CORNER
A4.3 (1:10)



2 WALL SECTION DETAIL - LIBRARY WINDOW
A4.3 (1:10)



1 SECTION - VESTIBULE 1 & 2 RENO.
A4.3 1:15

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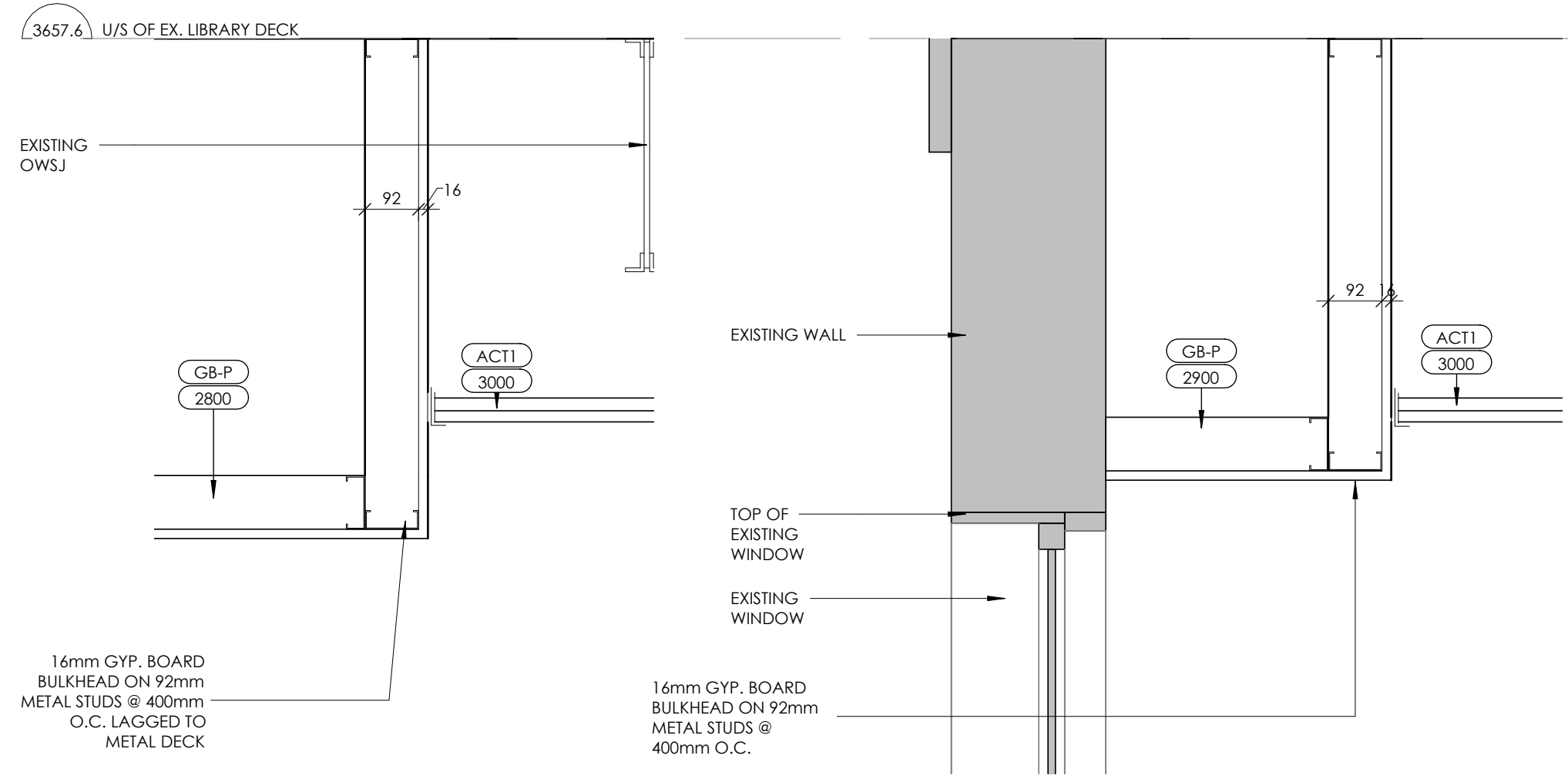
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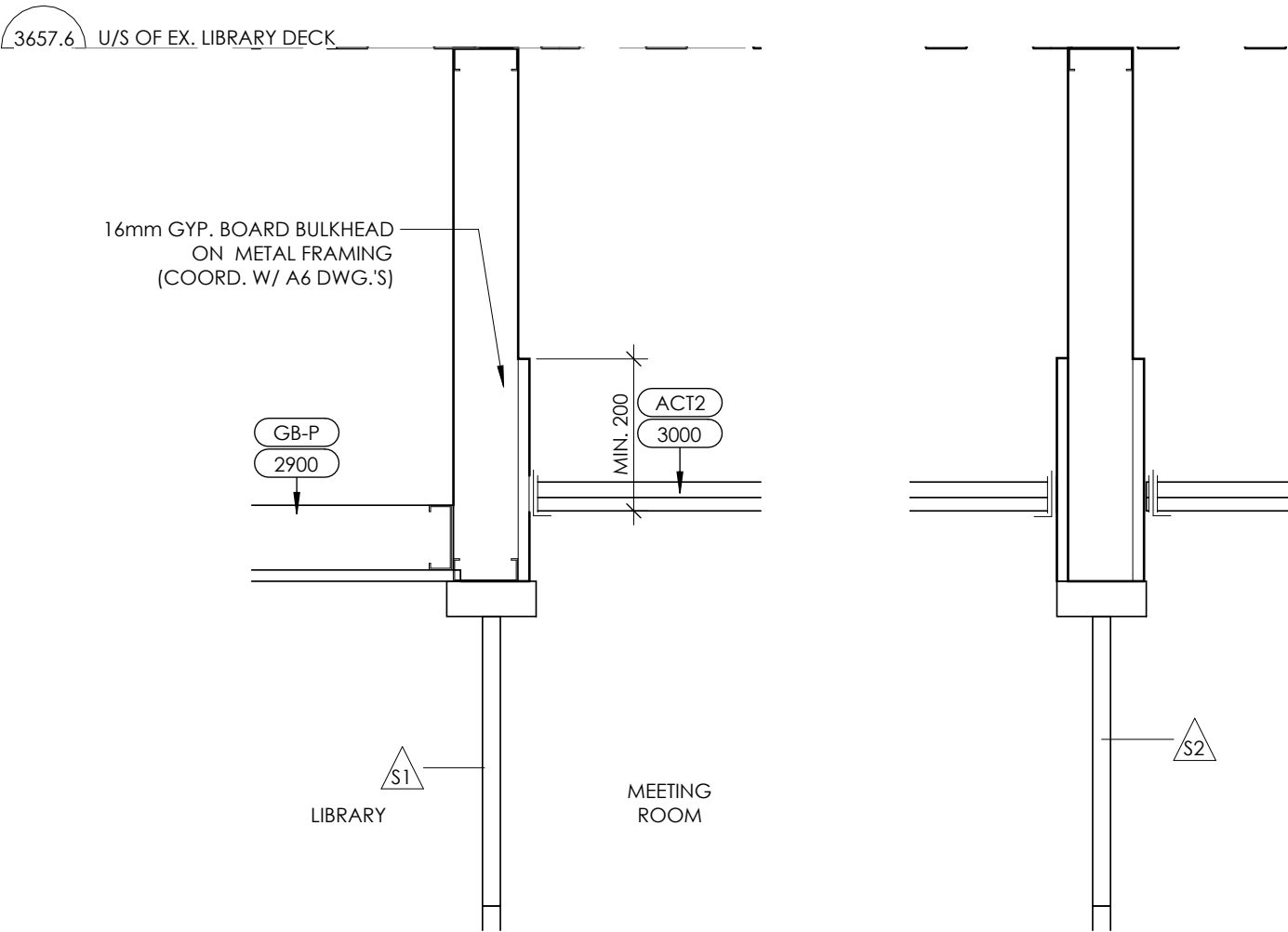
RENO SECTION - VESTIBULE 1 & 2 / LIBRARY WALL

A4.3

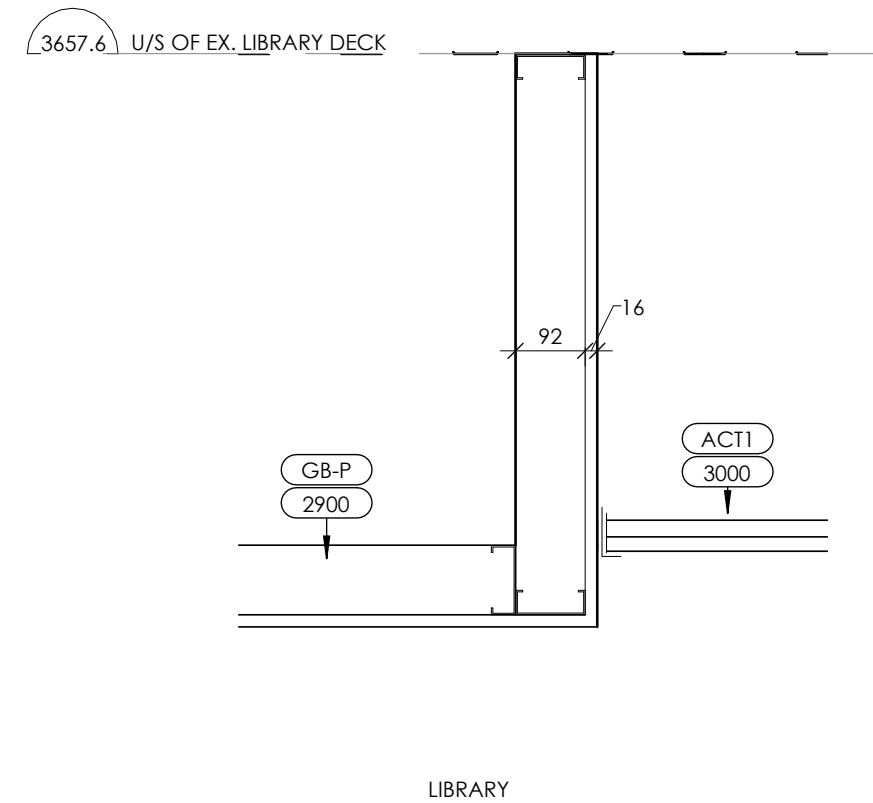


3 CEILING DETAIL (1:10)

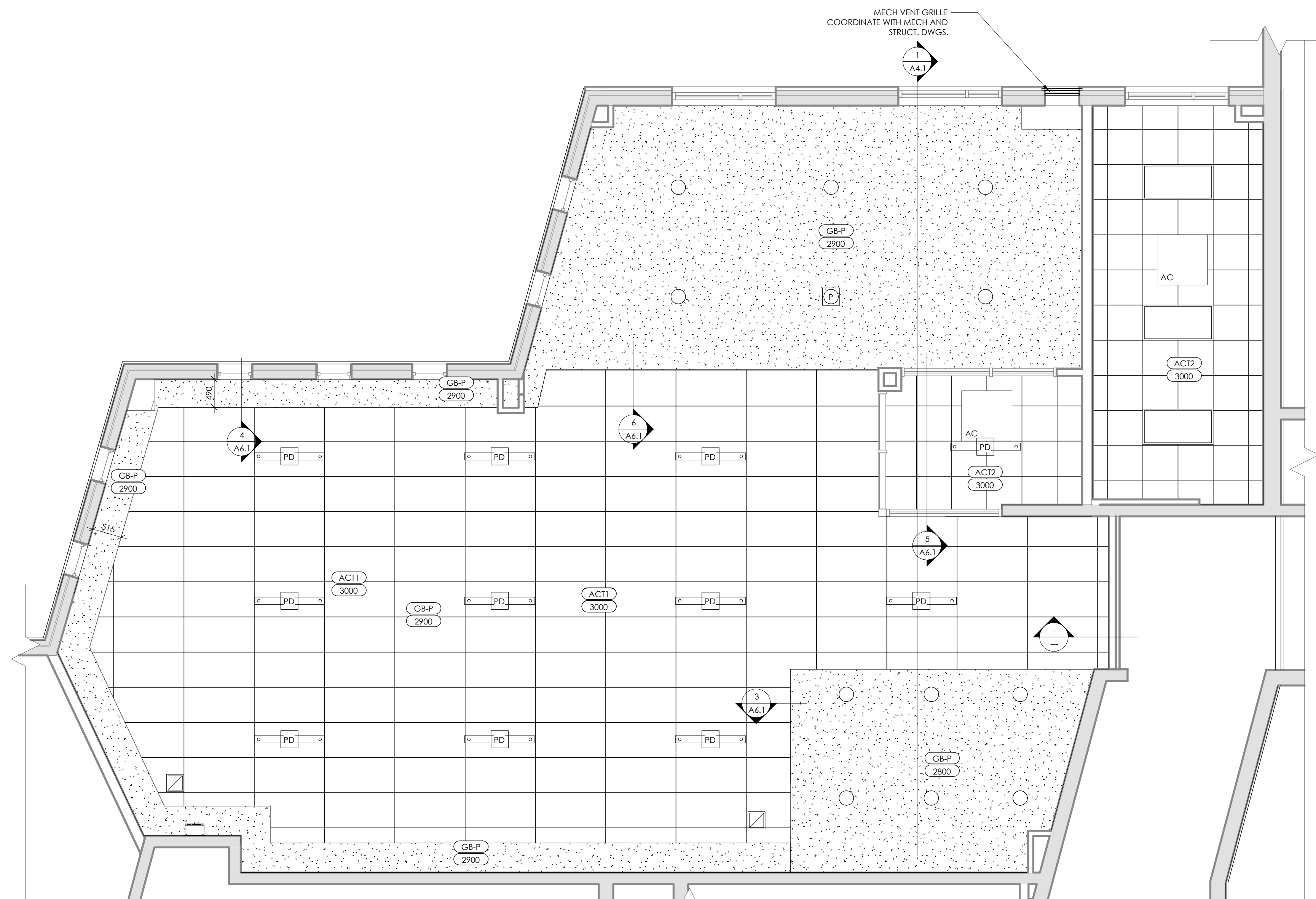
4 CEILING DETAIL (1:10)



5 CEILING DETAIL (1:10)



6 CEILING DETAIL (1:10)



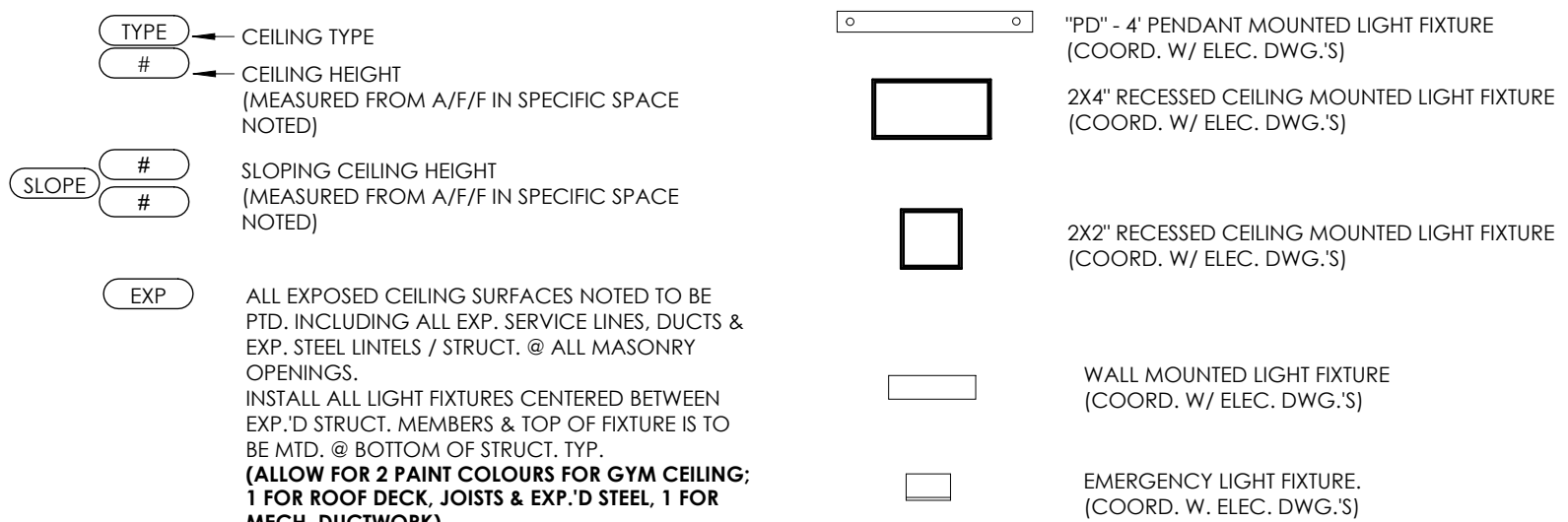
1 LIBRARY REFLECTED CEILING PLAN (1:50)

NOTES: THIS IS FOR REFERENCE ONLY. ALL CEILING LIGHT FIXTURES ARE REFER TO ELECTRICAL DWGS.

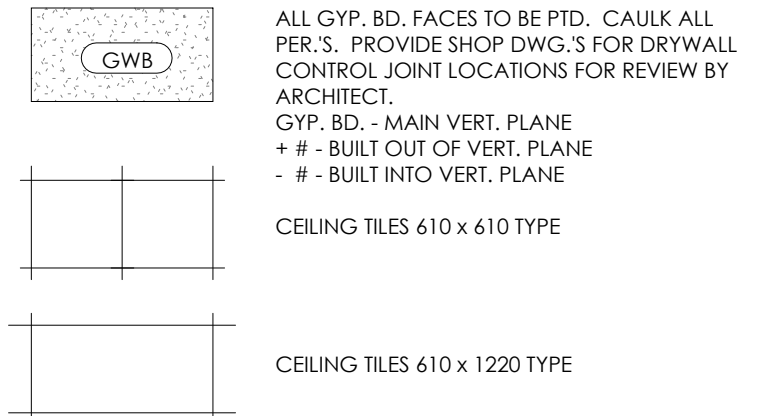
GENERAL NOTES

- COORD. W/ MECH. & ELEC. DWG.S FOR ALL CEILING MTD. OR RECESSED ITEMS
- FINAL LOCATION OF ALL MECH. & ELEC. FIXTURES TO BE CONFIRMED PRIOR TO INSTALL.
- COORD. ALL MECH. & ELEC. ITEMS W/ ARCH. DWGS. & REPORT ANY DISCREPANCIES PRIOR TO ANY WORK
- UNLESS DIMENSIONED OTHERWISE, CEILING TILES TO BE STARTED AS SHOWN FROM THE CENTER POINT OF ROOMS TYP.
- ALL INT. CEILING BULKHEAD SYSTEMS TO BE CONSTRUCTED W/ METAL FRAMING TYP.
- ALL GYP BD. CEILINGS ARE TO RECEIVE 13mm RESILIENT CHANNELS @ 400mm o/c MAX. & ANY ASSOCIATED BLOCKING TO ACHIEVE A UNIFORM / FLAT CEILING SURFACE
- SHOP DWG.S TO BE IN DIMENSION UNITS AS ILLUSTRATED ON THIS DWG. OR THEY WILL BE REJECTED (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE); ALSO AIR GRILLES ARE TO REFERENCE THE RM. # THEY ARE INSTALLED (& ANY OTHER ITEMS TYP.)
- NOT ALL EXP.'D MECH. EQUIP. / DUCTING IS SHOWN, ONLY DIFFUSER OR OTHER IMPORTANT ITEM INFO., COORD. W/ MECH. DWG.S FOR REMAINING TYP.
- REFER TO & COORD. W. MECH. DWG.S FOR LOCATION OF DIFFUSERS AND DUCTWORK.
- REFER TO & COORD. W. ELEC. DWG.S FOR LOCATION AND TYPES OF LIGHT FIXTURES.

REFLECTED CEILING PLAN LEGEND



HATCH IDENTIFICATION MARKER LEGEND



Revision Schedule		
Particular	Date	No.
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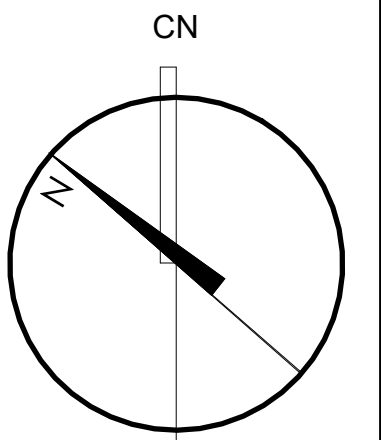
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KITCHENER, ON
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A6.1

Revision Schedule

Particular	Date	No.
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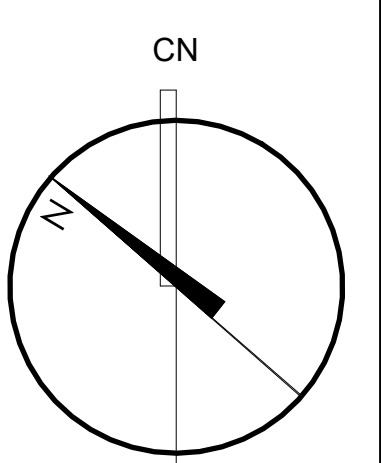
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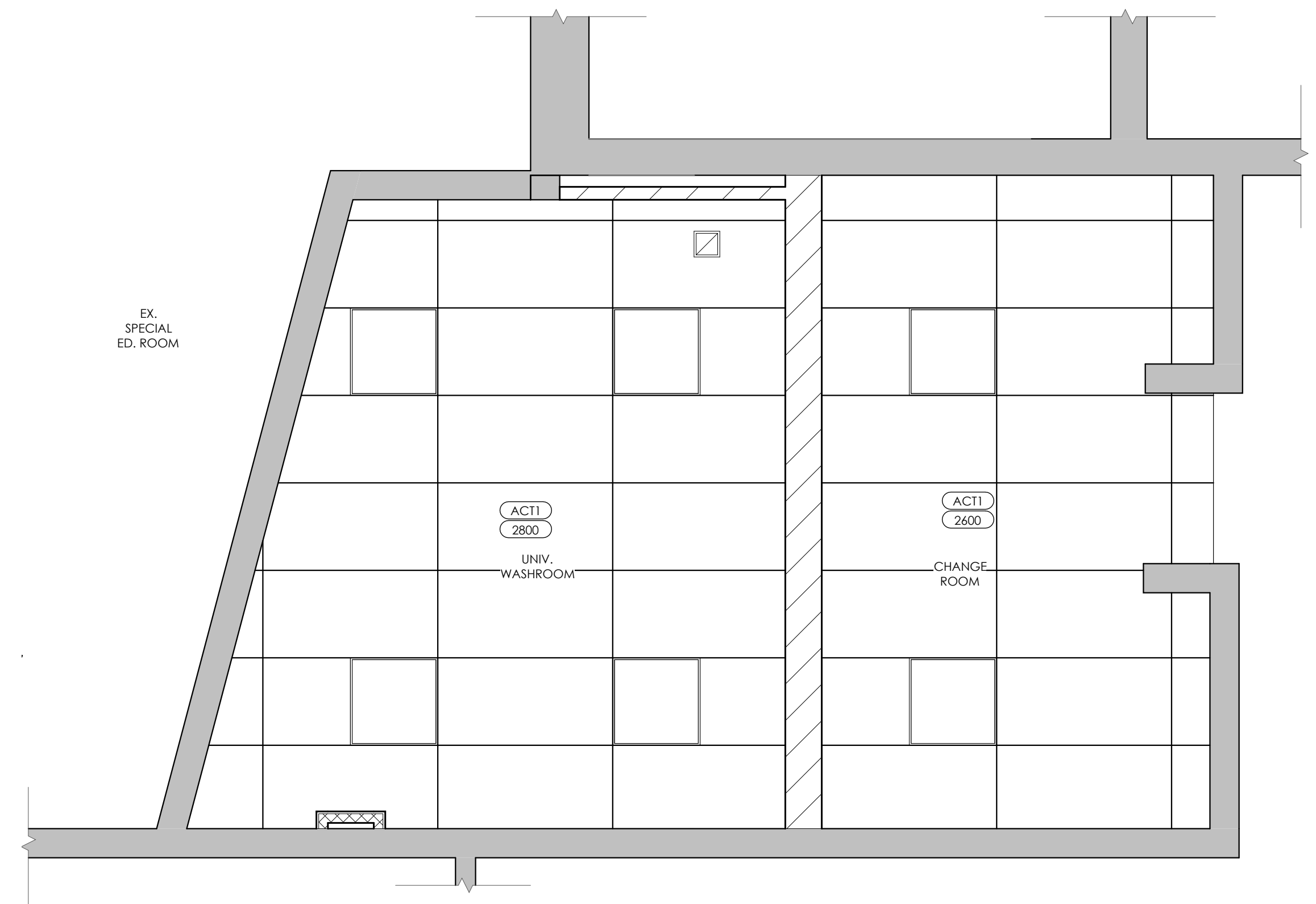
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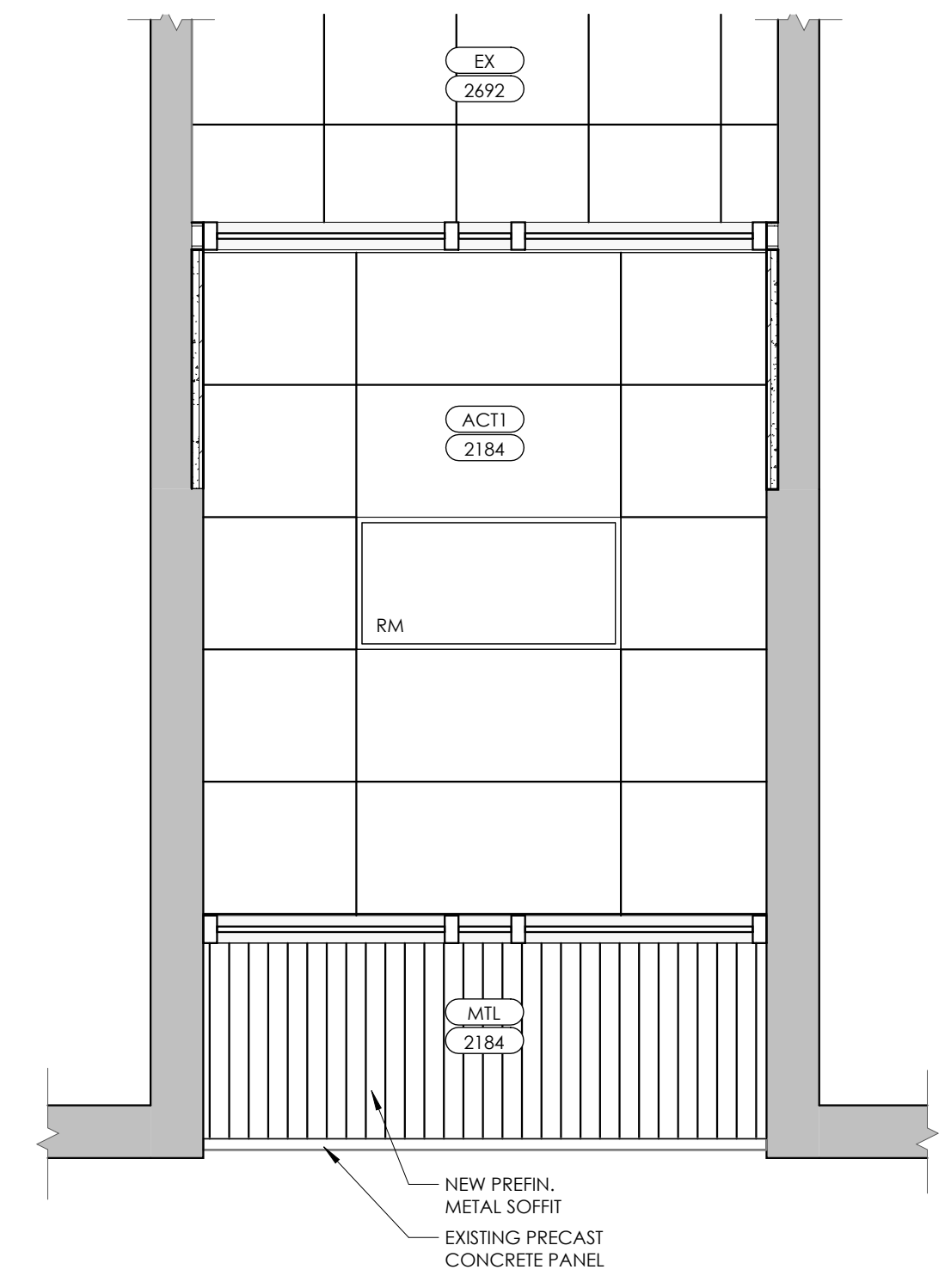
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A6.2

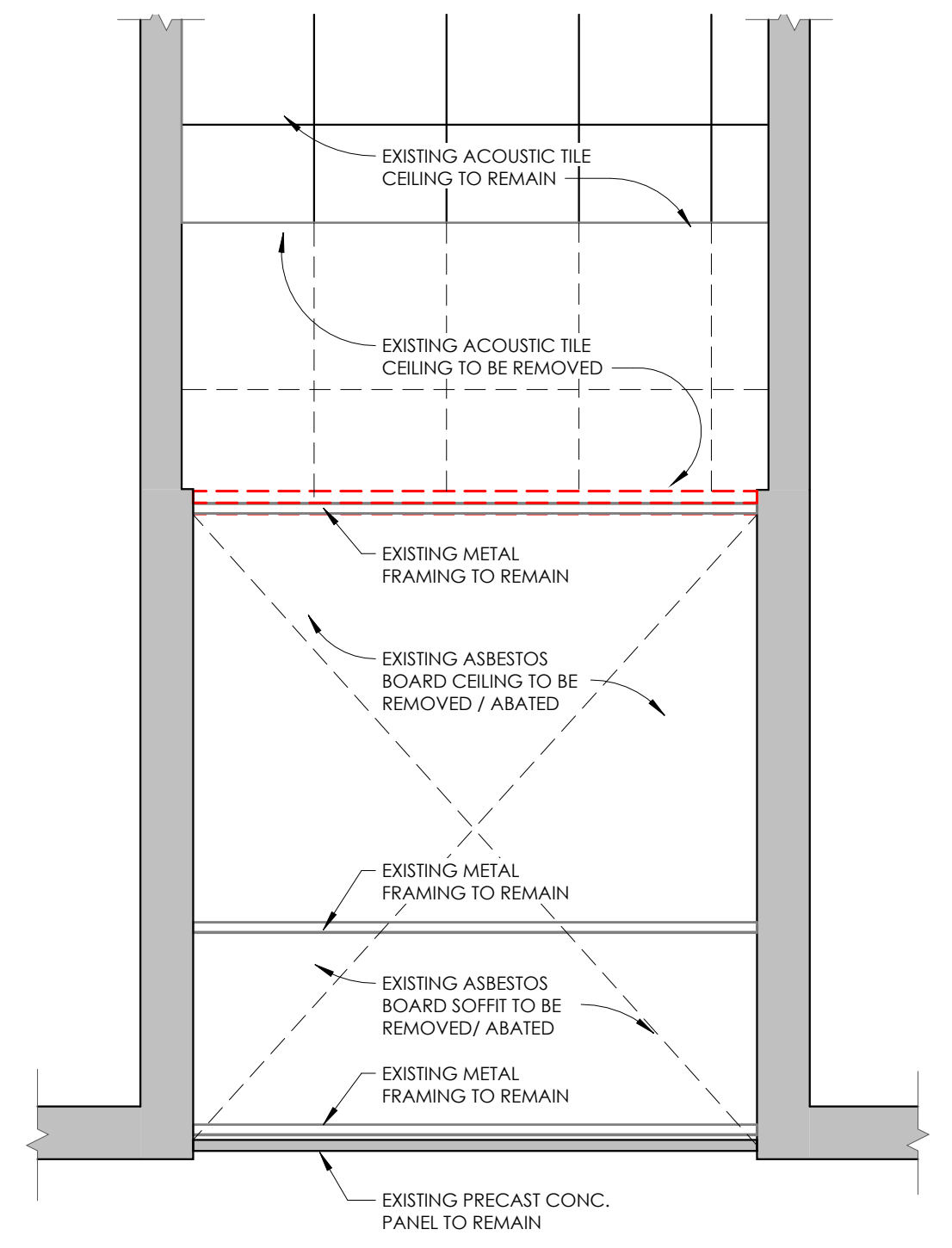
Drawn by: Author Checked by: Check@cale: As indicated



1 REFLECTED CEILING PLAN - BF WASHROOM
A6.2 0 300 600 1500mm (1 : 30)



2 REFLECTED CEILING PLAN - VESTIBULE 1 & 2
A6.2 0 300 600 1500mm (1 : 30)



3 DEMOLITION REFLECTED CEILING PLAN - VESTIBULE 1 & 2
A6.2 0 300 600 1500mm (1 : 30)

NOTES: THIS IS FOR REFERENCE ONLY.
ALL CEILING LIGHT FIXTURES ARE REFER TO ELECTRICAL DWGS.

GENERAL NOTES

- COORD. W/ MECH. & ELEC. DWG.'S FOR ALL CEILING MTD. OR RECESSED ITEMS
- FINAL LOCATION OF ALL MECH. & ELEC. FIXTURES TO BE CONFIRMED PRIOR TO INSTALL.
- COORD. ALL MECH. & ELEC. ITEMS W/ ARCH. DWGS. & REPORT ANY DISCREPANCIES PRIOR TO ANY WORK.
- UNLESS DIMENSIONED OTHERWISE, CEILING TILES TO BE STARTED AS SHOWN FROM THE CENTER POINT OF ROOMS TYP.
- ALL INT. CEILING BULKHEAD SYSTEMS TO BE CONSTRUCTED W/ METAL FRAMING TYP.
- ALL GYP BD. CEILINGS ARE TO RECEIVE 13mm RESILIENT CHANNELS @ 400mm o/c MAX. & ANY ASSOCIATED BLOCKING TO ACHIEVE A UNIFORM / FLAT CEILING SURFACE
- SHOP DWG.'S TO BE IN DIMENSION UNITS AS ILLUSTRATED ON THIS DWG. OR THEY WILL BE REJECTED (IMPERIAL & METRIC BOTH SHOWN IS ACCEPTABLE); ALSO AIR GRILLES ARE TO REFERENCE THE RM. # THEY ARE INSTALLED (& ANY OTHER ITEMS TYP.)
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- REFER TO & COORD. W. MECH. DWG.'S FOR LOCATION OF DIFFUSERS AND DUCTWORK.
- REFER TO & COORD. W. ELEC. DWG.'S FOR LOCATION AND TYPES OF LIGHT FIXTURES.

REFLECTED CEILING PLAN LEGEND

- TYPE → CEILING TYPE
- # → CEILING HEIGHT (MEASURED FROM A/F/F IN SPECIFIC SPACE NOTED)
- SLOPE # → SLOPING CEILING HEIGHT (MEASURED FROM A/F/F IN SPECIFIC SPACE NOTED)
- EXP → ALL EXPOSED CEILING SURFACES NOTED TO BE PTD, INCLUDING ALL EXP. SERVICE LINES, DUCTS & EXP. STEEL LINTELS / STRUCT. @ ALL MASONRY OPENINGS.
INSTALL ALL LIGHT FIXTURES CENTERED BETWEEN EXP.'D STRUCT. MEMBERS & TOP OF FIXTURE IS TO BE MTD. @ BOTTOM OF STRUCT. TYP.
(ALLOW FOR 2" PAINT COLOURS FOR GYM CEILING- 1" FOR ROOF DECK, JOISTS & EXP.'D STEEL 1" FOR MECH. DUCTWORK)

- "PD" - 4" PENDANT MOUNTED LIGHT FIXTURE (COORD. W/ ELEC. DWG.'S)
- 2X4" RECESSED CEILING MOUNTED LIGHT FIXTURE (COORD. W/ ELEC. DWG.'S)
- 2X2" RECESSED CEILING MOUNTED LIGHT FIXTURE (COORD. W/ ELEC. DWG.'S)
- WALL MOUNTED LIGHT FIXTURE (COORD. W/ ELEC. DWG.'S)
- EMERGENCY LIGHT FIXTURE. (COORD. W. ELEC. DWG.'S)

HATCH IDENTIFICATION MARKER LEGEND

- GWB → ALL GYP. BD. FACES TO BE PTD. CAULK ALL PER.'S. PROVIDE SHOP DWG.'S FOR DRYWALL CONTROL JOINT LOCATIONS FOR REVIEW BY ARCHITECT.
GYP. BD. - MAIN VERT. PLANE
+ # - BUILT OUT OF VERT. PLANE
- # - BUILT INTO VERT. PLANE
- → CEILING TILES 610 x 610 TYPE
- → CEILING TILES 610 x 1220 TYPE
- → SUPPLY DIFFUSER (COORD. W. MECH. DWGS.)
- → RETURN GRILLE/EXHAUST VENT. (COORD. W. MECH. DWGS.)

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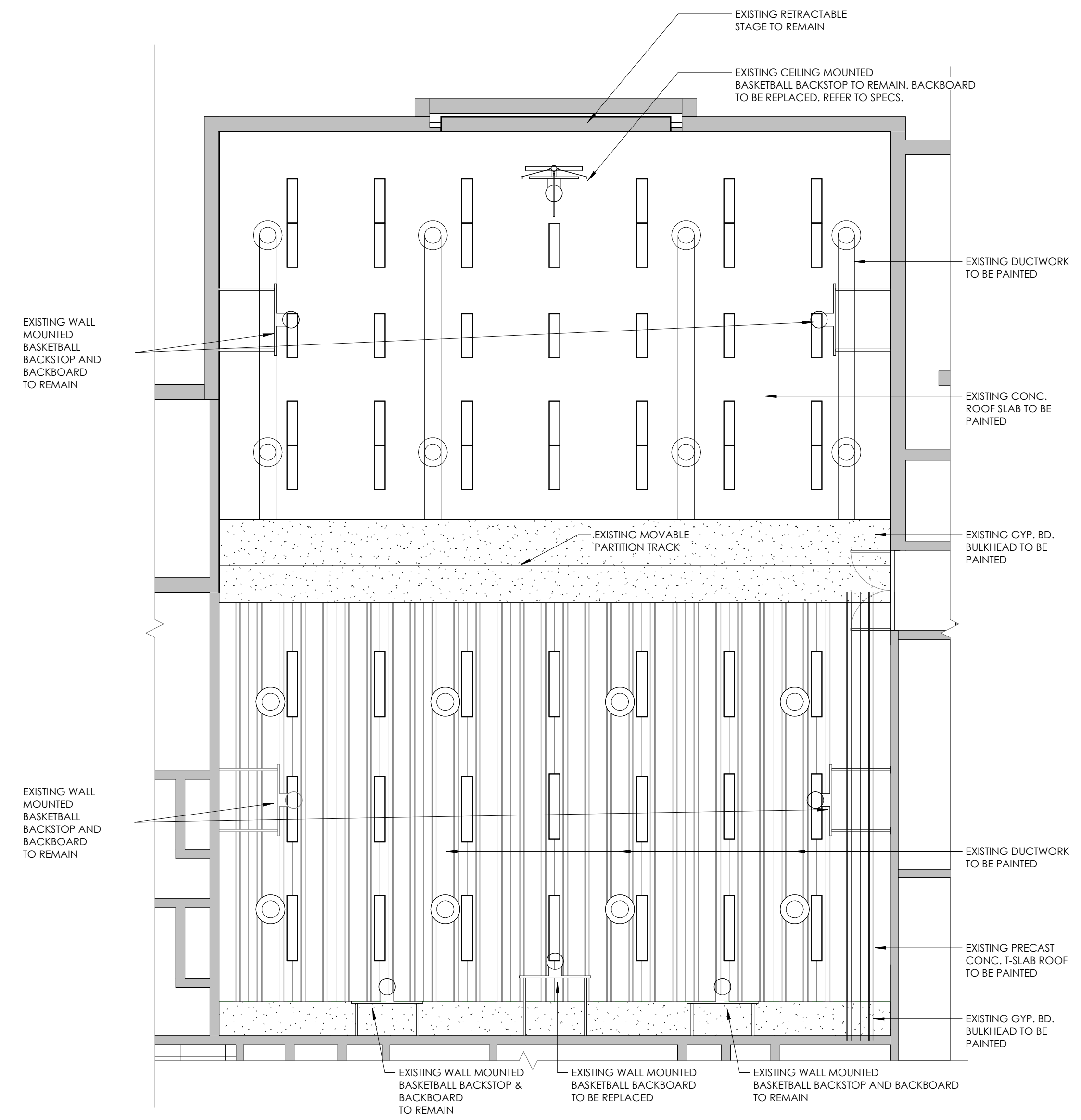


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1 REFLECTED CEILING PLAN - GYM
A6.3 (1 : 100)

GENERAL NOTES

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- NOT ALL EXP.'D MECH. EQUIP. / DUCTING IS SHOWN, ONLY DIFFUSER OR OTHER IMPORTANT ITEM INFO. COORD. W/ MECH. DWG.'S FOR REMAINING TYP.
- EXISTING LIGHT FIXTURES, DIFFUSERS AND DUCTWORK TO REMAIN

REFLECTED CEILING PLAN LEGEND

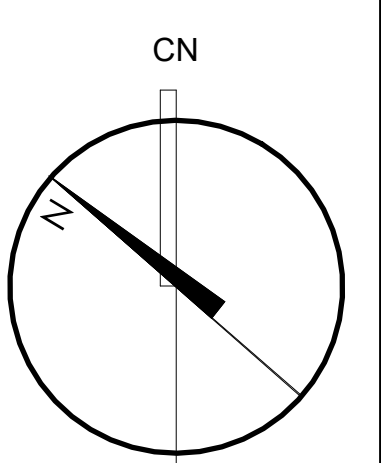
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- #** → CEILING HEIGHT (MEASURED FROM A/F/F IN SPECIFIC SPACE NOTED)
- SLOPE** → SLOPING CEILING HEIGHT (MEASURED FROM A/F/F IN SPECIFIC SPACE NOTED)
- EXP** → ALL EXPOSED CEILING SURFACES NOTED TO BE PTD. INCLUDING ALL EXP. SERVICE LINES, DUCTS & EXP. STEEL LINTELS / STRUCT. @ ALL MASONRY OPENINGS. (ALLOW FOR 2 PAINT COLOURS FOR GYM CEILING: 1 FOR ROOF DECK, 1 FOR MECH. DUCTWORK)

HATCH IDENTIFICATION MARKER LEGEND

- EXISTING SURFACE MOUNTED LIGHT FIXTURE TO REMAIN
- EMERGENCY LIGHT FIXTURE
- EXISTING SUPPLY DIFFUSER
- ALL EXISTING GYP. BD. FACES TO BE PAINTED
- EXISTING PRECAST CONC. T-SLAB ROOF TO BE PAINTED

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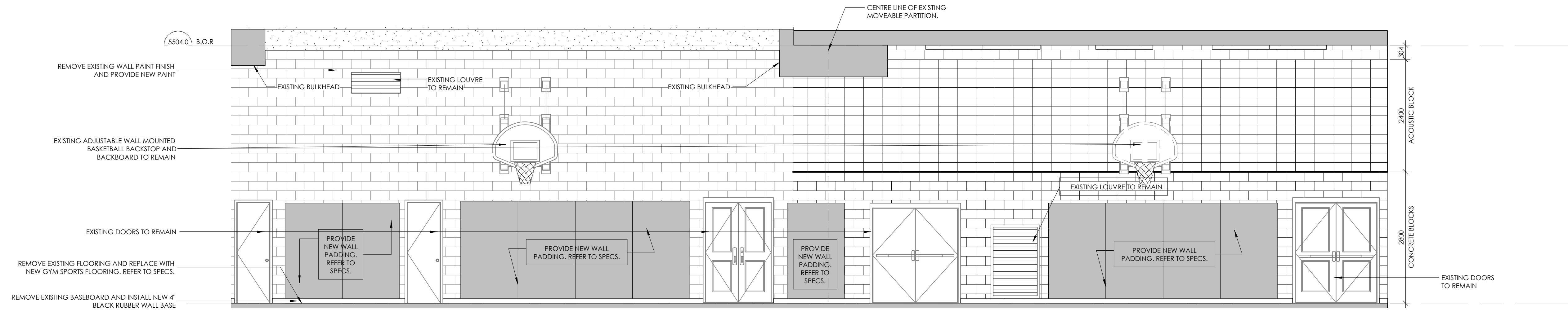
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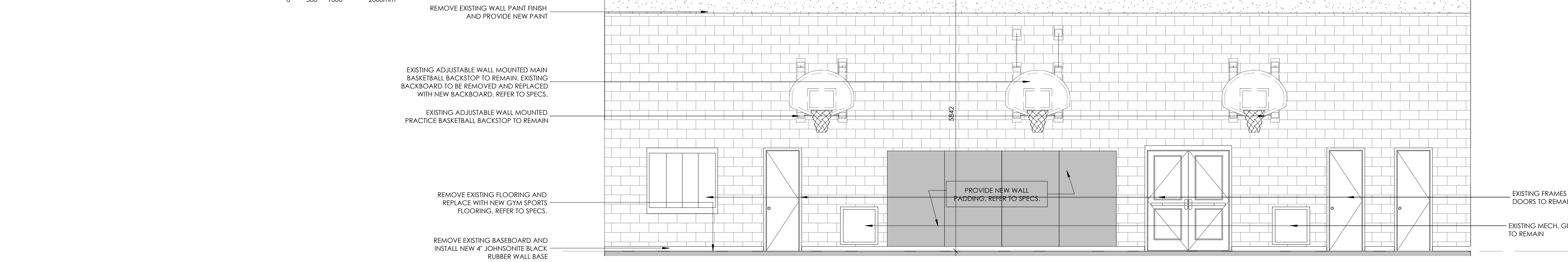
A6.3

GYMNASIUM REFLECTED CEILING PLAN

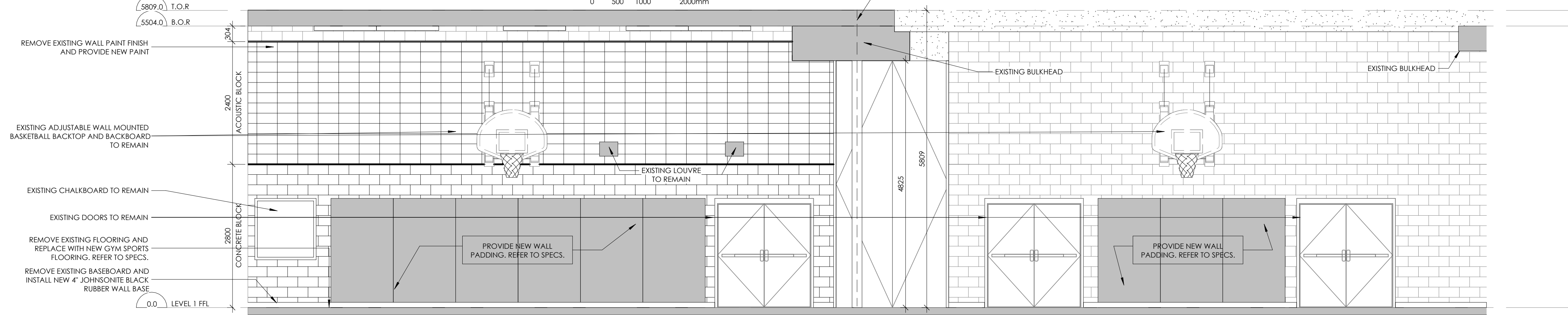
ALL INDICATED DIMENSIONS ARE FOR REFERENCE AND ARE APPROXIMATE. SITE VERIFY ALL DIMENSIONS



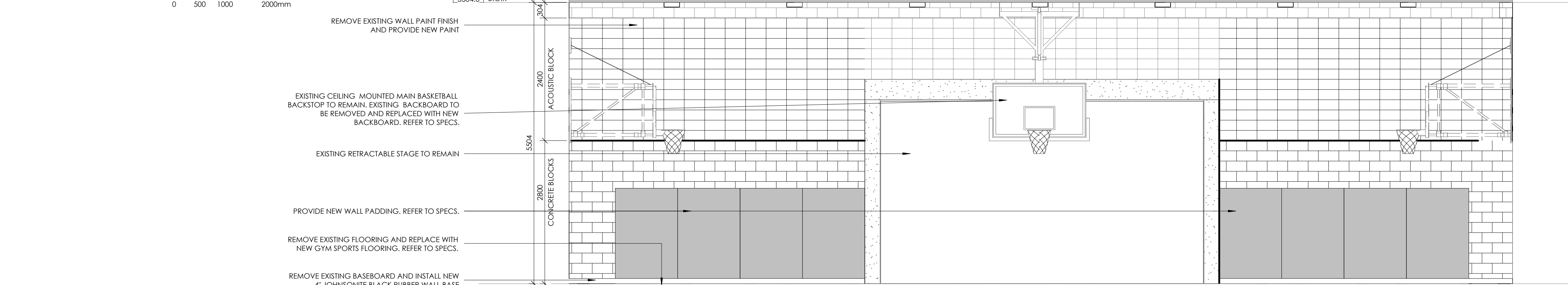
4 WEST INTERIOR ELEVATION (1:50)



3 SOUTH INTERIOR ELEVATION (1:50)



2 EAST INTERIOR ELEVATION (1:50)



1 NORTH INTERIOR ELEVATION (1:50)

Revision Schedule		
Particular	Date	No.
ISSUED FOR TENDER	2023.03.06	1

ALL DIMENSIONS MARKED TO AND FROM EXISTING BUILDING ELEMENTS ARE APPROXIMATE AND MUST BE CONFIRMED ON SITE BEFORE STARTING CONSTRUCTION STARTS.

MILLWORK CABINETS ARE TO BE EXTENDED AS REQUIRED TO BE CONTINUOUS THROUGHOUT ALL WALLS WHERE MILLWORK IS REQUIRED. ALL MILLWORK DIMENSIONS ARE INDICATIVE.

MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAIN WALLS AND SCREENS REQUIRED FOR THIS RENOVATION BEFORE ORDERING AND ASSEMBLING



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PROJECT:
22057
RENOVATION

153 MONTCALM DRIVE
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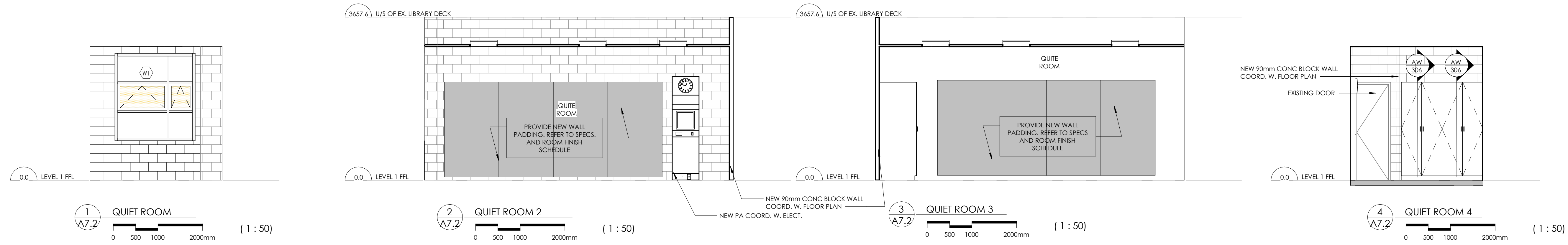


INTERIOR ELEVATIONS - GYMNASIUM

A7.1

Autodesk Docs://Crestview PS Reno/22057 CRESTVIEW ARCH 22.rvt

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MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAIN WALLS AND SCREENS REQUIRED FOR THIS RENOVATION BEFORE ORDERING AND ASSEMBLING.

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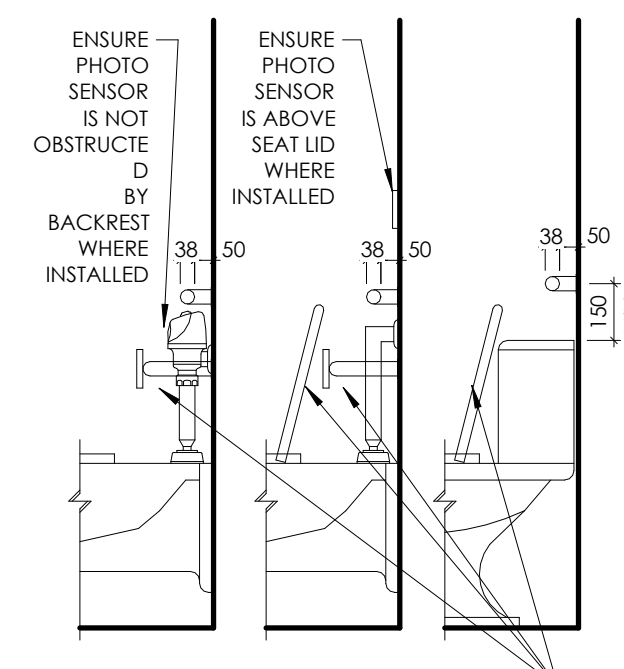
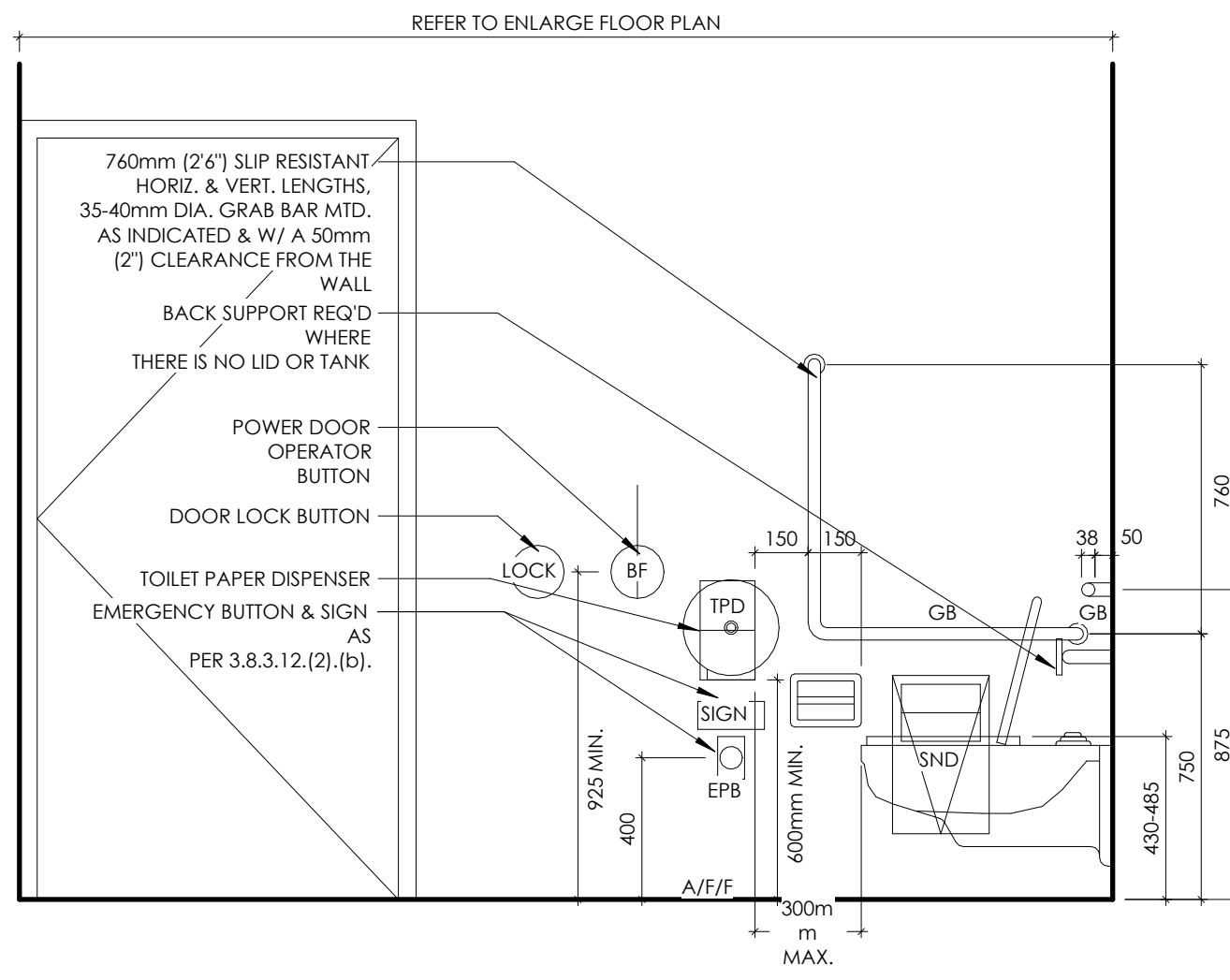


QUIET ROOM INTERIOR ELEV.

A7.2

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Revision Schedule		
Particular	Date	No.
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3.8.3.3.1. Barrier Free Door Notes (O.B.C. 3.8.3.3.1):

(1) Every doorway that is located in a barrier-free path of travel shall have a clear width of not less than 860 mm when the door is in the open position, (FROM LATCH SIDE OF DOORS).

(2) Door opening devices that are the only means of operation shall:

(a) be designed to be operable using a closed fist, and

(b) be mounted not less than 900 mm and not more than 1 100 mm above the finished floor.

(3) A door shall be equipped with a power door operator where the door serves:

(a) a washroom for public use required to be barrier-free,

2012 OBC WRITINGS - JAN 1, 2022 3.8.3.11. Lavatories, Mirrors and Washroom Accessories (See Appendix A.)

(1) A washroom described in Sentence 3.8.2.3.(2), (3) or (4) shall be provided with a lavatory that shall:

(a) be located so that the distance between the centre line of the lavatory and the side wall is not less than 460 mm,

(b) have a rim height not more than 865 mm above the finished floor,

(c) have a clearance beneath the lavatory not less than:

(i) 920 mm wide,

(ii) 735 mm high at the front edge,

(iii) 685 mm high at a point 200 mm back from the front edge, and

(iv) 350 mm high over the distance from a point 280 mm to a point 430 mm back from the front edge.

(2) Appendix A.

(d) have insulated pipes where they would otherwise present a burn hazard or have water supply temperature limited to a maximum of 43°C. (See Appendix A.)

(e) be equipped with faucets that:

(i) operate automatically or comply with 3.7.4.2.(1)(i)(ii) and (ii), and

(ii) are located so that the distance from the centre line of the faucet to the edge of the basin or, where the basin is mounted in a vanity, to the front edge of the vanity, is not more than 485 mm.

(f) have a minimum 1 370 mm deep floor space to allow for a forward approach, of which a maximum of 500 mm can be located under the lavatory. (See Appendix A.)

(g) have a soap dispenser that:

(i) operates automatically or is operable using a closed fist and with a force of not more than 22.2 N, and

(ii) is located not more than 1 100 mm above the finished floor, within 500 mm from the front of the lavatory, and

(h) have a towel dispenser or other hand drying equipment that is:

(i) located to be accessible to persons in wheelchairs,

(ii) located so that the dispensing height is not more than 1 200 mm above the finished floor,

(iii) operable with one hand, and

(iv) located not more than 610 mm, measured horizontally, from the edge of the lavatory.

(3) If mirrors are installed in a washroom described in Sentence 3.8.2.3.(2), (3) or (4), at least one mirror shall be:

(a) installed above a lavatory required by Sentence (1), and

(b) mounted with its bottom edge not more than 1 000 mm above the finished floor or inclined to the vertical to be usable by a person in a wheelchair.

(3) If dispensing or hand-operated washroom accessories, other than those located in water closet stalls or enclosures and those described in Clause (1)(g), are provided, they shall be mounted so that:

(a) the dispensing height is not less than 900 mm and not more than 1 200 mm above the finished floor,

(b) the controls or operating mechanisms are mounted not less than 900 mm and not more than 1 200 mm above the finished floor, and

(c) a minimum 1 370 mm deep floor space is provided in front of the controls or operating mechanisms to allow for a front approach.

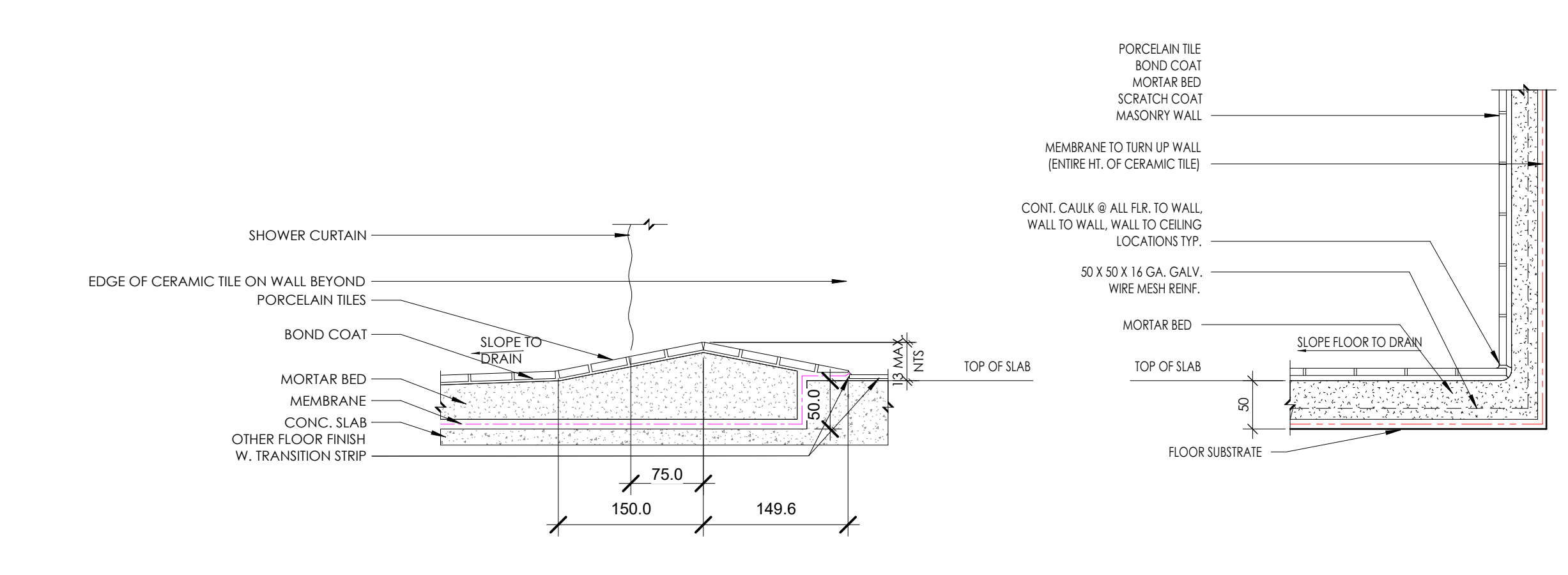
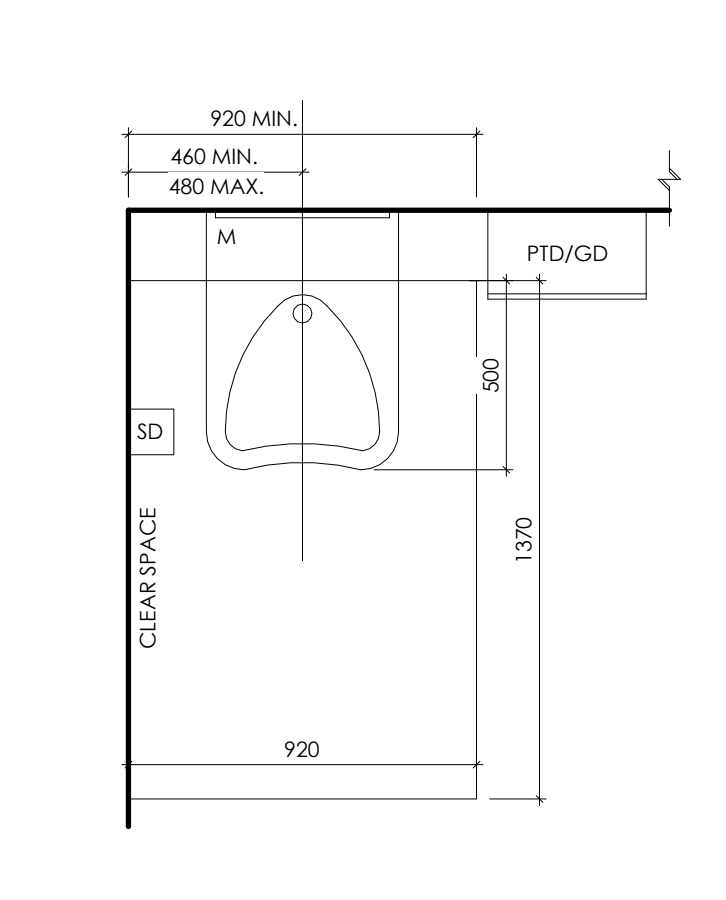
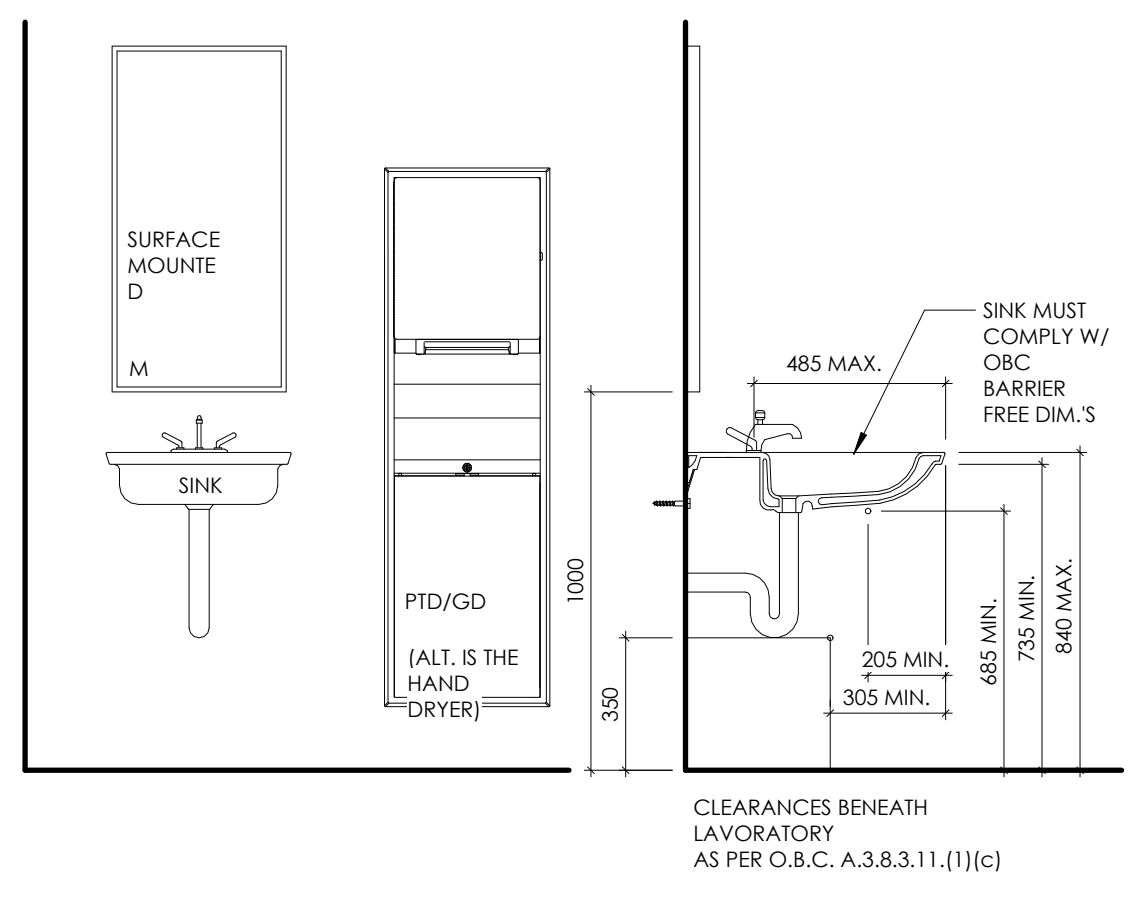
(4) Where a shelf is installed above a lavatory required by Sentence (1), it shall:

(a) be located not more than 200 mm above the top of the lavatory and not more than 1 100 mm above the finished floor, and

(b) project not more than 100 mm from the wall.

(5) A washroom described in Sentence 3.8.2.3.(6) shall be provided with a lavatory conforming to Clauses (1)(e), (g) and (h).

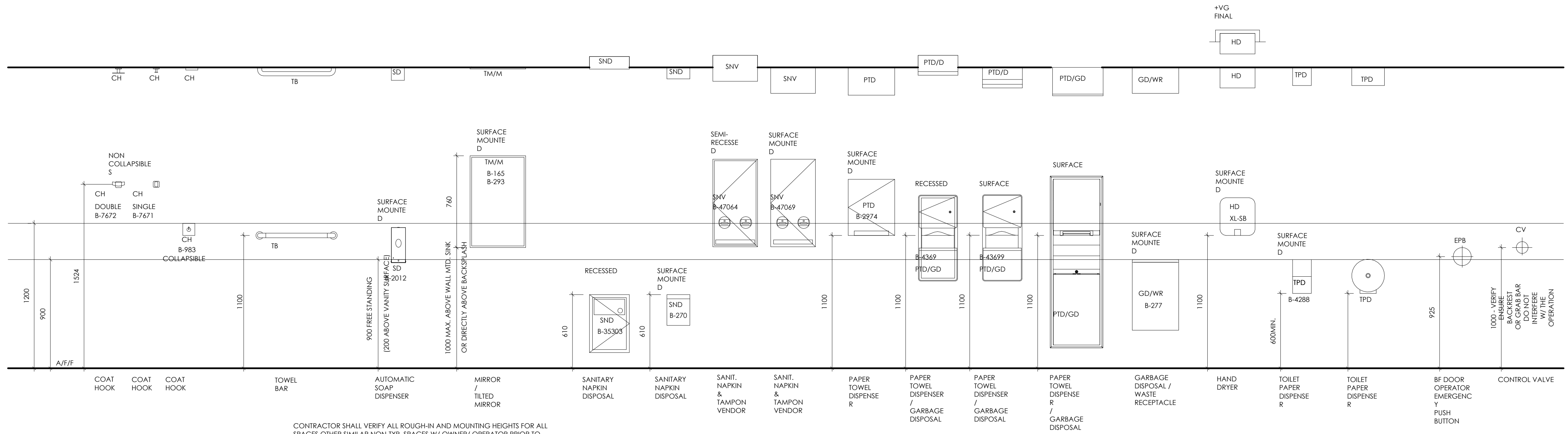
3 TYP. BF WASHROOM ELEVATION (1:20)



6 TYP. BF LAVATORY ELEVATION AND SECTION (1:20)

4 TYP. BF LAVATORY PLAN (1:20)

2 TYP. SHOWER DEPRESSED FLOOR (1:5)



7 TYP. WASHROOM ACCESSORIES (1:20)

CONTRACTOR SHALL VERIFY ALL ROUGH-IN AND MOUNTING HEIGHTS FOR ALL SPACES OTHER THAN NON-TYP. SPACES W/ OWNER/ OPERATOR PRIOR TO CONST. THE ABOVE NOTED HEIGHTS SHALL BE CONFIRMED TO BE IN ACCORDANCE W/ THE LATEST OBC PRIOR TO ROUGH-IN & INSTALL.



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BARRIER FREE WSHRM TYP. DETAILS

DOOR SCHEDULE

NO.	LOCATION	DOOR					FRAME					FIRE RATING FOR WALLS (LISTED IN MINUTES - COORD. W/ FIRE SEPARATION DRAWINGS)	GLASS	STC RATING	REMOVABLE MILLION	GRILLE	UNIVERSAL W/ DOOR PACKAGE	POWER DOOR OPERATOR	POWER DOOR OPENER BUTTON	PUSH TO LOCK BUTTON	PUSH TO UNLOCK BUTTON	HOLD OPEN	ELECTRIC STRIKE	DOOR CLOSER	LOCKSET	PANIC HARDWARE	CARD READER	ELECTROMECHANICAL LOCK	INTERCOM	MOTION SENSOR	DOOR STATUS SWITCH	WEATHER STRIPPING	NOTES	
		TYPE	MATL.	FIN.	TYPE	MATL.	FIN.	HEAD	JAMB	DEPTH																								
D1	VESTIBULE	2 - 1050 x 2150	E	AL	ANO	F3	AL	ANO	50	50	152		T																					
D2	VESTIBULE	2 - 1050 x 2150	F	AL	ANO	F3	AL	ANO	50	50	152		T																					
D3	BF WASHROOM	1050 x 2150	A	HM	P	F1	HM	P	50	50	152	00				*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*		
D3A	BF WASHROOM	1050 x 2150	A	HM	P	F1	HM	P	50	50	152	00				*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*		
D4	LIBRARY	950 x 2150	F	AL	ANO	F2	AL	ANO	50	50	152		T																					
D5	MEETING ROOM	950 x 2150	A	WSC	PLAM		AL	ANO	50	50	152																							

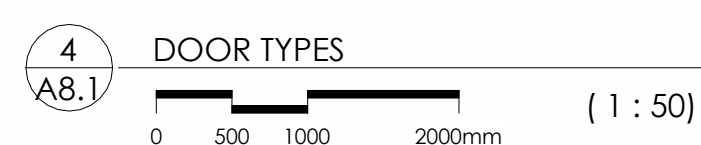
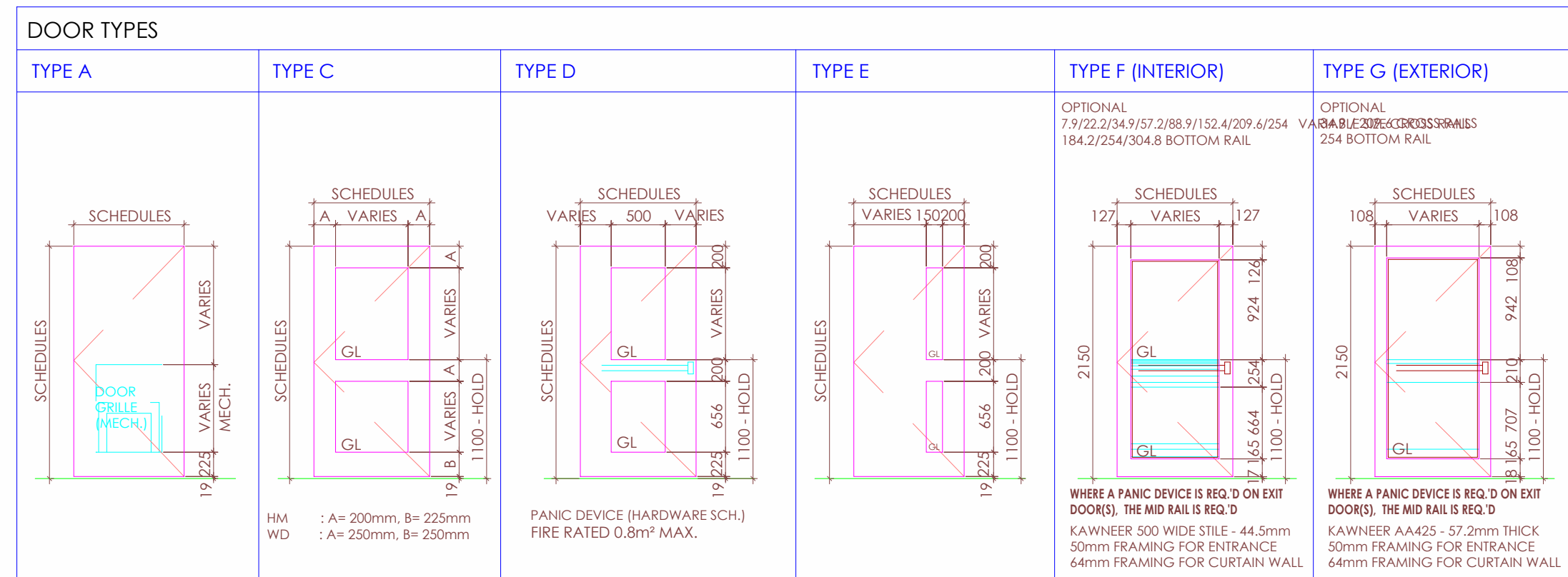
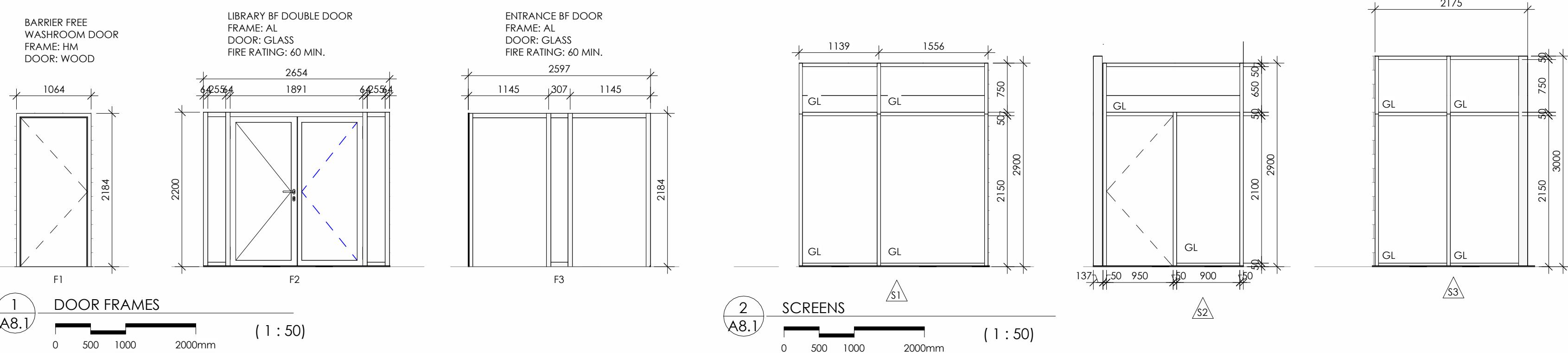
NOTES:
 UNIVERSAL WASHROOM DOOR PACKAGE TO INCLUDES:
 • POWER DOOR OPERATOR
 • OCCUPIED LIGHT
 • POWER DOOR OPENER BUTTONS
 • PUSH TO LOCK
 • PUSH TO UN-LOCK
 • ELECTRIC STRIKE
 • EMERGENCY CALL SYSTEM WITH AUDIBLE & VISUAL SIGNAL DEVICES INSIDE & OUTSIDE OF THE WASHROOM
 • EMERGENCY SIGN

SCREEN SCHEDULE

ROOM #	LOCATION	TYPE	MATL.	FIN.	HEAD	JAMB	DEPTH	FIRE RATING FOR WALLS (LISTED IN MINUTES - COORD. W/ FIRE SEPARATION DWGS)	GLASS	NOTES
	MEETING ROOM	S1	AL	P	50	50	222	00	T	
	MEETING ROOM	S2	AL	P	50	50	222	00	T	
	MEETING ROOM	S3	AL	P	50	50	222	00	T	

WINDOW SCHEDULE

NO.	LOCATION	TYPE	MATL.	FIN.	HEAD	JAMB	DEPTH	FIRE RATING FOR WALLS (LISTED IN MINUTES - COORD. W/ FIRE SEPARATION DWGS)	GLASS	NOTES
W1	LIBRARY	STOREFRONT	AL	ANO	50	50	114		T	
W2	LIBRARY	STOREFRONT	AL	ANO	50	50	114		T	



DOOR & FRAME / SCREEN SCH. NOTES

IT IS THE RESPONSIBILITY OF THE DOOR, FRAME & HARDWARE MANUFACTURER TRADES TO CO-ORDINATE & EXECUTE THEIR WORK TOGETHER.

DIMENSIONS INDICATED ARE R.O. - VERIFY ALL OPENING DIMENSIONS ON SITE PRIOR TO FABRICATION & ORDERING

COORD. WITH TYPICAL DOOR & WINDOW DETAILS PROVIDED

1. COORD. W/ FLOOR PLANS ON LIFE SAFETY DRAWING(S) FOR FIRE SEPARATIONS REQUIRING FIRE RATED DOORS.
 2HR. FIRE SEPARATION TO HAVE 1 1/2 HR. FIRE RATED DOORS/FRAMES.
 1HR. FIRE SEPARATIONS TO HAVE 3/4 HR. FIRE RATED DOORS/FRAMES.
 1/2 HR. FIRE SEPARATIONS TO HAVE 20 MIN. FIRE RATED DOORS/FRAMES.

2. ALL FIRE RATED DOORS & SCREENS W/ GLAZING "GL" TO HAVE "FIRELITE" GLAZING AS REQ'D INCLUDING ALL EXPOSURE SITUATIONS, ALL NON RATED GLAZING TO BE TEMPERED TYP. ALL EXTERIOR DOOR GLAZING TO BE LAMINATED SAFETY GLASS. ALL EXT. DOORS & SCREENS TO HAVE INSULATED DOUBLE GLAZING, INT. SINGLE GLAZING.

3. ALL FRAMES FOR CONC. BLOCK WALLS & GYP. BD. WALLS / PARTITIONS SHALL BE WRAP AROUND TYPE FOR WALL THICKNESS UP TO 190mm (TO BE SHIM / TIGHT FIT ON WALL SYSTEM THAT THEY ARE INSTALLED ON / IN) OVER 190mm WALLS TO RECEIVE 172mm FRAMES.
 (COORD. W/ FLR. PLANS FOR WALL THICKNESS & LOCATIONS)
 (COORD. W/ A8 DETAILS)

GENERAL NOTES:

COORD. W/ FLOOR PLANS & ELEVATIONS FOR LOCATIONS, REQ'D FRAME WIDTH, 170° DOOR SWINGS & QUANTITY OF REQUIRED DOORS, FRAMES & SCREENS.

ALL FINISH HARDWARE INFO. SHOWN TO BE COORDINATED & VERIFIED W/ THE APPROVED HARDWARE SCHEDULE, INCLUDING BUT NOT LIMITED TO HOLD OPEN DEVICES, ELECTRIC STRIKES, SECURITY KEYPADS, AUTO DOOR OPENERS, CLOSERS, PANIC DEVICES, MAGNETIC HOLD-OPENS, OVERHEAD STOPS, PUSH PLATES, KICK PLATES & ANY OTHER DOOR HARDWARE REQUIREMENTS.

SOUND / ACOUSTIC RATINGS:
 COORD. W/ WALL TYPES FOR SOUND RATINGS (STC) & FLOOR PLANS FOR WALL TYPE LOCATIONS. ALL DOORS, DOOR FRAMES, SCREENS & GLAZING THAT REQUIRE SOUND RATINGS TO HAVE SOUND PROOFING, SEALS @ PER. 3; RECESSED AUTOMATIC DROP DOWN SILLS, DOUBLE GLAZING.
 WOOD FRAMES SHIM VOID FILLED SOLID W/ SOUND BATT INSULATION, HM FRAMES ON CONC. BLOCK CONST. FILLED SOLID W/ MORTAR; HM FRAMES ON METAL / WD. FRAME CONST. TO HAVE BATT INSULATION OF 50mm+25mm FRICTION FIT INTO FRAME BEFORE INSTALL TO ENSURE COMPRESSION OF BATT WHEN INSTALLED

COORD. W/ ELEC. DWG.S FOR EXIT SIGN & ELEC. EQUIP. LOCATIONS.

ALL ALUMINIUM DOORS TO HAVE CONT. HINGES. ALL H.M. & PLAM COVERED WOOD DOORS TO HAVE 3 BALLBEARING HINGES. ALL EXTERIOR H.M. DOORS TO HAVE 4 HINGES.

ALL EXTERIOR HM. DOORS TO BE INSULATED, 16 Ga., CONT. WELDED C/W STIFFENER PLATES C/W WEATHER STRIPPING, FRAMES TO BE THERMALLY BROKEN

THERMAL BROKEN FRAMES, FILL VOID SOLID W/ SPRAY-IN-PLACE INSUL. TYP. W/ WELDED 10mm TEE ANCHOR, SUPPLY 3 ANCHORS FOR EACH JAMB UP TO 2200mm HIGH, SUPPLY 4 IF JAMB EXCEEDS 2200mm

IN ALL CORRIDOR DOORS & HIGH TRAFFIC AREAS, PROVIDE 16 GAUGE CONTINUOUS WELDED DOORS & HINGES.

ALL WASHROOM DOORS TO BE UNDERCUT BY 25mm (1") UNLESS NOTED BY MECH. MAX. UNDERCUT FOR FIRE RATED DOORS IS 19mm (3/4")

ALL DOORS TO HAVE DOOR STOPS
 WOOD DOORS TO RECEIVE OFFSET HINGES

ALL DOORS TO HAVE KICK PLATES BOTH SIDES, FINISH TO MATCH DOOR HARDWARE TYPICAL.

DOORS TO HAVE PROVISION FOR ELECTRIC STRIKE & CARD READERS (EXCEPT WASHROOMS) & ONLY PROVIDE CARD READER WHERE ASKED ON DOOR HARDWARE SCHEDULE.
 (LOCATION OF CARD READER ON DOOR FRAME OR ADJACENT TO DOOR FRAME SHALL BE CONFIRMED BY ARCHITECT & CLIENT PRIOR TO INSTALLATION) COORDINATE WITH ELECTRICAL DRAWINGS.

ALL DOORS INDICATED W/ "HO" HOLD OPENS LOCATED IN FIRE SEPARATION SHOULD HAVE A MAGNETIC HOLD OPEN DEVICE TO RELEASE UPON ACTIVATION OF THE FIRE ALARM C/W CLOSER.

ALL DOORS INDICATED W/ "HO" HOLD OPENS LOCATED WHERE THERE IS NO FIRE SEPARATION SHALL BE PROVIDED W/ MANUAL HOLD OPEN DEVICES.

COORD. W/ AD LIFE SAFETY DWG.S FOR FIRE SEPARATION LOCATIONS

ALL GLAZING LOWER THAN 1070mm A/F/F (MAIN FLR. LEVELS, STAIR LANDINGS, ETC.) THAT IS NOT PROTECTED BY SOME TYPE OF INTERIOR GUARD, TO BE DESIGNED TO WITHSTAND THE LOADING ON GUARDS AS PER OBC SB-13; WHERE THE DIFFERENCE IN ELEV. BETWEEN THE ADJACENT GROUND OR FLR. LEVEL IS MORE THAN 600mm TYP.
 COORD. W/ GLASS & GLAZING 8800 SECTION

ALL GLASS AND GLAZING LOCATED IN A FIRE RATED WALL SYSTEM / ASSEMBLY OR EXPOSURE SITUATIONS TO BE FIRE RATED GLASS / GLAZING.

ALL GLASS AND GLAZING, CONTRACTOR SHALL VERIFY AND PROVIDE THICKNESS TO BE CONFIRMED BY MANUFACTURER FOR THE ASSEMBLY IN WHICH THE GLAZING IS INSTALLED, TO BE SUBMITTED IN SHOP DRAWINGS STAMPED BY A PROFESSIONAL ENGINEER BEFORE ANY MANUFACTURING. GLAZING TAPE AND METHODS TO BE AS PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.

SHOP DRAWINGS

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE: DOOR(S), SCREEN(S), WINDOW(S), CURTAIN WALL(S), FRAME(S), & THEIR HARDWARE MANUF.'S TRADES COORD. & EXECUTE THEIR WORK TOGETHER & LABEL IDENTIFYING INFO. FOR ALL DOOR(S), SCREEN(S), WINDOW(S), CURTAIN WALL(S), FRAME(S) SCH. TO MATCH THE IDENTIFICATION TAG LABELS HERE. NOT HAVING DIFF. LABELS & DIM. UNITS ON SHOP DWGS'S THAN TENDERED DOCUMENTS TYP.
 [REVISE & RESUBMIT SHOP DWG.S WILL BE RETURNED IF THIS FORMAT IS NOT FOLLOWED W/ NO REVIEW UNDERTAKEN]

ALUM. WINDOW / CURTAIN WALL SCH. NOTES

IT IS THE RESPONSIBILITY OF THE WINDOW, CURTAIN WALL & HARDWARE MANUFACTURER TRADES TO CO-ORDINATE & EXECUTE THEIR WORK TOGETHER.

DIMENSIONS INDICATED ARE R.O. - VERIFY ALL OPENING DIMENSIONS ON SITE PRIOR TO FABRICATION & ORDERING

COORD. W/ TYP. DOOR & WINDOW DETAILS PROVIDED

1. COORD. W/ FLR. PLANS ON LIFE SAFETY DWG.(S) FOR FIRE SEPARATIONS REQ'G FIRE RESISTANCE RATINGS FOR EXPOSURE SITUATIONS; HM FRAMING TO BE IMPLEMENTED BEHIND OPENING FRAMING TO NEAREST VERT. &/OR HORIZ. FRAMING MEMBER.
 (DOOR & FRAME / SCREEN SCH. NOTES 1&2 APPLICABLE)

2. COORD. W/ BLGD. ELEV.'S A3 SERIES DWG.'S & FLR. PLANS A2 SERIES DWG.'S FOR LOCATIONS & QUANTITY OF WINDOWS & CURTAIN WALLS

GENERAL NOTES:

FRAMES:
 (COORD. W/ SPEC.S)

FINISH:
 CLEAR ANODIZED, DURANAR, DURANAR XL EXT., DURACRON INT.

GLAZING:
 (COORD. W/ SPEC.S)

OPERATORS:
 INTEGRAL AWNING STYLE OPERATOR C/W HAND CRANK UNLESS OTHERWISE INDICATED. COORD. W/ ELEV.'S FOR OPERATOR LOCATIONS & DIRECTIONS / SWING
 (COORD. W/ SPEC.S)

SOUND / ACOUSTIC RATINGS:
 COORD. W/ WALL TYPES FOR SOUND RATINGS (STC) & FLR. PLANS FOR WALL TYPE LOCATIONS. ALL OPENINGS & GLAZING THAT REQUIRE SOUND RATINGS TO HAVE SOUND PROOFING, SEALS @ PER.3, DOUBLE GLAZING. ALL SHIM VOIDS FILLED SOLID W/ SOUND BATT INSUL.

ALL GLAZING LOWER THAN 1070mm A/F/F (MAIN FLR. LEVELS, STAIR LANDINGS, ETC.) THAT IS NOT PROTECTED BY SOME TYPE OF INTERIOR GUARD, TO BE DESIGNED TO WITHSTAND THE LOADING ON GUARDS AS PER OBC SB-13; WHERE THE DIFFERENCE IN ELEV. BETWEEN THE ADJACENT GROUND OR FLR. LEVEL IS MORE THAN 600mm TYP.
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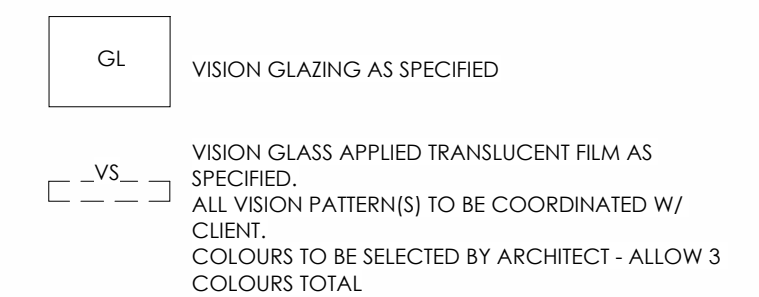
ALL GLASS AND GLAZING, CONTRACTOR SHALL VERIFY AND PROVIDE THICKNESS TO BE CONFIRMED BY MANUFACTURER FOR THE ASSEMBLY IN WHICH THE GLAZING IS INSTALLED, TO BE SUBMITTED IN SHOP DRAWINGS STAMPED BY A PROFESSIONAL ENGINEER BEFORE ANY MANUFACTURING. GLAZING TAPE TO BE AS PER MANUFACTURER'S WRITTEN RECOMMENDATIONS.

ALL OPENING CLOSURES (INCLUDING BUT LIMITED TO: ENTRANCE FRAMES, CURTAIN WALL FRAMES, WINDOW FRAMES, GLAZING / SPANDREL & SOLID INFILL PANEL, ETC.) SHALL BE DESIGNED TO SAFELY WITHSTAND ALL APPLICABLE LOADS AND SHALL MEET THE STANDARDS OF THE LATEST ONTARIO BUILDING CODE AS CURRENTLY AMENDED.

THIS INCLUDES, BUT LIMITED TO, WIND LOADS, NEGATIVE PRESSURE, DEFLECTION, THERMAL MOVEMENT, LOADS ON GUARDS (WHERE CLOSURE IS REQUIRED TO BE DESIGNED AS A GUARD), ETC.

PROVIDE SHOP DRAWINGS FOR REVIEW SIGNED AND SEALED BY A PROFESSIONAL ENGINEER FOR REVIEW AND APPROVAL. COORDINATE SUBMITTALS WITH SPECIFICATIONS.

HATCH IDENTIFICATION MARKER LEGEND



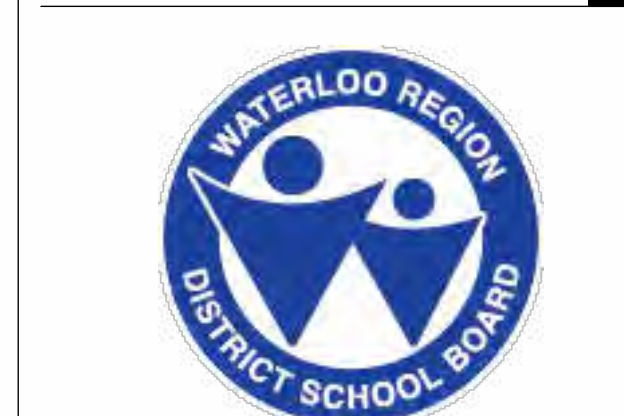
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WINDOW AND DOOR SCHEDULES
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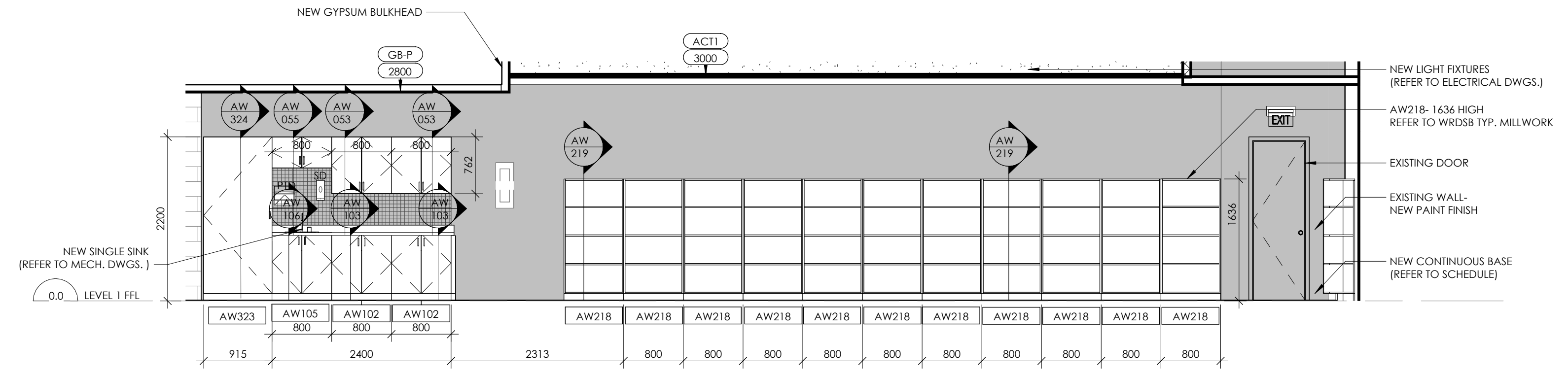
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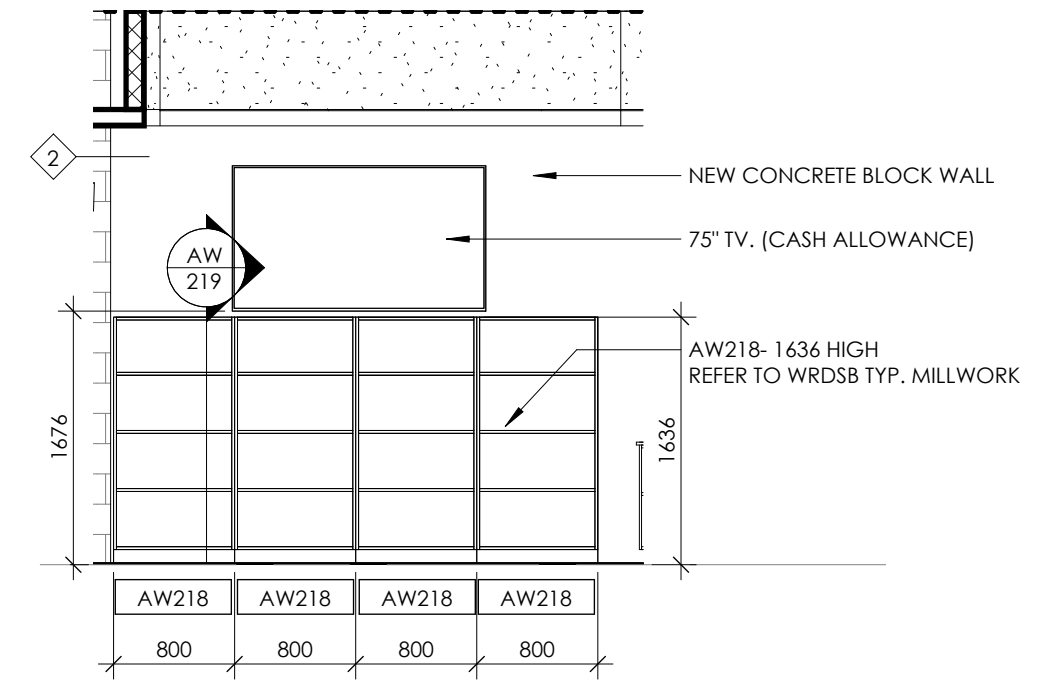


MILLWORK ELEVATIONS - LIBRARY

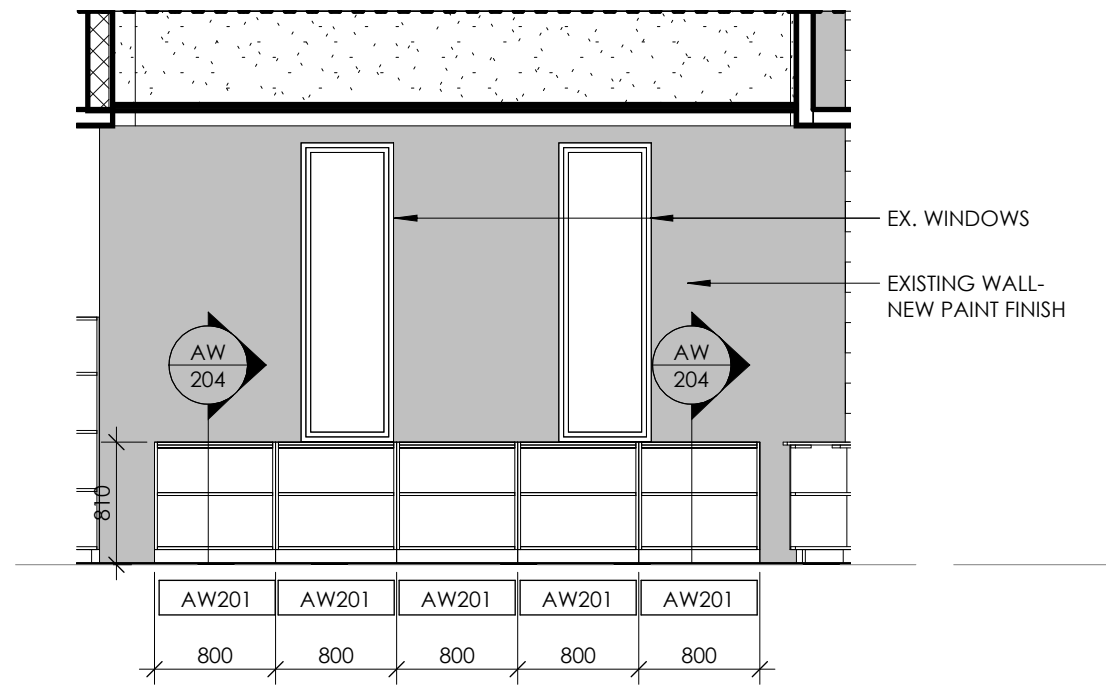
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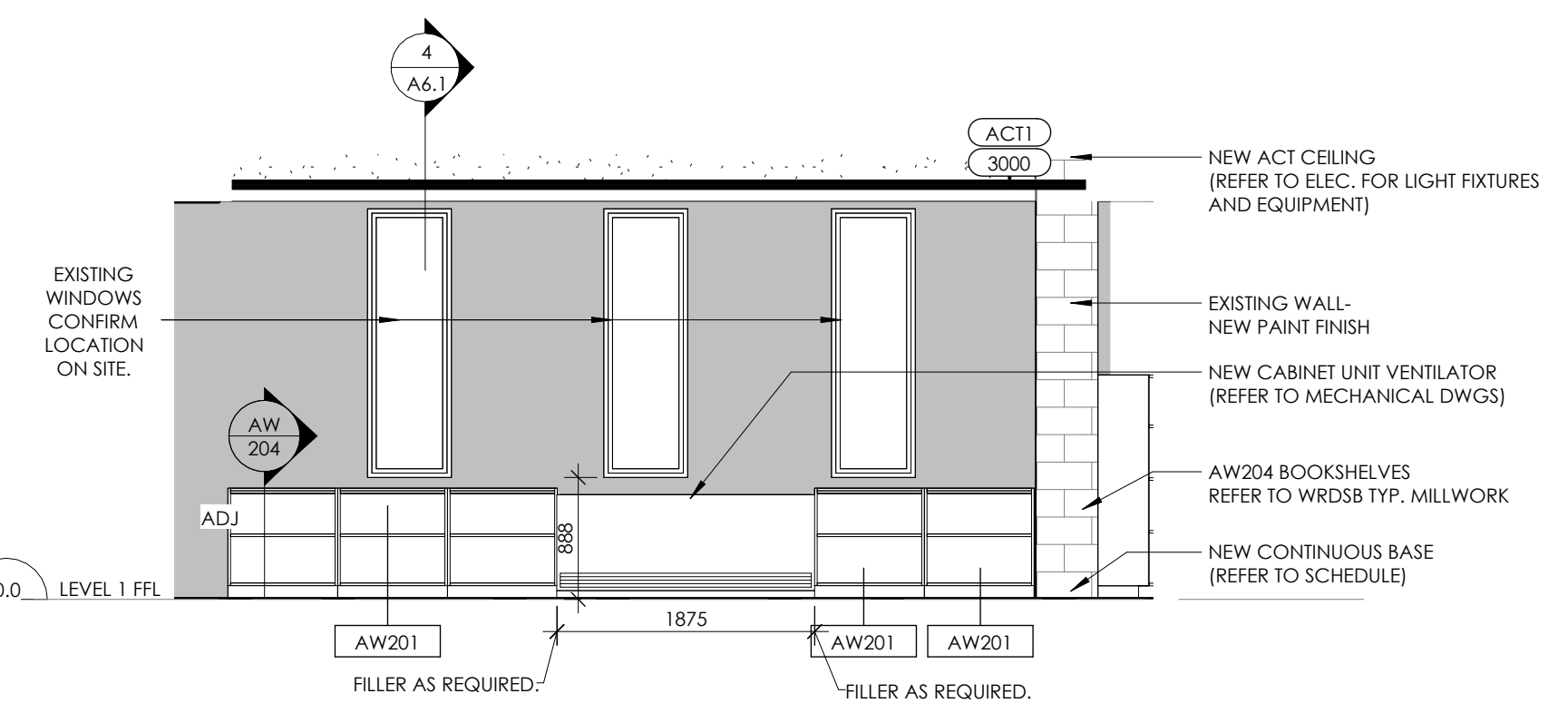
1 INTERIOR ELEVATION (1:50)



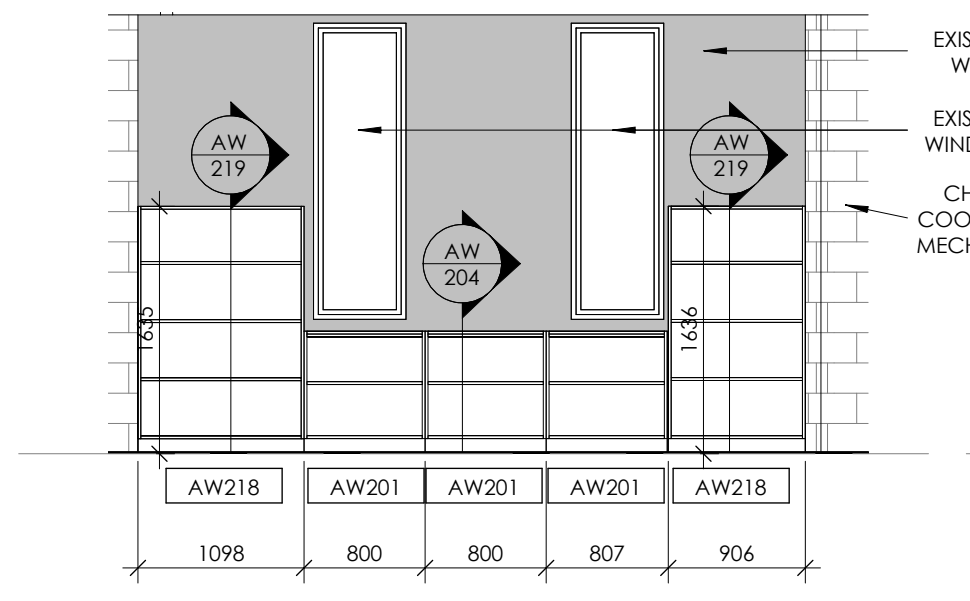
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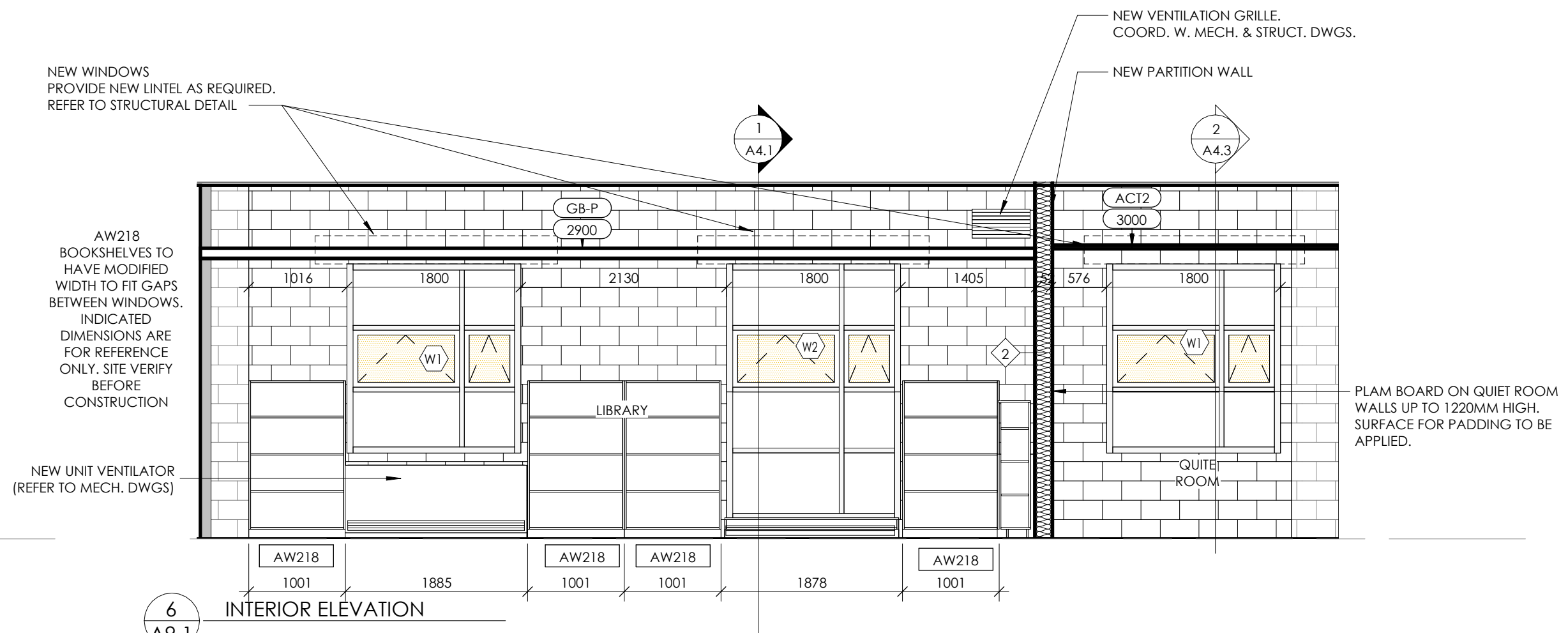
3 INTERIOR ELEVATION (1:50)



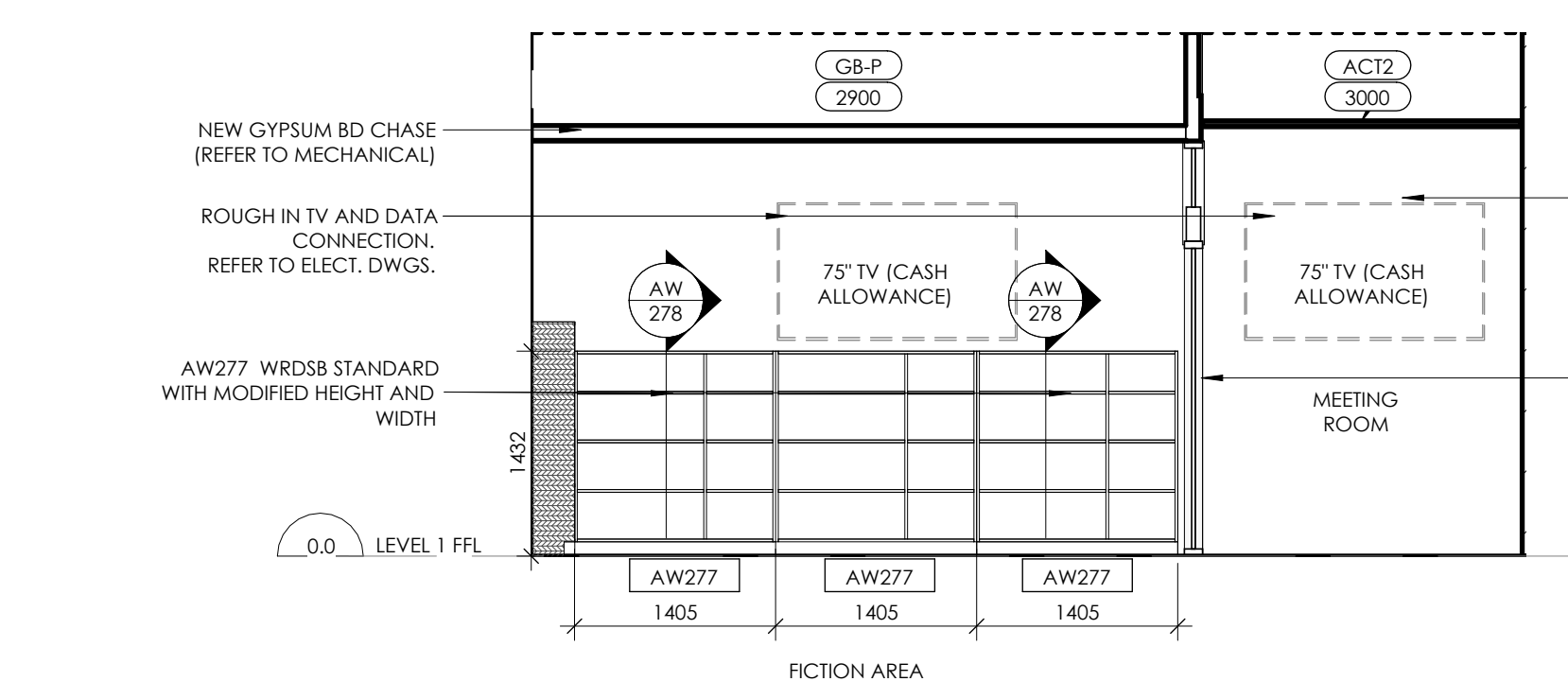
4 INTERIOR ELEVATION (1:50)



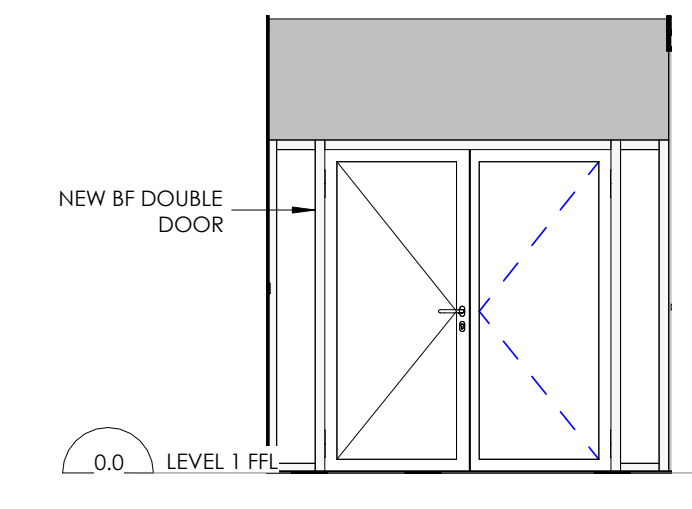
5 INTERIOR ELEVATION (1:50)



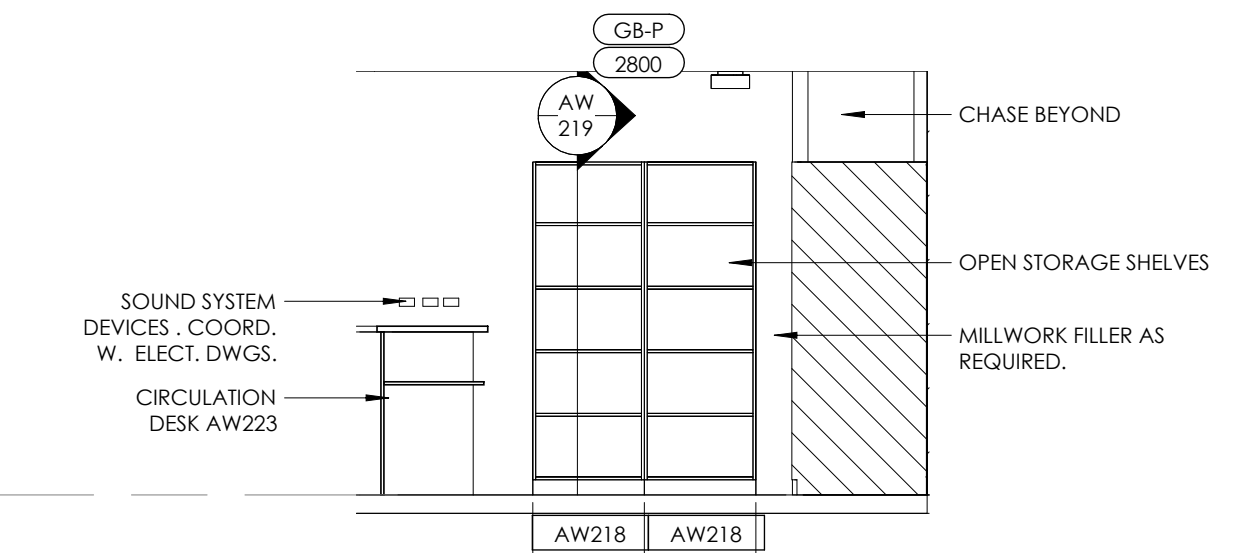
6 INTERIOR ELEVATION (1:50)



7 INTERIOR ELEVATION (1:50)

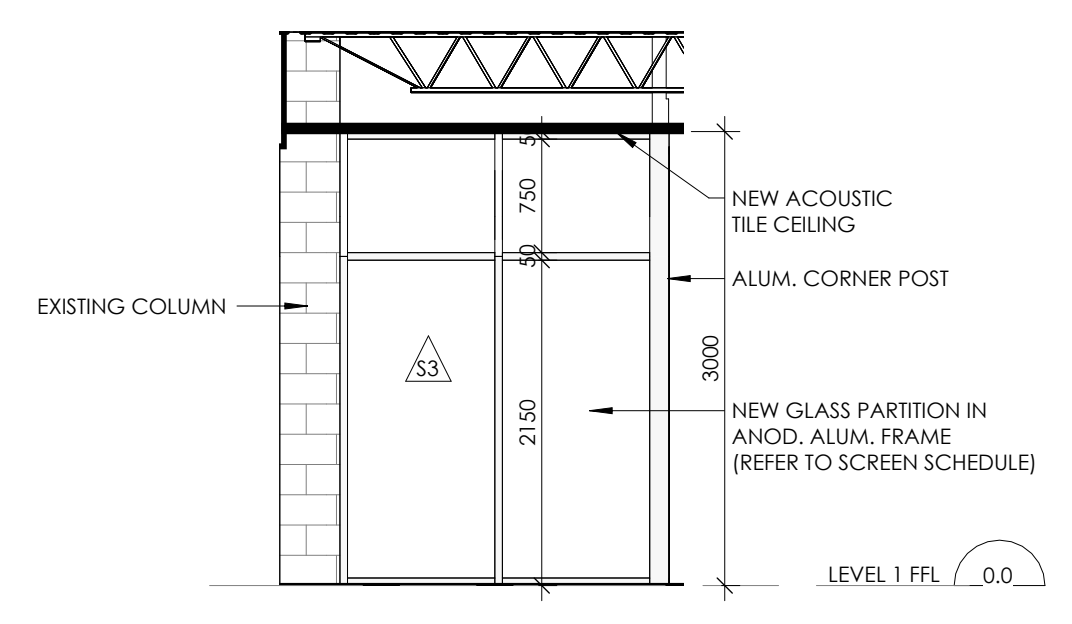


8 INTERIOR ELEVATION (1:50)

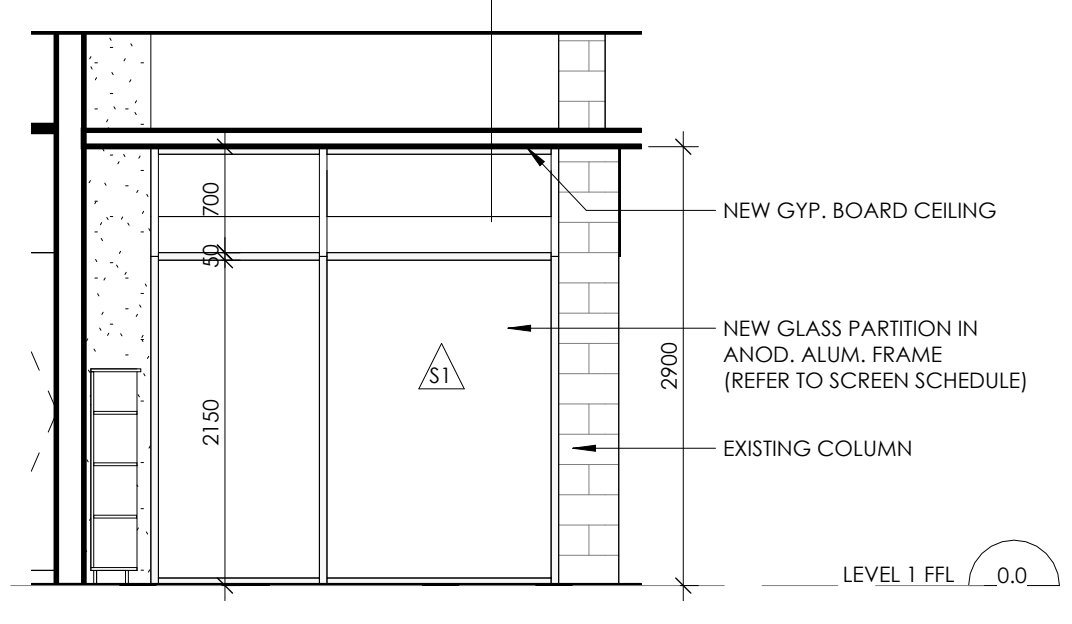


9 INTERIOR ELEVATION (1:50)

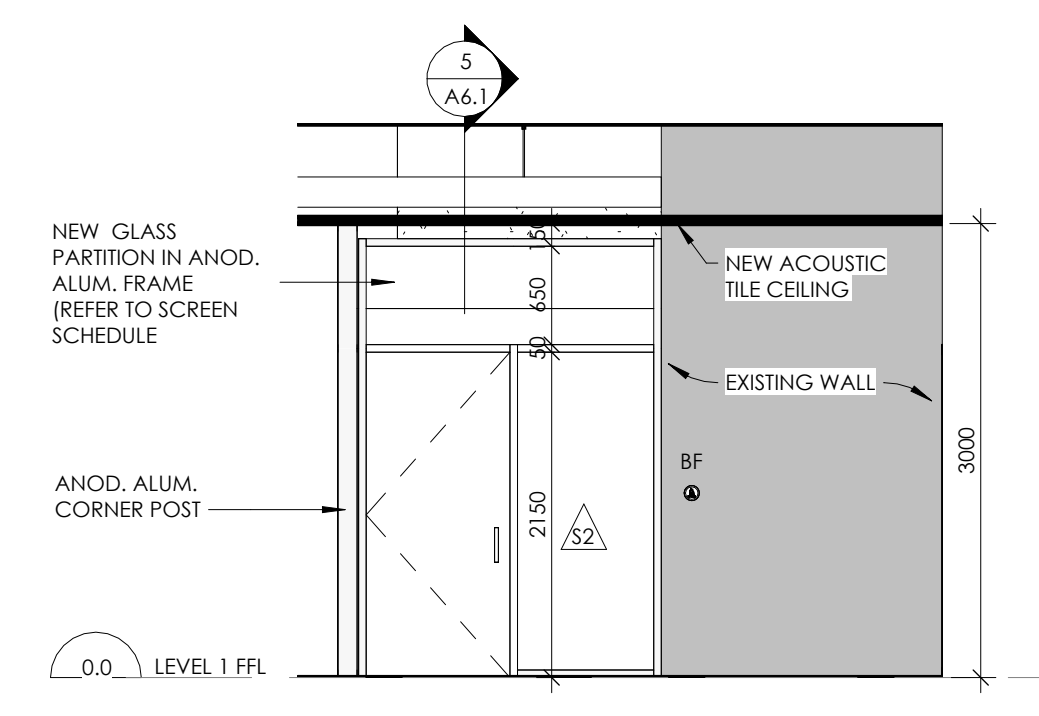
- GENERAL MILLWORK NOTES**
- REVIEW ALL MILLWORK DIMENSIONS AND LOCATION SPACE BEFORE CONSTRUCTION.
 - ALL DIMENSIONS INDICATED ON THE DRAWINGS MUST BE SITE VERIFIED.
 - REFER TO THE WATERLOO REGION DISTRICT SCHOOL BOARD MILLWORK STANDARDS FOR DETAILS.
 - REFER TO NOTES ON DRAWINGS FOR MILLWORKS SIZE CHANGES AS REQUIRED BY THE BOARD FOR THIS PROJECT.



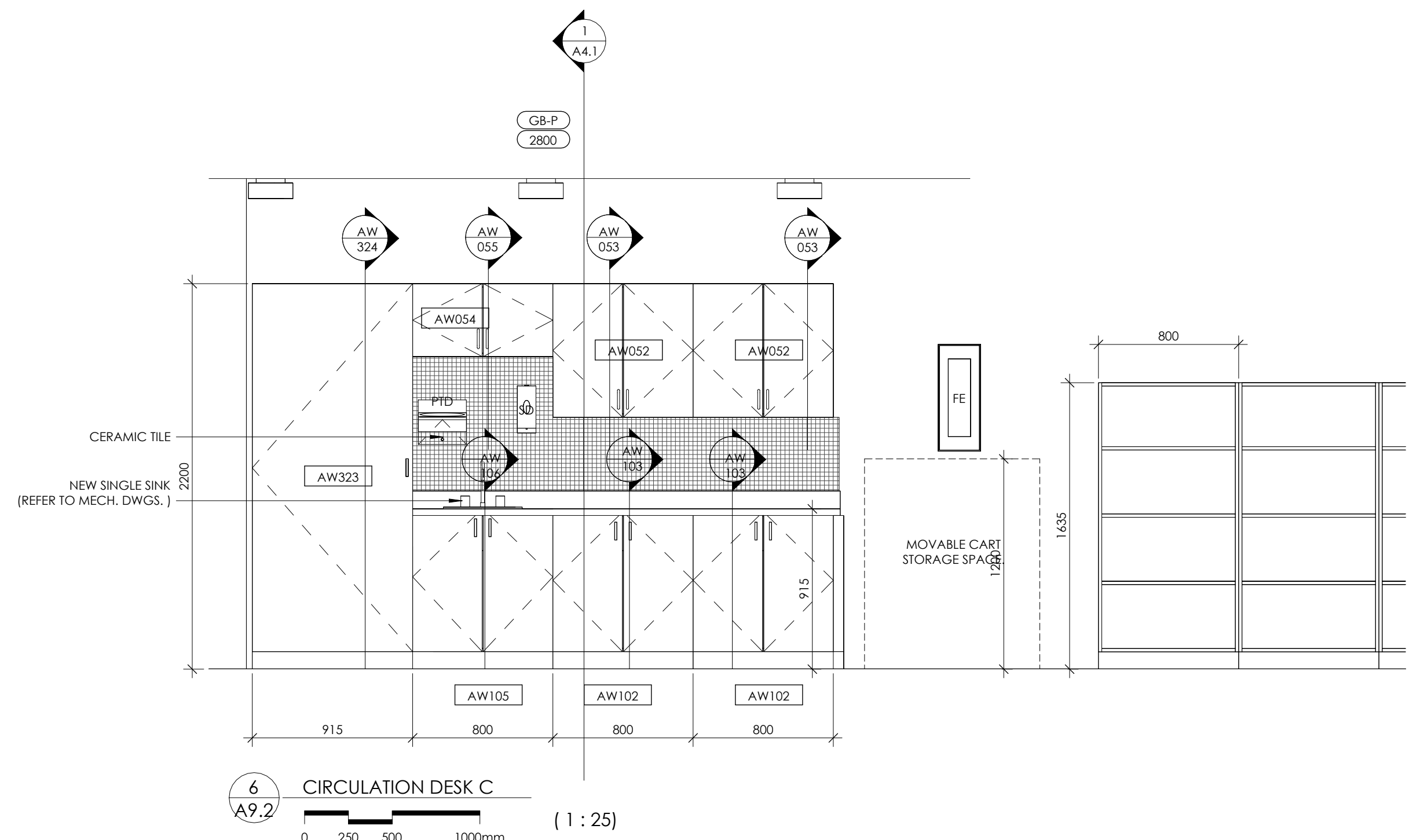
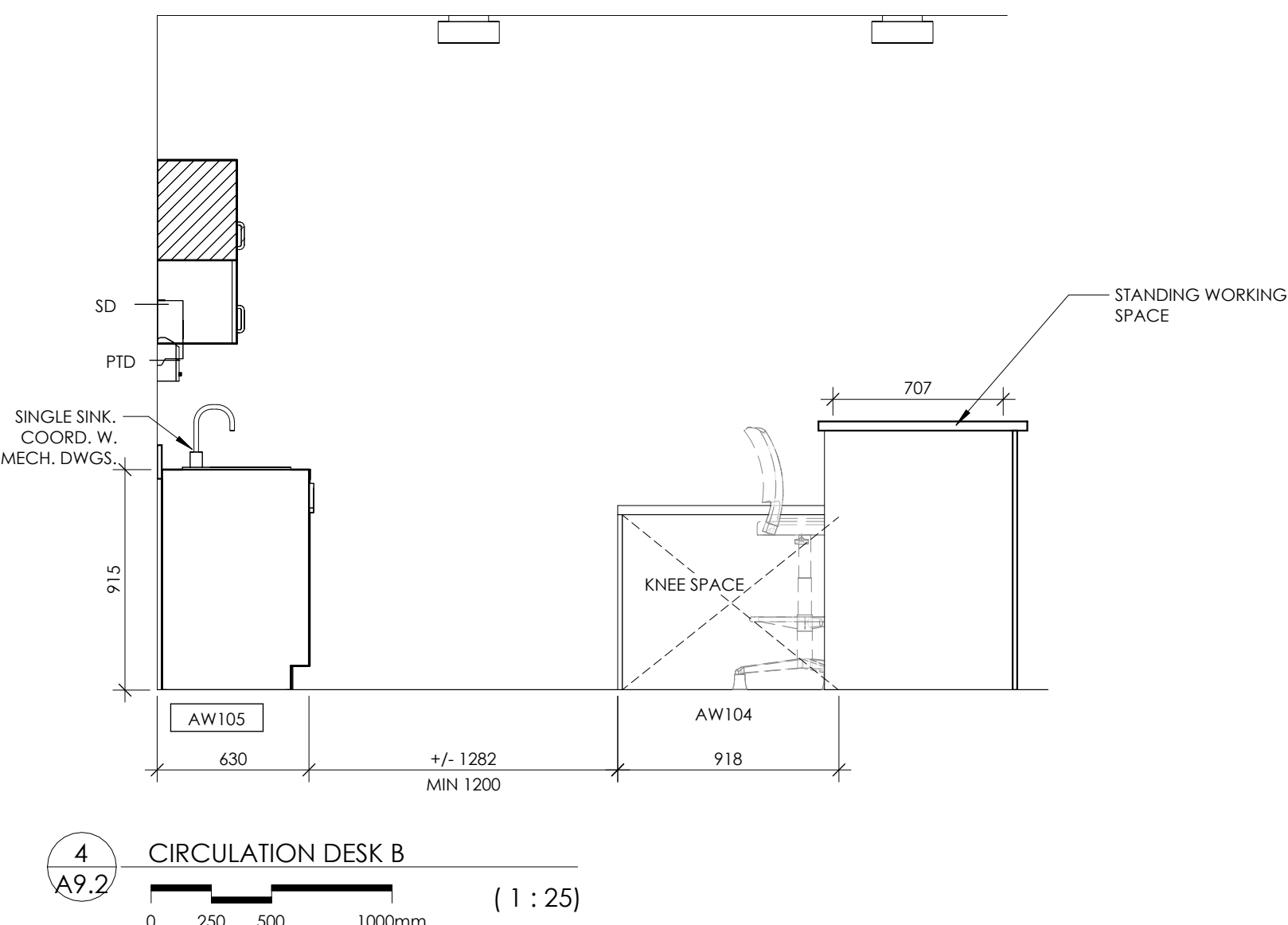
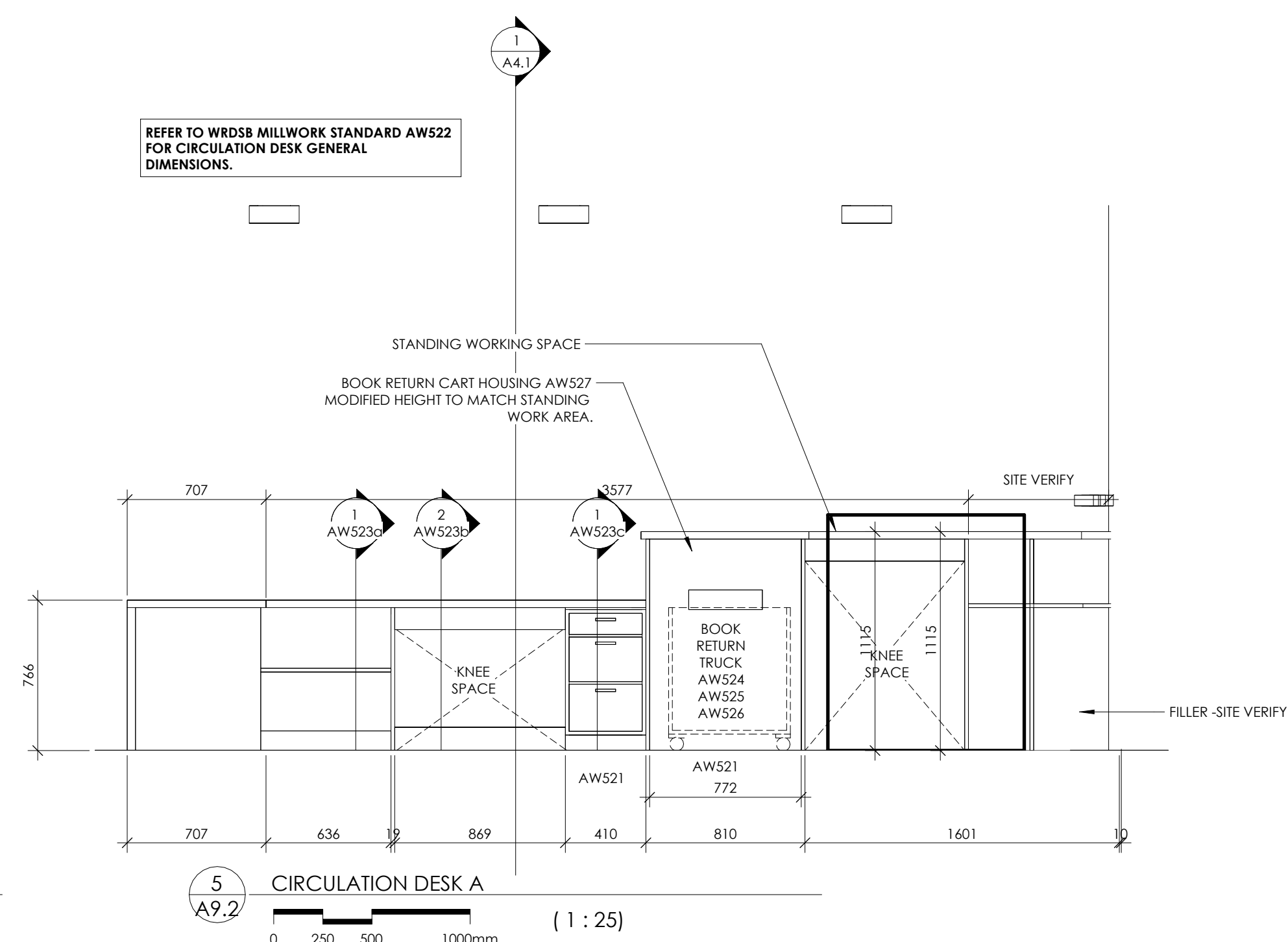
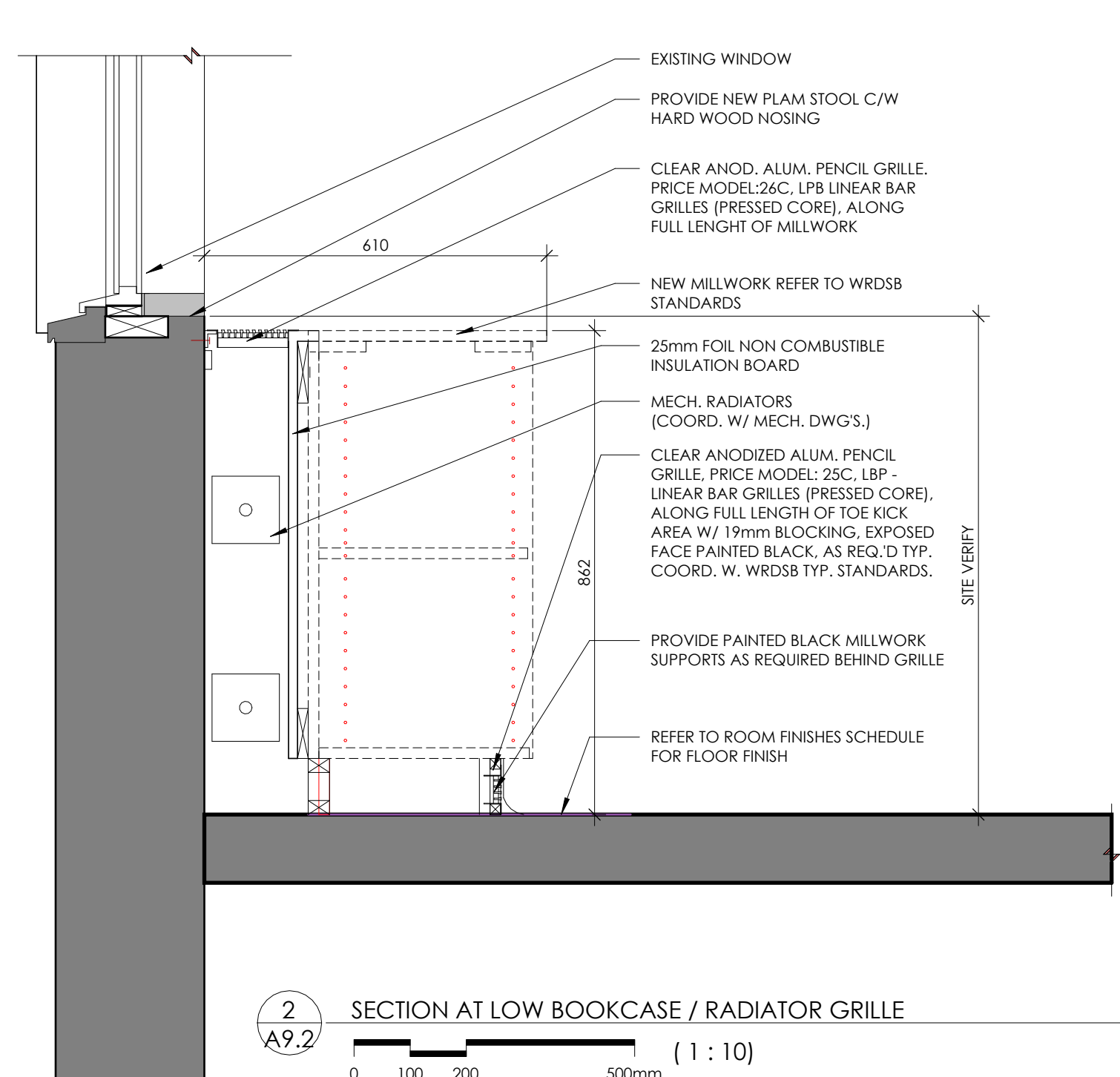
10 INTERIOR ELEVATION 10 (1:50)



11 INTERIOR ELEVATION 9 (1:50)



12 INTERIOR ELEVATION 10 (1:50)



Revision Schedule		
Particular	Date	No.
ISSUED FOR TENDER	2023.03.06	1

ALL DIMENSIONS MARKED TO AND FROM EXISTING BUILDING ELEMENTS ARE APPROXIMATE AND MUST BE CONFIRMED ON SITE BEFORE STARTING CONSTRUCTION STARTS.

MILLWORK CABINETS ARE TO BE EXTENDED AS REQUIRED TO BE CONTINUOUS THROUGHOUT ALL WALLS WHERE MILLWORK IS REQUIRED. ALL MILLWORK DIMENSIONS ARE INDICATIVE.

MEASURE AND CONFIRM NEW DOORS, WINDOWS, CURTAIN WALLS AND SCREENS REQUIRED FOR THIS RENOVATION BEFORE ORDERING AND ASSEMBLING.

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PROJECT:
22057
RENOVATION

153 MONTCALM DRIVE
KITCHENER, ON
N2B 2R6

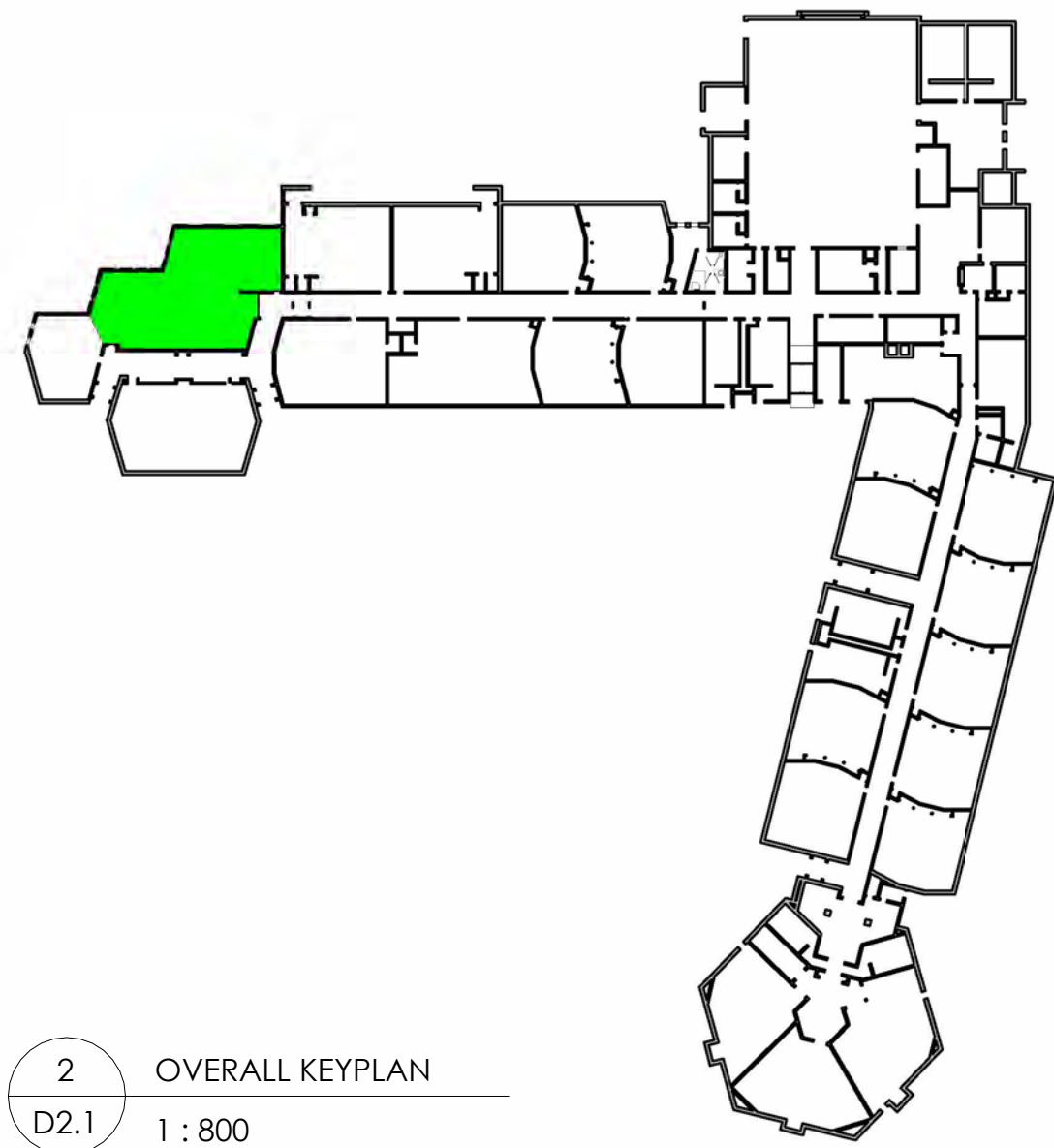
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2 OVERALL KEYPLAN
D2.1 1 : 800

GENERAL LEGENDS:

- SCOPE OF WORK
- EXISTING WALL SYSTEM
- EXISTING WALL TO BE DEMOLISHED
- EXISTING FLOOR, ROOF, CANOPY OR CEILING SURFACES TO BE DEMOLISHED, REPAIRED OR PREPARED AS NOTED, COORDINATE FULL EXTENT WITH ALL OTHERS DISCIPLINES.
- EXISTING DOORS/HARDWARE TO BE REMOVED AND TURNOVER TO OWNER/DEMOLITION TYPICALLY IS FROM FINISHED FLOOR TO US FLOOR OR ROOF STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
- EXISTING MILLWORK TO BE DEMOLISHED

DEMOLITION NOTES:

- EXISTING MILLWORK, FURNITURE AND MECHANICAL EQUIPMENT TO BE REMOVED. COORD. W. ARCH, MECH, ELECTRICAL AND STRUCTURAL DWGS.
- EXISTING UNIT VENTILATOR SERVING THE LIBRARY TO BE REMOVED. COORD. FOR LOCATION AND TYPE OF NEW UNIT VENTILATORS W. MECH. DWGS.
- REMOVE EXISTING FLOOR FINISH, INCLUDING BUT NOT LIMITED TO FLOOR FINISH, UNDERLAYMENTS, ADHESIVES, BASE, FASTENERS TO ORIGINAL CONCRETE SUBFLOOR. MAKE ALL DISTURBED SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH.
- REMOVE EXISTING CEILING AND LIGHTING/HARDWARES. COORD. W. ELEC. DWGS. MAKE ALL SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH.
- REMOVE EXISTING INTERIOR WALL FINISHES AND PATCH, CLEAN AND MAKE ALL SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH.
- REMOVE EXISTING ELECTRICAL WIRES, OUTLETS AND HARDWARES/ACCESSORIES AND RETURNED TO SCHOOL BOARD IF REQUESTED. MAKE ALL DISTURBED SURFACES LEVEL AND SMOOTH.
- REMOVE EXISTING SIGNAGES AND GRAPHICS FROM LIBRARY. MAKE ALL SURFACES LEVEL AND SMOOTH FOR NEW FINISH.

GENERAL DEMOLITION NOTES:

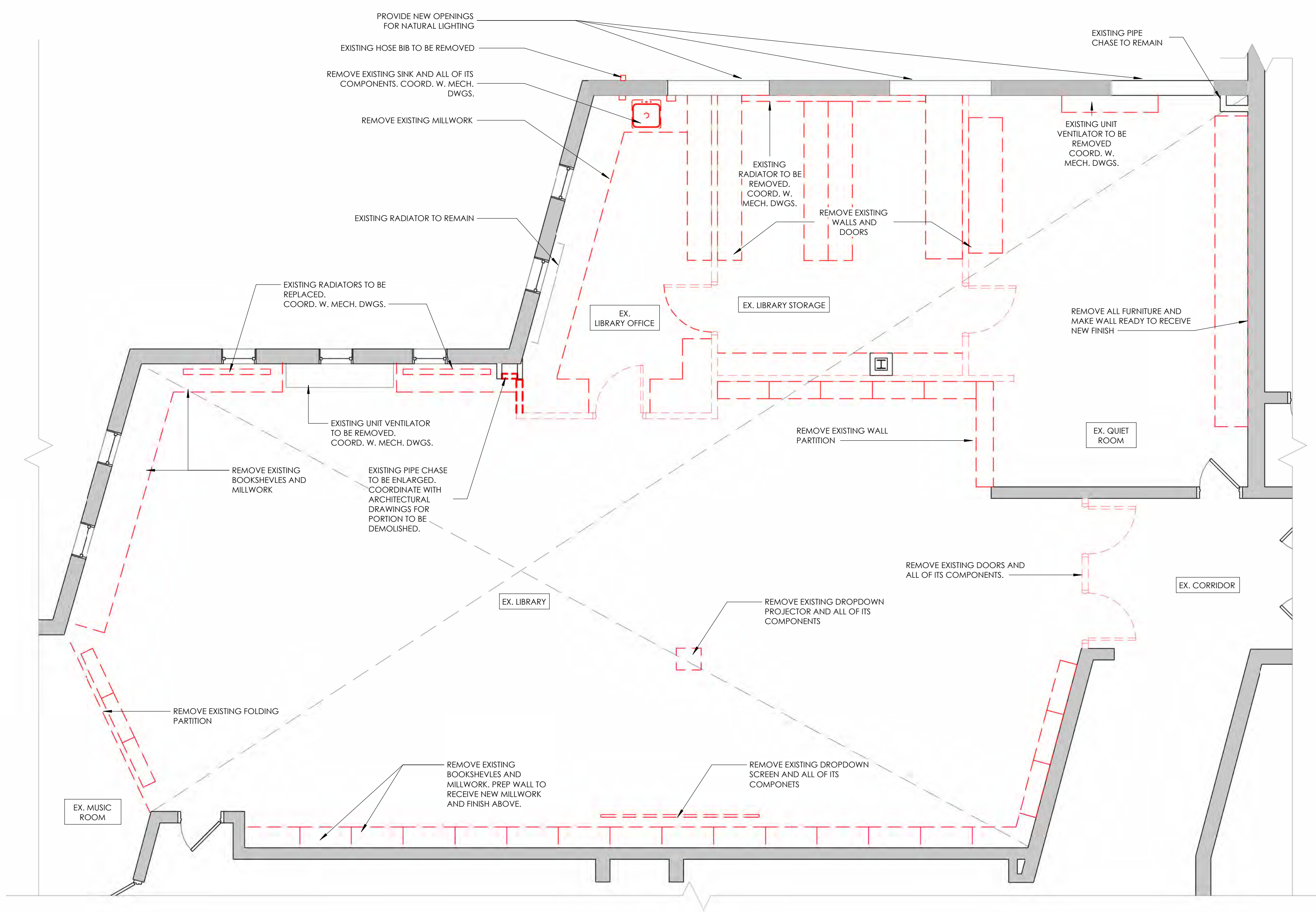
- CONTRACTOR TO VERIFY ALL CONDITIONS ON SITE TO DETERMINE COMPLETE SCOPE OF WORK
- CONTRACTOR TO SECURE THE WORK SITE DURING DEMO & CONST. & HOARD OFF THE WORK AREA TO PREVENT ACCESS TO ANYONE NOT ENGAGED IN THE WORK OF THIS DEMOLITION / CONST. SCOPE
- CONTRACTOR TO PROTECT ALL EXPOSED PORTIONS OF THE EX. BUILDING TO REMAIN / REPLACE & TO REPAIR ANY DAMAGE CAUSED BY INSUFFICIENT PROTECTION
- MAKE GOOD ALL DISTURBED SURFACES & ADJACENT SYSTEMS THAT ARE DAMAGED AND THAT ARE TO REMAIN, PROVIDE CLEAN TRANSITIONS TYPICAL
- MAINTAIN SAFE PUBLIC ACCESS TO THE BLDG. DURING OPERATING HOURS & MAINTAIN FULL EMERGENCY ACCESS & EXITING AT ALL TIMES TO & FROM THE BLDG. & PROVIDE PROTECTION TO THE PUBLIC FROM FALLING DEBRIS & CONST. TRAFFIC & POST SIGNAGE AS REQ'D.
- CONTRACTOR TO INCLUDE REMOVAL AND TERMINATION OF ANY EX. SERVICES CONNECTED TO THE EXISTING BUILDING / LOCATED IN SCOPE OF WORK TO BE DEMOLISHED INCLUDING ANY NECESSARY PERMITS OR UTILITY FEES
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL & DISPOSAL OF ALL MATERIALS THAT ARE DEMOLISHED & THAT ARE NOT INDICATED FOR RE-USE / RECLAIMING / SALVAGING OR AS OTHERWISE INDICATED BY THE OWNER. ALL COSTS ARE PART OF BASE BID SUBMISSION IN ACCORDANCE W/ BEST CONSTRUCTION PRACTICE, OBC, MUNICIPAL & PROVINCIAL LEGISLATURE REGARDING DEMOLITION & DISPOSAL METHODS (RECYCLE ALL MATERIALS WHERE ABLE) & ANY LEAD REQUIREMENTS ALSO SPECIFIED UNDER THIS DOCUMENT
- PERFORM ALL REQUIRED HAZARDOUS MATERIALS REMOVALS & ABATEMENT AS PART OF THIS WORK.
- HAZARDOUS MATERIALS / DESIGNATED SUBSTANCE SURVEY BY:

ABATEMENT & DEMOLITION INCLUDES THE REMOVAL, PROPER DISPOSAL OFF SITE & RECYCLING WHERE AVAILABLE OF ALL ITEMS INDICATED

- BEFORE DEMOLITION / REMOVAL OF ANY EXISTING WALL SYSTEMS OR PARTIAL WALL SYSTEMS, CONSULT A STRUCTURAL ENGINEER WHEREVER A LOAD BEARING MEMBER / BEAM / LINTEL / POST / COLUMN ARE AFFECTED, SHOP DWGS. ARE TO BE SUBMITTED BEFORE ANY WORK IS UNDERTAKEN!
- PROVIDE AN ENGINEERED METHODOLOGY REPORT FOR DEMOLITION WHEN REQUIRED BY THE MUNICIPALITY
- "TOOTHING IN" MASONRY IS ONLY ACCEPTED WHERE EXISTING MASONRY WALL SYSTEM HAS BEEN DEMOLISHED OR WHERE A NEW OPENING HAS BEEN MADE. REMOVE ANY DAMAGED MASONRY WITH RECLAIMED MATERIAL EXISTING WHERE POSSIBLE. MAKE CLEAN TRANSITIONS TYP.
- MAKE GOOD ALL EXISTING SURFACES / SUBSTRATES / OPENINGS TO RECEIVE NEW FINISHES. INFILL AFTER ANY DEMOLITION OF MATERIALS & ENSURE THEY ARE CLEAN & FREE FROM OBSTRUCTIONS SO NEW WORK IS NOT ADVERSELY AFFECTED.
- PROTECT ALL SIGNIFICANT AREAS / ELEMENTS TO REMAIN DURING DEMOLITION TYP.

SALVAGING

- ALL SALVAGED / REUSED MATERIALS ARE TO BE REMOVED W/ GREAT CARE, KEPT IN DRY PLACE, PLACED ON SKIDS, COVERED & PROTECTED FROM DAMAGE FOR FUTURE USE & IMPLEMENTATION. TAG / NOTE WHERE MATERIALS ARE ORIG. FROM IN THE BLDG. LOCATION TO BE DETERMINED ON SITE W/ OWNER TYP.
- SALVAGE ALL ELC, LIGHT FIXTURES, DOORS / FRAMES & ASSOCIATED HARDWARE, WINDOWS / FRAMES & ASSOCIATED HARDWARE, CONCR. BLOCK (ALSO CONSULT CLIENT FOR ANY ADDITIONAL ITEMS)
- SALVAGE ALL MECH, AIR GRILLES, ELEC, LIGHT SWITCHES, LIGHT FIXTURES, DOORS / FRAMES & ASSOCIATED HARDWARE, WINDOWS / FRAMES & ASSOCIATED HARDWARE



1 LIBRARY DEMOLITION PLAN
D2.1 1 : 50

Revision Schedule

Particular	Date	No.
ISSUED FOR TENDER	2023.03.06	1

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22057
RENOVATION

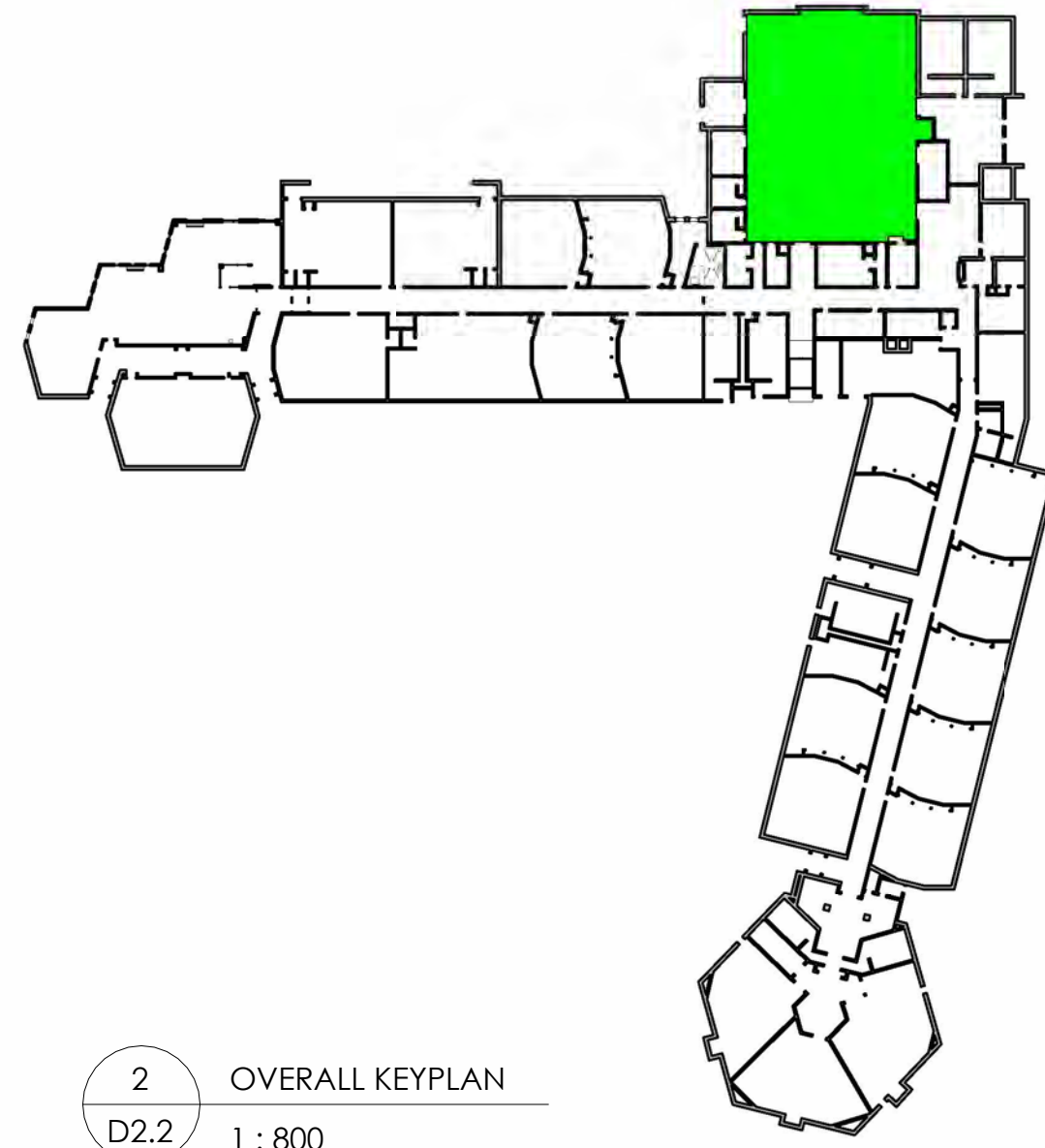
153 MONTCALM DRIVE
KITCHENER, ON
N2B 2R6

ORIGINAL PAGE SIZE ARCH D - 24" X 36"



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THE VENTLIN GROUP LTD

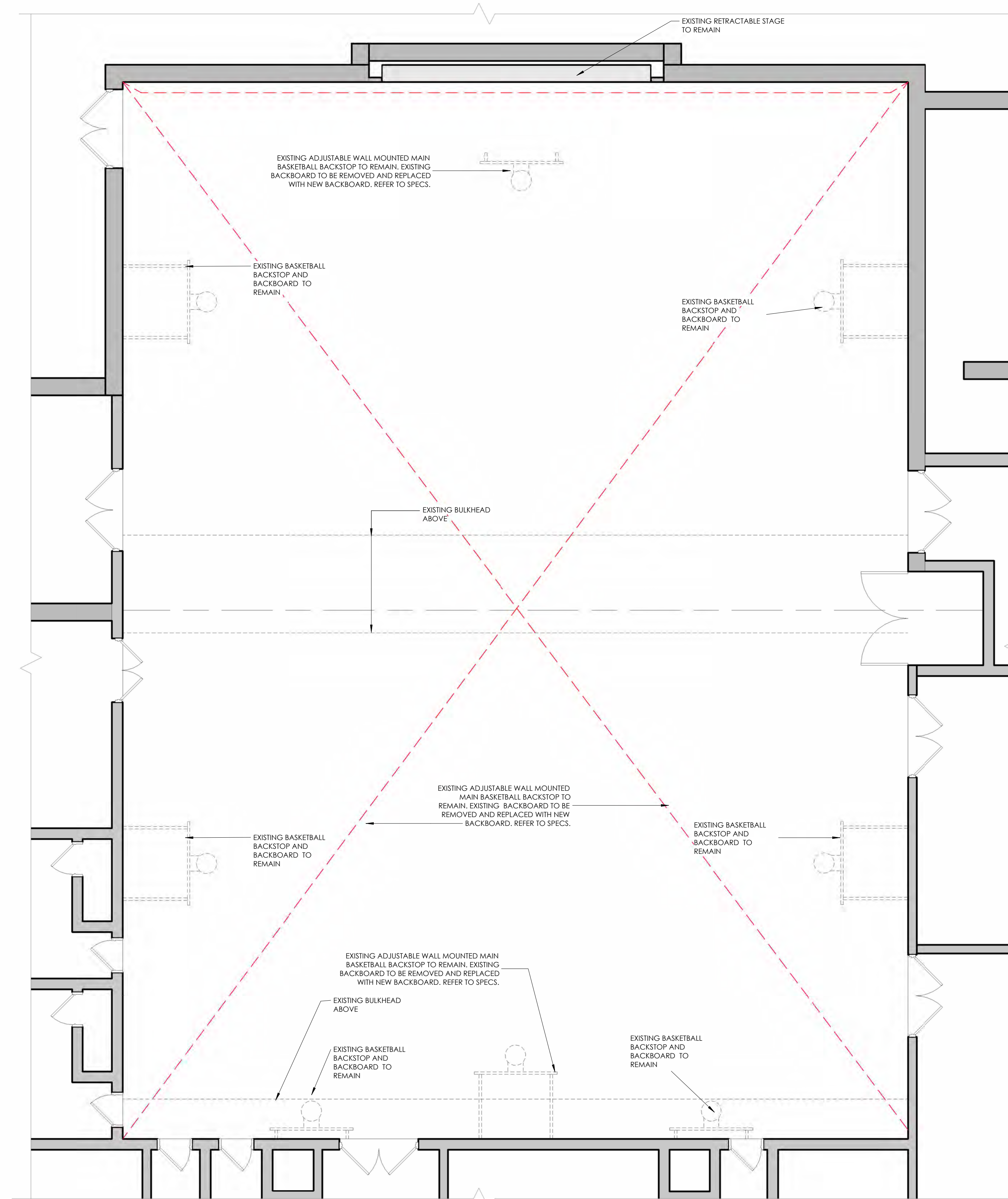
D2.1



2 OVERALL KEYPLAN
D2.2 1 : 800

GENERAL LEGENDS	
	EXISTING WALL TO REMAIN
	SCOPE OF WORK
	EXISTING FLOOR, ROOF, CANOPY OR CEILING SURFACES TO BE DEMOLISHED, REPAIRED OR PREPARED AS NOTED. COORDINATE FULL EXTENT WITH ALL OTHERS DISCIPLINES.
	EXISTING FOLDING PARTITION

DEMOLITION NOTES	
FLOOR NOTES	
<ul style="list-style-type: none"> REMOVE EXISTING FLOOR FINISH, INCLUDING BUT NOT LIMITED TO FLOOR FINISH, UNDERLAYMENTS, ADHESIVES, BASE, FASTENERS, TO ORIGINAL CONCRETE SUBFLOOR. MAKE ALL DISTURBED SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH. 	
<p>ENSURE ALL NEW & EX. VARIATIONS IN FLR. HEIGHT WITHIN SCOPE OF WORK, HOWEVER MINOR ARE FEATHERED. LEVELED TO PROVIDE A SLOPE OF NOT MORE THAN 10MM/3000MM.</p> <ul style="list-style-type: none"> REMOVE EXISTING BASEBOARD. REMOVE EXISTING FLOOR SOCKETS AND FILL IT TO MAKE FLOOR CLEAR AND LEVEL. 	
WALL NOTES	
<ul style="list-style-type: none"> REMOVE EXISTING SIGNAGE AND GRAPHICS. PATCH, CLEAN AND MAKE ALL SURFACE LEVEL AND SMOOTH TO RECEIVE NEW FINISH. REMOVE EXISTING INTERIOR WALL FINISH. PATCH, CLEAN AND PREPARE SURFACE TO RECEIVE NEW PAINT. PROTECT ALL EQUIPMENT ON WALLS 	
MECH./ ELEC. NOTES	
<ul style="list-style-type: none"> REFER TO MECHANICAL AND ELECTRICAL DWGS 	



1 GYMNASIUM DEMO. FLOOR PLAN
D2.2 1 : 60

Autodesk Docs://Crestview PS Reno/22057 CRESTVIEW ARCH 22.rvt

Revision Schedule		
Particular	Date	No.
ISSUED FOR TENDER	2023.03.06	1

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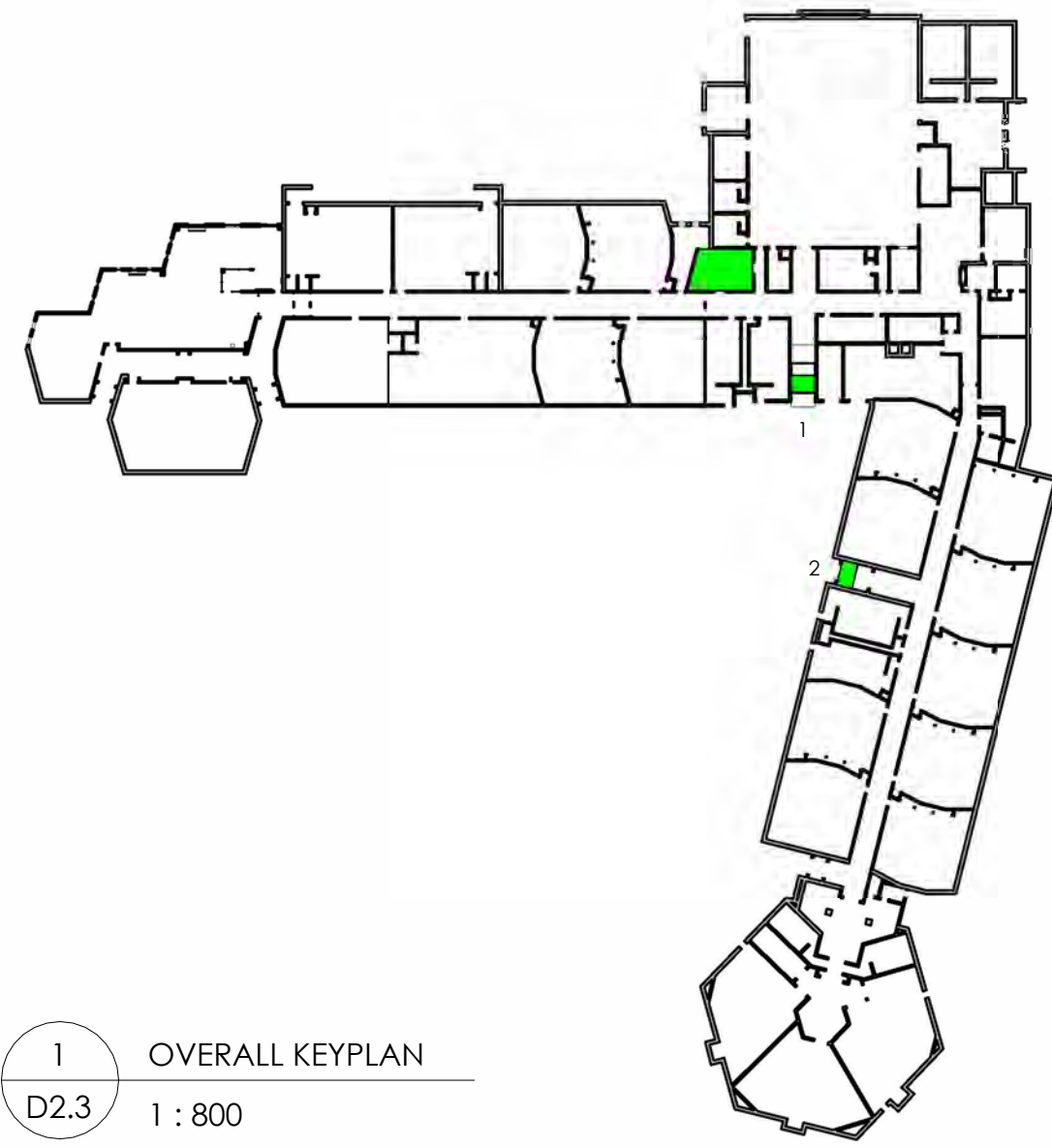
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CRESTVIEW PUBLIC SCHOOL

PROJECT:
22057
RENOVATION

153 MONTCALM DRIVE
KITCHENER, ON
N2B 2R6

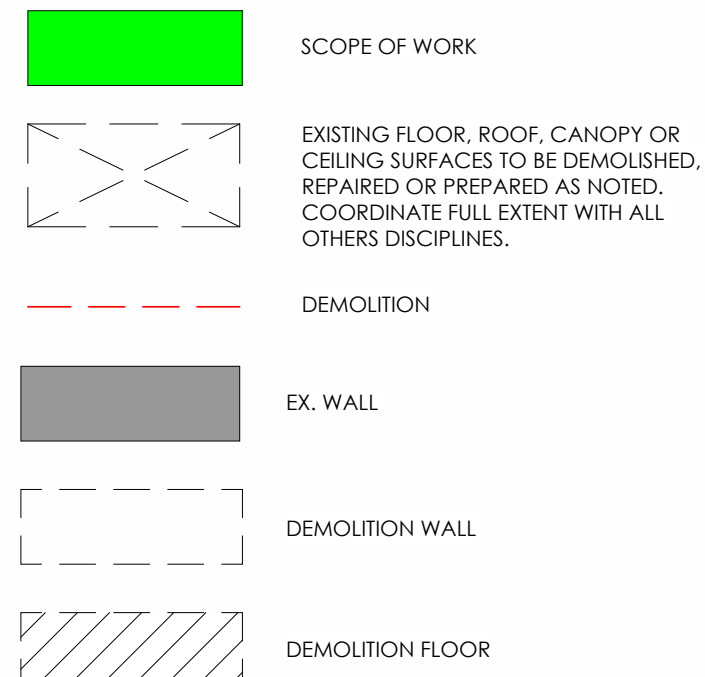
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GYMNASIUM PLAN - DEMOLITION



1 OVERALL KEYPLAN
D2.3 1 : 800

DEMOLITION PLAN LEGEND:



GENERAL DEMOLITION NOTES:

- CONTRACTOR TO VERIFY ALL CONDITIONS ON SITE TO DETERMINE COMPLETE SCOPE OF WORK.
- CONTRACTOR TO SECURE THE WORK SITE DURING DEMO & CONST. & HOARD OFF THE WORK AREA TO PREVENT ACCESS TO ANYONE NOT ENGAGED IN THE WORK OF THIS DEMOLITION / CONST. SCOPE.
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- MAINTAIN SAFE PUBLIC ACCESS TO THE BLDG. DURING OPERATING HOURS & MAINTAIN FULL EMERGENCY ACCESS & EXITING AT ALL TIMES TO & FROM THE BLDG. & PROVIDE PROTECTION TO THE PUBLIC FROM FALLING DEBRIS & CONST. TRAFFIC & POST SIGNAGE AS REQ'D.
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- PERFORM ALL REQUIRED HAZARDOUS MATERIALS REMOVALS & ABATEMENT AS PART OF THIS WORK.
- HAZARDOUS MATERIALS / DESIGNATED SUBSTANCE SURVEY BY:

- ABATEMENT & DEMOLITION INCLUDES THE REMOVAL, PROPER DISPOSAL OFF SITE & RECYCLING WHERE AVAILABLE OF ALL ITEMS INDICATED.
- BEFORE DEMOLITION / REMOVAL OF ANY EXISTING WALL SYSTEMS OR PARTIAL WALL SYSTEMS, CONSULT A STRUCTURAL ENGINEER WHEREVER A LOAD BEARING MEMBER / BEAM / LINTEL / POST / COLUMN ARE AFFECTED. SHOP DWGS. ARE TO BE SUBMITTED BEFORE ANY WORK IS UNDERTAKEN.
- PROVIDE AN ENGINEERED METHODOLOGY REPORT FOR DEMOLITION WHEN REQUIRED BY THE MUNICIPALITY.
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- MAKE GOOD ALL EXISTING SURFACES / SUBSTRATES / OPENINGS TO RECEIVE NEW FINISHES. INFILL AFTER ANY DEMOLITION OF MATERIALS & ENSURE THEY ARE CLEAN & FREE FROM OBSTRUCTIONS SO NEW WORK IS NOT ADVERSELY AFFECTED.
- PROTECT ALL SIGNIFICANT AREAS / ELEMENTS TO REMAIN DURING DEMOLITION TYP.

SALVAGING

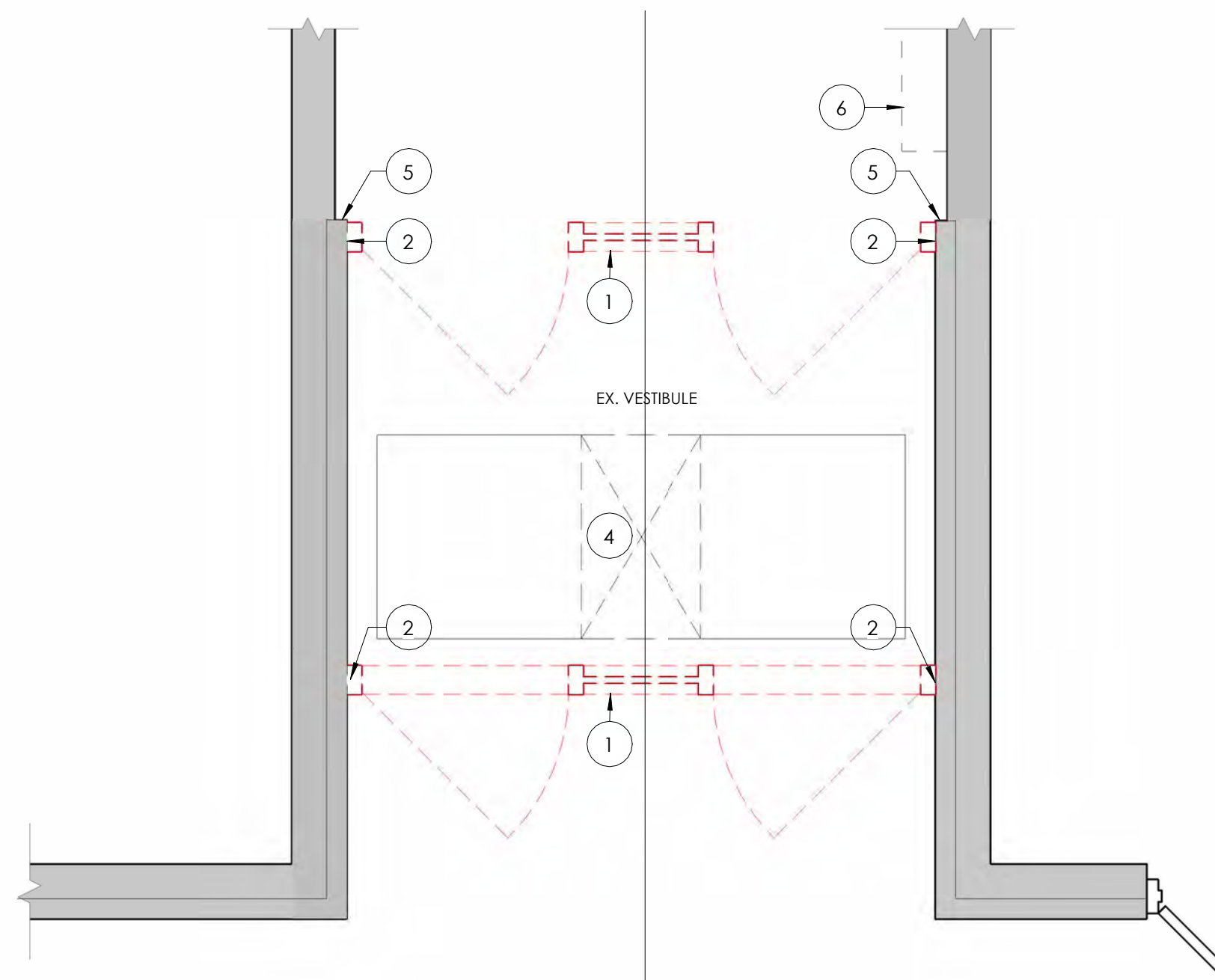
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- SALVAGED ALL E.L.C., LIGHT FIXTURES, DOORS / FRAMES & ASSOCIATED HARDWARE, WINDOWS / FRAMES & ASSOCIATED HARDWARE, CONC. BLOCK (ALSO CONSULT CLIENT FOR ANY ADDITIONAL ITEMS).
- SALVAGE ALL MECH. AIR GRILLES, F.L.E.C., LIGHT SWITCHES, LIGHT FIXTURES, DOORS / FRAMES & ASSOCIATED HARDWARE, WINDOWS / FRAMES & ASSOCIATED HARDWARE.

CUT OUT EXISTING CONCRETE BLOCK MORTAR JOINTS & REMOVE ALL MORTAR FROM CONCRETE BLOCK FACE TO BE EXPOSED.
FILL ALL ABANDONED OPENINGS & PENETRATIONS & RETOOL ALL MORTAR JOINTS TO MATCH EXISTING.

FILL ALL ABANDONED WALL FLOOR & CEILING OPENINGS TO MATCH EXISTING MATERIALS TYPICAL.

VESTIBULE DEMOLITION NOTES:

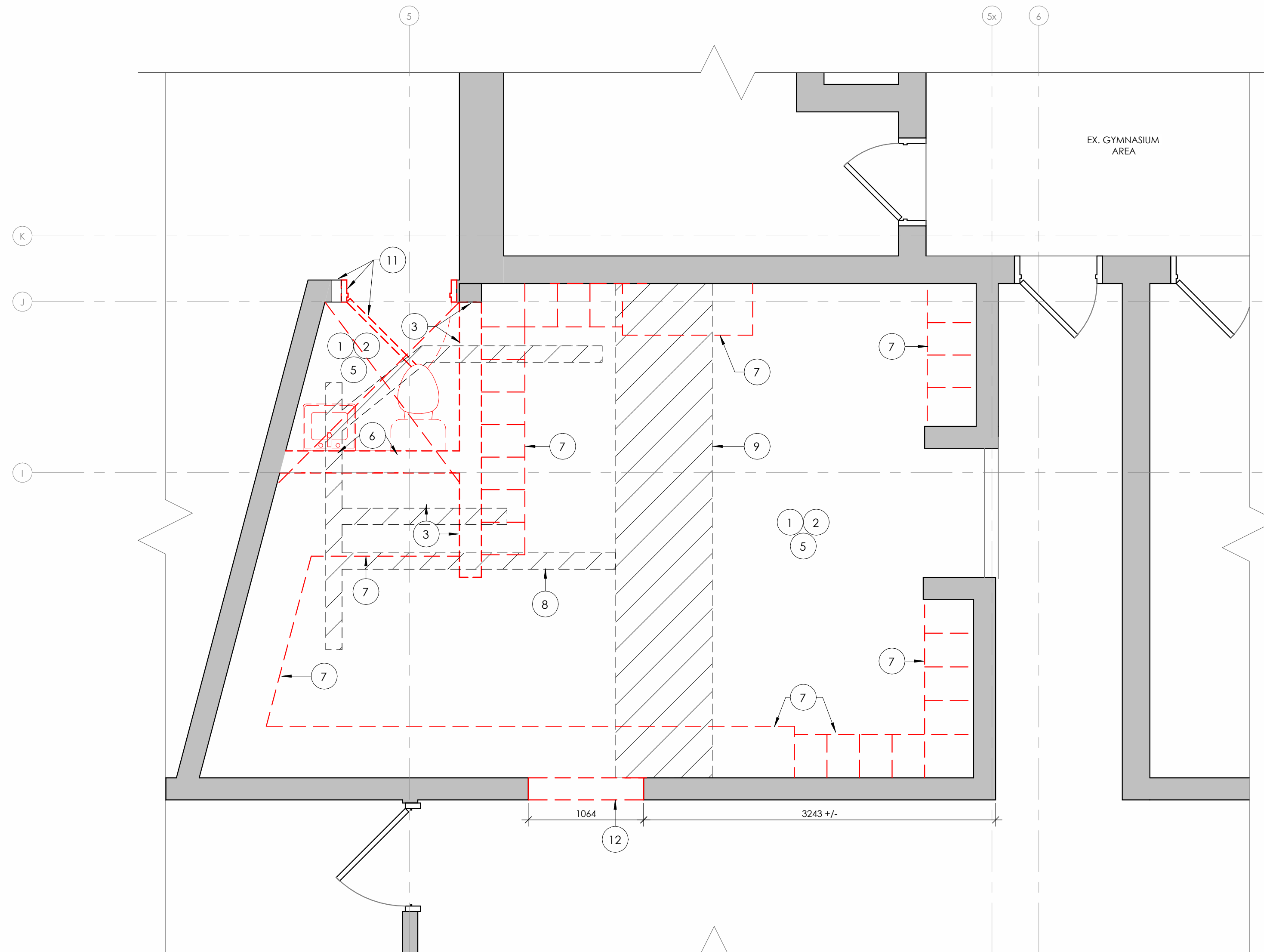
- REMOVE EXISTING ALUMINUM DOORS AND FRAMES, THRESHOLD, ACCESSORIES AND ALL HARDWARES. MAKE ALL SURFACES LEVEL AND SMOOTH TO ACCEPT NEW BR DOORS AND FRAMES
- EXISTING BRICK WALLS AND TERRAZZO FLOOR TO BE PATCHED & MADE GOOD AND CLEANED
- EXISTING ASBESTOS SOFFIT AND VESTIBULE CEILING TO BE REMOVED / ABATED.
- EXISTING TERRAZZO FLOOR BETWEEN EXISTING RECESSED MATS TO BE GRINDED DOWN 16mm DEPTH TO ENLARGE MAT RECESS
- EXISTING TERRAZZO BASE RETURN TO BE SAWCUT
- EXISTING CUH TO BE REMOVED / RELOCATED (REFER TO MECH. DWGS.)



3 DEMOLITION PLAN - EXISTING VESTIBULE 1 & 2
D2.3 1 : 25

WASHROOM DEMOLITION NOTES:

- REMOVE EXISTING FLOOR FINISH, INCLUDING BUT NOT LIMITED TO FLOOR FINISH, UNDERLAYMENTS, ADHESIVES, BASE, FASTENERS, TO ORIGINAL CONCRETE SUBFLOOR. MAKE ALL DISTURBED SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH.
- REMOVE EXISTING CEILING FINISH AND LIGHT FIXTURES & RELATED HARDWARE. MAKE ALL SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH.
- REMOVE EXISTING CONCRETE BLOCK WALL. PATCH AND MAKE GOOD REMAINING EXPOSED SURFACES
- REMOVE EXISTING INTERIOR WALL FINISHES. PATCH, CLEAN AND MAKE ALL SURFACES LEVEL AND SMOOTH TO ACCEPT NEW FINISH.
- REMOVE EXISTING ELECTRICAL WIRES, OUTLETS AND HARDWARES/ACCESSORIES AND RETURNED IT TO SCHOOL BOARD IF REQUESTED. MAKE ALL DISTURBED SURFACES LEVEL AND SMOOTH.
- REMOVE EXISTING PLUMBING FIXTURES AND RELATED HARDWARE, AND EXISTING WALL MOUNTED WASHROOM ACCESSORIES.
- REMOVE EXISTING CHANGEROOM BENCHES, SHELVES, & LOCKERS. RETURN TO SCHOOL BOARD IF REQUESTED.
- EXISTING CONC. FLOOR SLAB TO BE SAWCUT / TRENCHED FOR INSTALLATION OF NEW MECHANICAL PIPES
- EXISTING CONC. FLOOR SLAB TO BE SAWCUT / TRENCHED FOR INSTALLATION OF NEW CONCRETE REINFORCED SLAB WALL FOOTING
- EXISTING CONC. FLOOR SLAB SURFACE TO BE GRINDED DOWN TO PROVIDE SLOPE TO NEW FLOOR DRAIN
- EXISTING DOOR, RELATED HARDWARE, AND FRAME TO BE REMOVED. EXISTING OPENING TO BE ENLARGED TO INSTALL NEW WIDER DOOR (REFER TO DOOR SCHEDULE)
- SAWCUT NEW OPENING IN EXISTING CONC. BLOCK WALL TO INSTALL NEW DOOR (REFER TO DOOR SCHEDULE)



2 DEMOLITION PLAN - UNIV. WASHROOM & CHANGEROOM
D2.3 1 : 30

Revision Schedule

Particular	Date	No.
ISSUED FOR TENDER	2023.03.06	1

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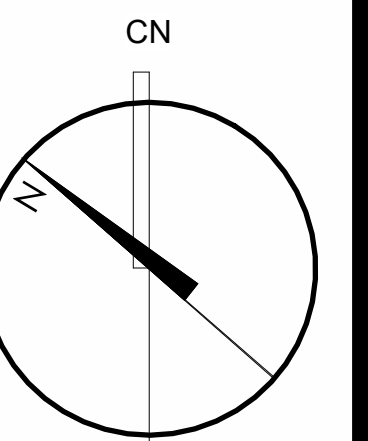
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PROJECT:
22057
RENOVATION

153 MONTCALM DRIVE
KITCHENER, ON
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D2.3

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KITCHENER, ON
N2B 2R6

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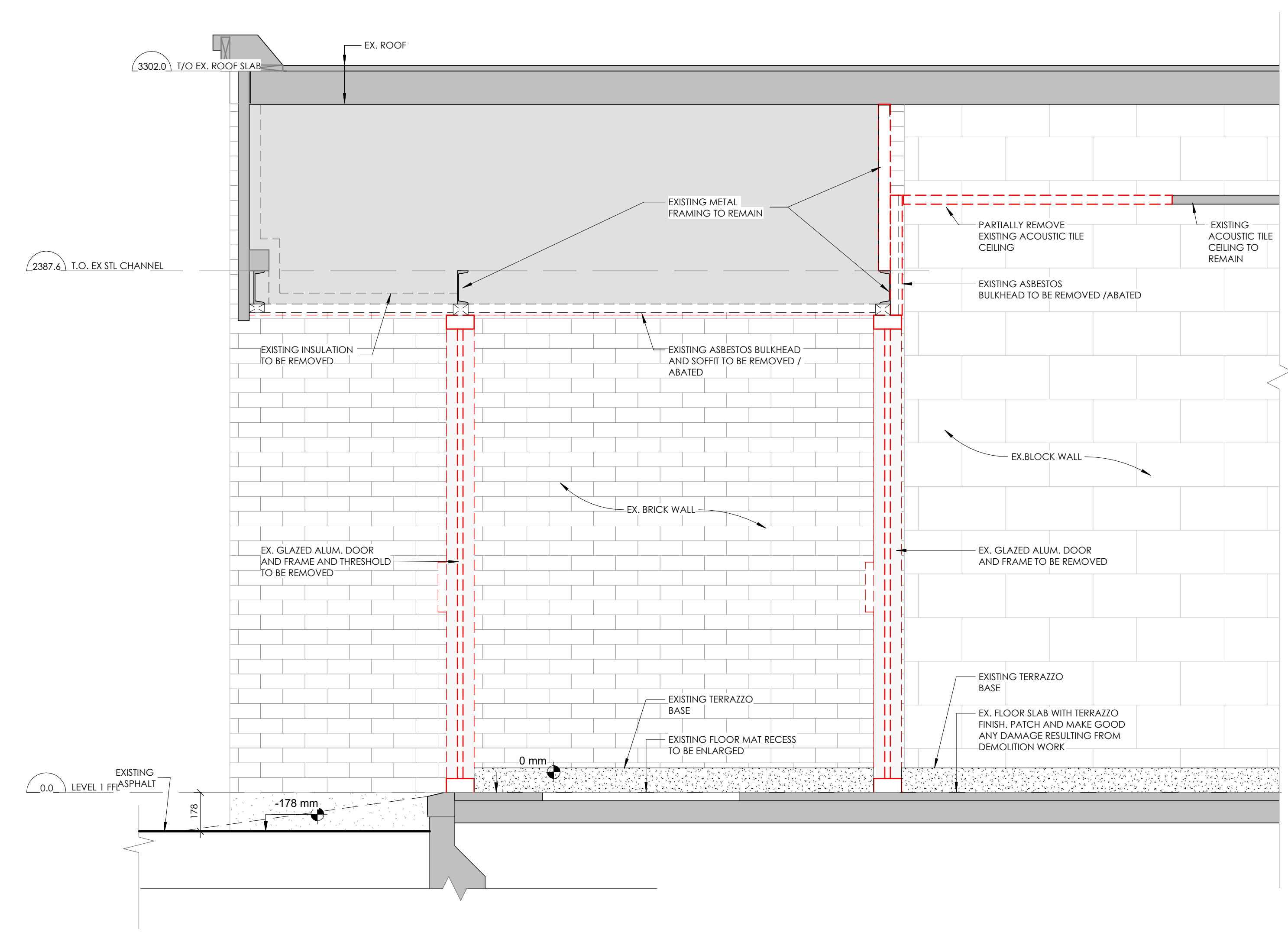
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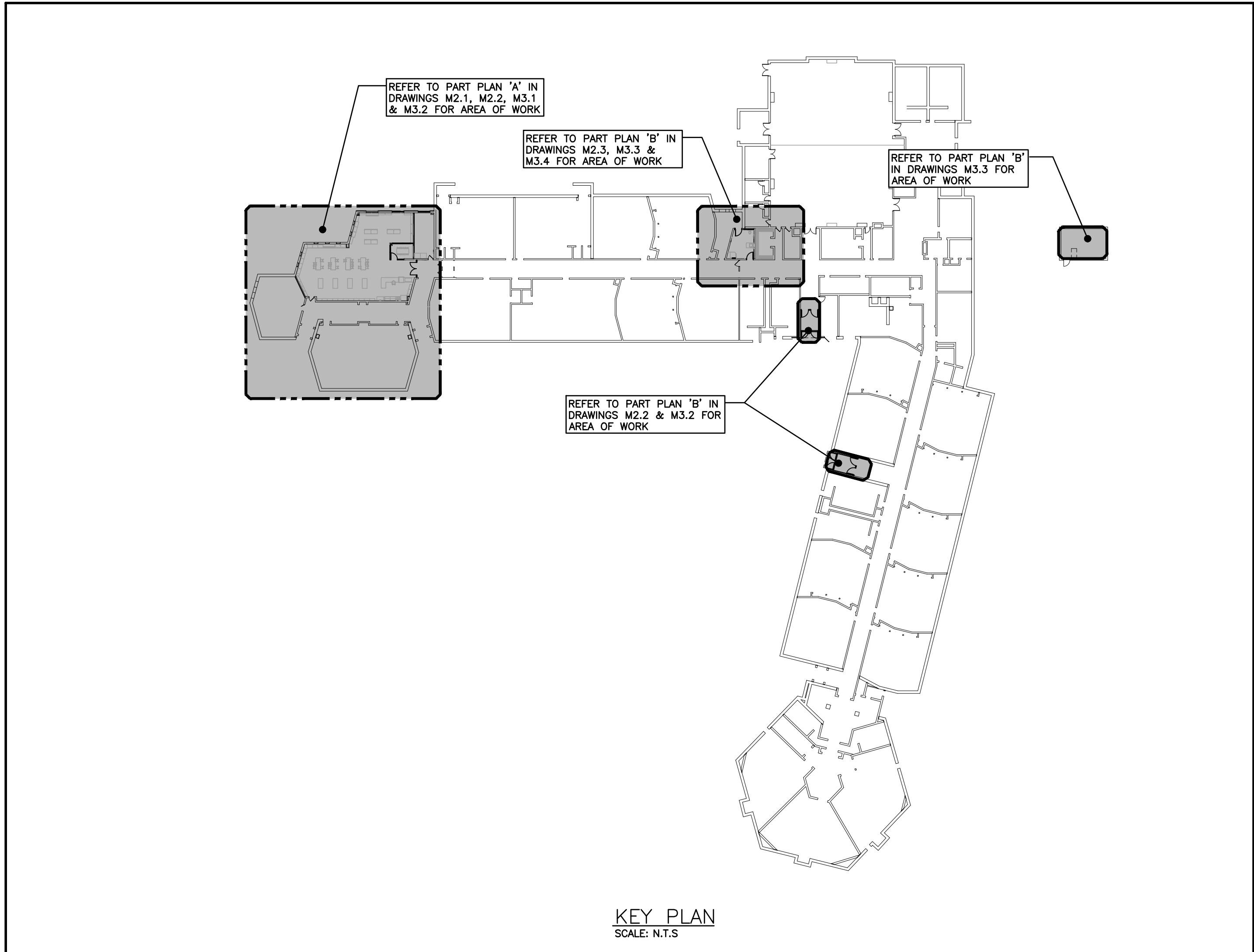
DEMOLITION SECTION - VESTIBULE 1 & 2

D4.1

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1 DEMOLITION SECTION - VESTIBULE 1 & 2
D4.1 1 : 15



MECHANICAL LEGEND

Item	Description	Item	Description	Item	Description
—	CUT EXISTING & CONNECT NEW PIPING	c—	PIPE DOWN	—	SUPPLY AIR DUCT
—	FLOW DIRECTION	o—	PIPE UP	—	RETURN/EXHAUST AIR DUCT
—	DOMESTIC COLD WATER PIPING	—	FLEXIBLE CONNECTION	—	ACOUSTIC DUCT LINING
—	DOMESTIC HOT WATER PIPING	—	REDUCER/INCREASER	—	BRANCH LINE SPIN-IN COLLAR C/W BALANCING DAMPER
—	DOMESTIC HOT WATER RECIRC. PIPING	—	CHECK VALVE	—	BALANCING DAMPER
—	DOMESTIC TEMPERED WATER PIPING	—	UNION	—	OPPOSED BLADE DAMPER
—EX-SAN—	EXISTING SANITARY PIPING ABOVE FLOOR	—	STRAINER	—	MOTORIZED DAMPER (OPPOSED BLADE)
—BY-PAS—	EXISTING SANITARY PIPING BELOW FLOOR	—	PRESSURE & TEMPERATURE TEST STATION	—	FIRE DAMPER
—SAN—	SANITARY PIPING ABOVE FLOOR	—	DRAIN (SCHEMATICS)	—	COMBINATION FIRE/SMOKE DAMPER
—SAN—	SANITARY PIPING BELOW FLOOR	—	SCREWED OR WELDED PIPE CAP	—	SMOKE DAMPER
—EX-ST—	EXISTING STORM PIPING ABOVE FLOOR	—	PLUG VALVE	—	FLEXIBLE ROUND DUCT
—EX-ST—	EXISTING STORM PIPING BELOW FLOOR	—	BALL VALVE	—	RIGID ROUND DUCT
—ST—	STORM PIPING ABOVE FLOOR	—	AV	—	DIFFUSER/GRILLE SIZE (mp), TYPE & CAPACITY (cfm)
—ST—	STORM PIPING BELOW FLOOR	—	BV	—	HYDRONIC HEATING SIZE, TYPE & CAPACITY
—CD—	CONDENSATE PIPING	—	TCV	—	ACCESS DOOR
—V—	VENT PIPING	—	CO	—	EXPANSION COMPENSATOR/JOINT
—HWS—	HEATING WATER SUPPLY PIPING	—	CO	—	RETURN IN CABINET
—HWR—	HEATING WATER RETURN PIPING	—	CO	—	ABOVE FINISHED FLOOR
—RL—	REFRIGERANT LIQUID PIPING	—	CO	—	EXISTING DUCT (SIZE AS INDICATED)
—RS—	REFRIGERANT SUCTION PIPING	—	CO	—	CONCEALED SENSOR
FD	FLOOR DRAIN	—	—	—	
—	TRAP PRIMER	—	—	—	

UNIT VENTILATOR SCHEDULE

Item	Type	Service	Capacity tons	Capacity cfm	Max. O.A. (cfm)	SP in.	Size hp	Heating				Cooling		Electrical			Manufacturer	Model	Remarks			
								Medium	Coil Rows	EWT °F	LWT °F	Capacity MBH	GPM	Medium	Total Cap. MBH	Sens. Cap. MBH				Voltage	MCA	MOCAP
UV-6	FLOOR MOUNTED UNIT VENTILATOR	LITERACY ROOM	2.5	1000	500	0.1	1/3	WATER	2	150	130	45.7	4.6	DX	33.2	24.9	120/1/60	6.3	15	DAIKIN	UAVS9-H10	3-SPEED ECM MOTOR, FACE & BYPASS HEATING COIL, 3-WAY VALVE AT HEATING COIL, 250MM INSULATED REAR PIPE CHASE, DIGITAL READY CONTROLS PACKAGE, REAR OA INTAKE DUCT COLLAR, TWO (2) FULL-DEPTH END PANELS (CUT-OUTS TO BE COMPLETED ON SITE TO SUIT DRAFTSTOP DOWNDRAFT PROTECTION FEATURE & PIPING TUNNEL) C/W MOUNTING HARDWARE & KICK-PLATE (CONFORM CUT-OUTS WITH MANUFACTURER), BOTTOM FRONT RA INLET GRILLE & DRAFTSTOP DOWNDRAFT PROTECTION RA INLET, UNIT MOUNTED DISCONNECT (INSIDE ENCLOSURE), HEATING COIL FREEZE STAT (FACTORY INSTALLED & WIRED), ADJUSTABLE LEG LEVELLERS, PUTTY BEIGE CABINET COLOUR, TAMPER-RESISTANT FASTENERS ON ALL ACCESS DOORS, REPLACEMENT FILTERS C/W ONE EXTRA SET, SECONDARY OVERFLOW DRAIN CONNECTION FOR CONDENSATE PAN, 50MM BASE TO RAISE UNIT, SET FAN TO MEDIUM SPEED, PROVIDE A DECORATIVE EXTERIOR ALUMINUM WALL GRILLE CONSTRUCTION OF HEAVY GAUGE ALUMINUM W/ RECTANGULAR HOLES TO MATCH LOUVER BLADES SPACING TO MAXIMIZE THE AIR OPENING
UV-7	FLOOR MOUNTED UNIT VENTILATOR	LITERACY ROOM	2.5	1000	500	0.1	1/3	WATER	2	150	130	45.7	4.6	DX	33.2	24.9	120/1/60	6.3	15	DAIKIN	UAVS9-H10	

* ACCEPTABLE MANUFACTURERS: DAIKIN, TRANE, ENGINEERED AIR

NOTE: CONTRACTOR RESPONSIBLE TO PROVIDE TEMPORARY HEAT IN ROOMS (TO SATISFACTION OF OWNER & CONSULTANT) IF UNIT VENTILATORS ARE NOT INSTALLED IN TIME FOR HEATING SEASON.
SHOP DRAWING SUBMISSION/UNIT DELIVERY REQUIREMENTS
— SHOP DRAWINGS SHALL BE SUBMITTED TO THE CONSULTANT WITHIN TWO (2) WEEKS OF AWARD OF CONTRACT.
— SHOP DRAWINGS SHALL BE REVIEWED/RETURNED BY THE CONSULTANT WITHIN ONE (1) WEEK OF SUBMISSION.
— CONTRACTOR TO ORDER EQUIPMENT FROM MANUFACTURER IMMEDIATELY UPON RETURNED/APPROVED SHOP DRAWINGS.
— THIS CONTRACTOR SHALL CO-ORDINATE WITH THE MANUFACTURER TO ENSURE UNIT VENTILATOR EQUIPMENT IS DELIVERED TO SITE AND INSTALLED BY DECEMBER, 2023. INCLUDE IN TENDER PRICE FOR PREMIUM COSTS ASSOCIATED WITH MANUFACTURER'S RUSH/ACCELERATED DELIVERY.

GENERAL NOTES

- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PREPARED SPECIFICATION.
- UPON COMPLETION OF THE PROJECT OR UPON COMPLETION OF EACH INDIVIDUAL PHASE OF THE PROJECT THE CONTRACTORS SHALL PROVIDE THE FOLLOWING CERTIFICATES BEFORE CONFORMANCE LETTERS ARE ISSUED BY THE CONSULTANT:
— POTABLE WATER TEST (SEE SPEC 22 11 16 PART 3)

ALL CERTIFICATES ARE TO BE SUBMITTED TOGETHER IN A SINGLE PACKAGE.

AIR COOLED CONDENSING UNIT SCHEDULE

Item	Type	Service	Capacity Tons	Capacity MBH	Compressor			Refrig.	Sat. Suction Temp °F	No. of Cond. Fans	Electrical			Unit Weight lbs	Manufacturer	Model	Remarks
					Type	No.	No. Stages				Voltage	MCA	MOCAP				
CU-1	OUTDOOR ROOF MOUNTED	LITERACY ROOM	3.0	36.0	SCROLL	1	1	R410A	52	1	208/1/60	18.8	35	200±	DAIKIN	DX16SA0371	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL. CONNECT TO UV-6.
CU-2	OUTDOOR ROOF MOUNTED	LITERACY ROOM	3.0	36.0	SCROLL	1	1	R410A	52	1	208/1/60	18.8	35	200±	DAIKIN	DX16SA0371	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL. CONNECT TO UV-7.
CU-3	OUTDOOR ROOF MOUNTED	MEETING ROOM	2.0	24.0	SCROLL	1	1	R410A	52	1	208/1/60	19.6	30	160±	LG	ARUN024GSS4	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL.
CU-4	OUTDOOR ROOF MOUNTED	QUIET ROOM	2.0	24.0	SCROLL	1	1	R410A	52	1	208/1/60	19.6	30	160±	LG	ARUN024GSS4	PROVIDE CONTINUOUS SUPPORT AS PER DETAIL.

* ACCEPTABLE MANUFACTURERS: DAIKIN, TRANE, ENGINEERED AIR

LOUVERED PENTHOUSE SCHEDULE

No.	Type	CFM	SP	Throat in.	Dimensions (LxWxH) in.	# of Louvers
PH-1	EXHAUST	1600	0.03	18x32	25x40x19	3

HEATING COMPONENT SCHEDULE

Item	Type	Size	Capacity MBH	EWT °F	LWT °F	EAT °F	Manufacturer & Model	Remarks
H-1	RELOCATED AND MODIFY RADIATION	AS NOTED	AS NOTED	150	130	70	ENG AIR WF-1A	2 ROW, 24" HIGH CABINET BOTTOM MOUNTED AT 6"-8" AFF. PROVIDED NEW BRACKETS AND COVER
H-2	RADIATION (MOUNTED HIGH)	AS NOTED	AS NOTED	150	130	70	ENG AIR WF-1B	1 ROW, 18" HIGH CABINET, SLOPED TOP & BOTTOM FOR MOUNTING HIGH ON WALL
H-3	RADIATION (ELEMENT ONLY)	AS NOTED	AS NOTED	150	130	70	ENG AIR WF	ELEMENT WITHOUT ENCLOSURE, 2 ROWS, ACCESSORIES TO SUIT INSTALLATION

GENERAL HEATING COMPONENT NOTES:
1. ACCEPTABLE MANUFACTURERS: ENGINEERED AIR, SIGMA, RITTLING, SLANT-FIN, ROSEMEX, DUNHAM-BUSH
4. CABINET FINISHES ARE TO BE FACTORY FINISH PAINTED SELECTED FROM STANDARD MANUFACTURER'S COLOURS UNLESS OTHERWISE NOTED.

SPLIT AIR CONDITIONING UNIT SCHEDULE

Item	Service	Capacity (Tons)	Refrig.	Unit Weight lbs	Max. O.A. (cfm)	MCA	MOCAP	Voltage	Manufacturer & Model	Remarks
DS-1	MEETING ROOM	1	R410A	55±	50	1	15	208/1/60	LG ARNU123TN44	INTERLOCK TO CU-3. PROVIDE POWER FROM CU-3, C/W PT-UMCI GRILLE, PTDCQ COVER, & PTVK410+420 VENTILATION KIT
DS-2	QUIET ROOM	1	R410A	55±	50	1	15	208/1/60	LG ARNU123TN44	INTERLOCK TO CU-4. PROVIDE POWER FROM CU-4, C/W PT-UMCI GRILLE, PTDCQ COVER, & PTVK410+420 VENTILATION KIT

Revision Schedule

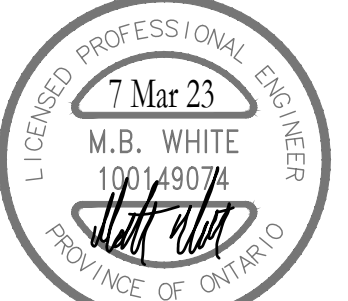
Particular	Date	No.
ISSUED FOR PERMIT AND TENDER	2023.03.07	1



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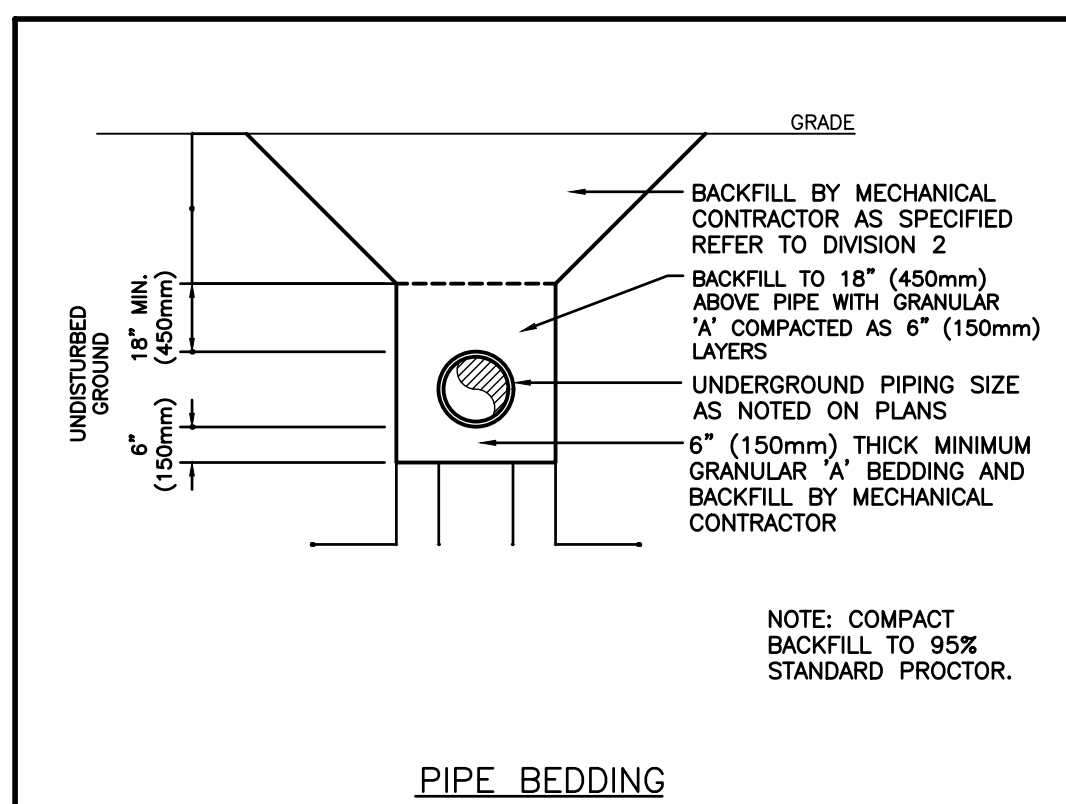
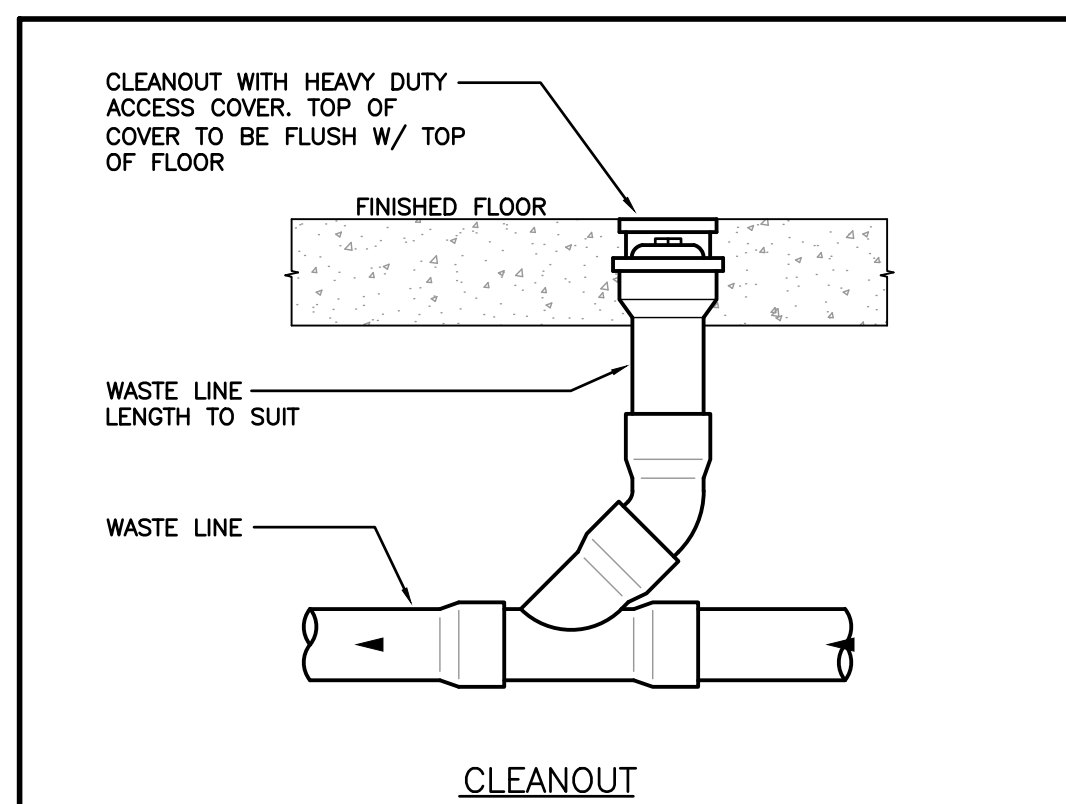
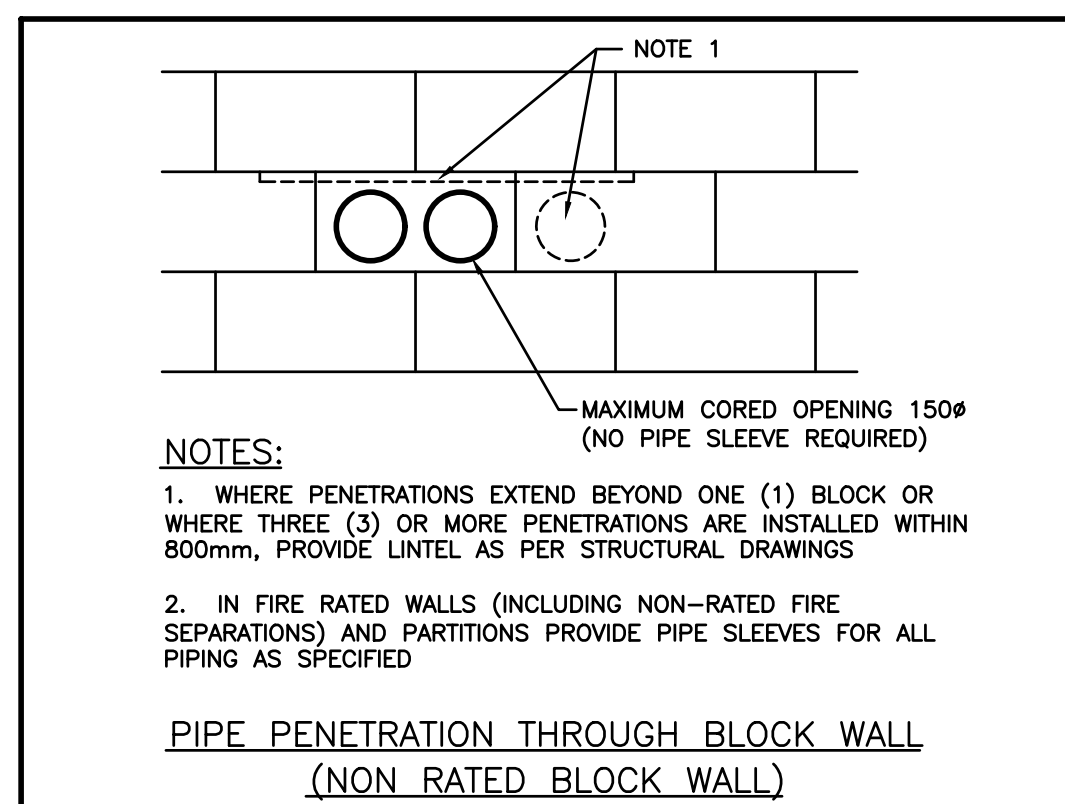
Project Name: CRESTVIEW P.S. RENOVATION
Project Location: 153 MONTCALM DRIVE KITCHENER, ON N2B 2R6
Project Number: 20298

Client: CRESTVIEW PUBLIC SCHOOL



PLUMBING FIXTURE SCHEDULE

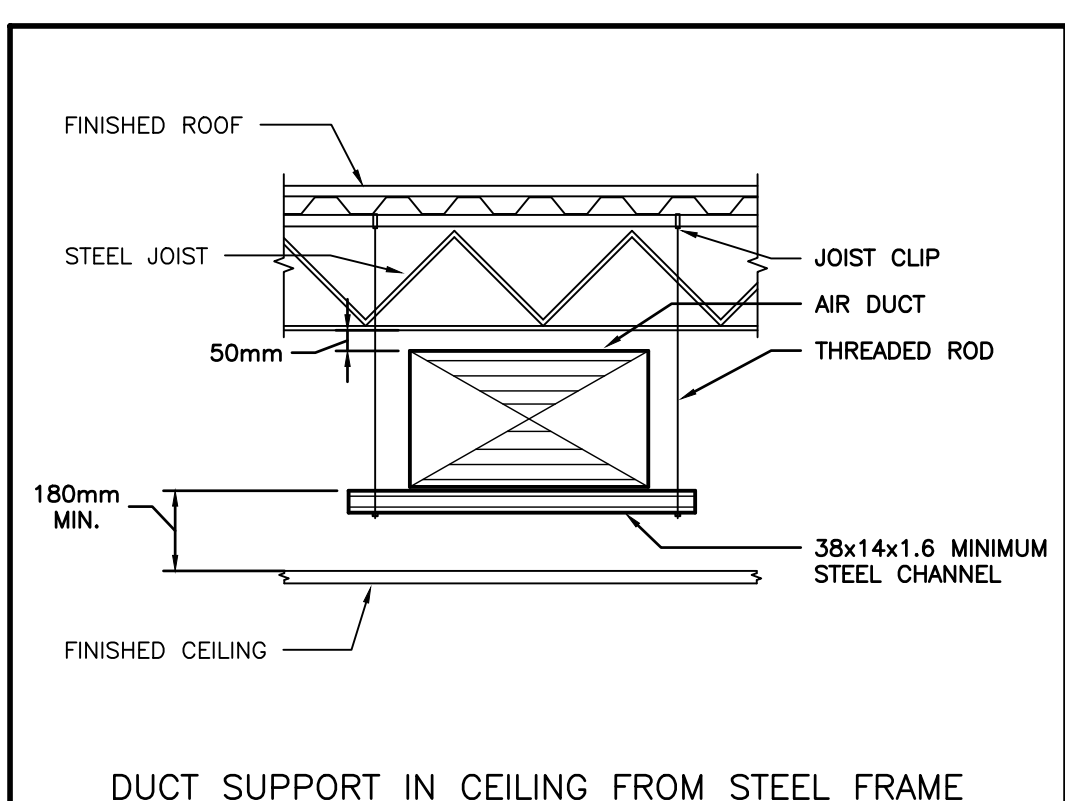
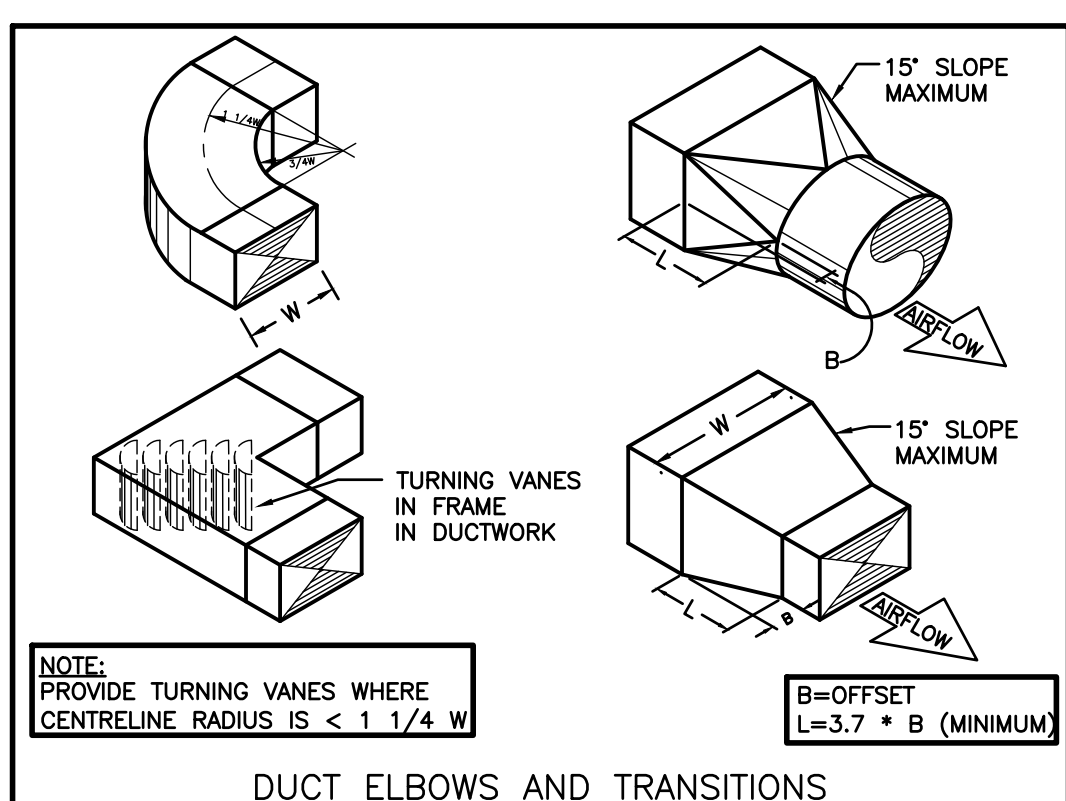
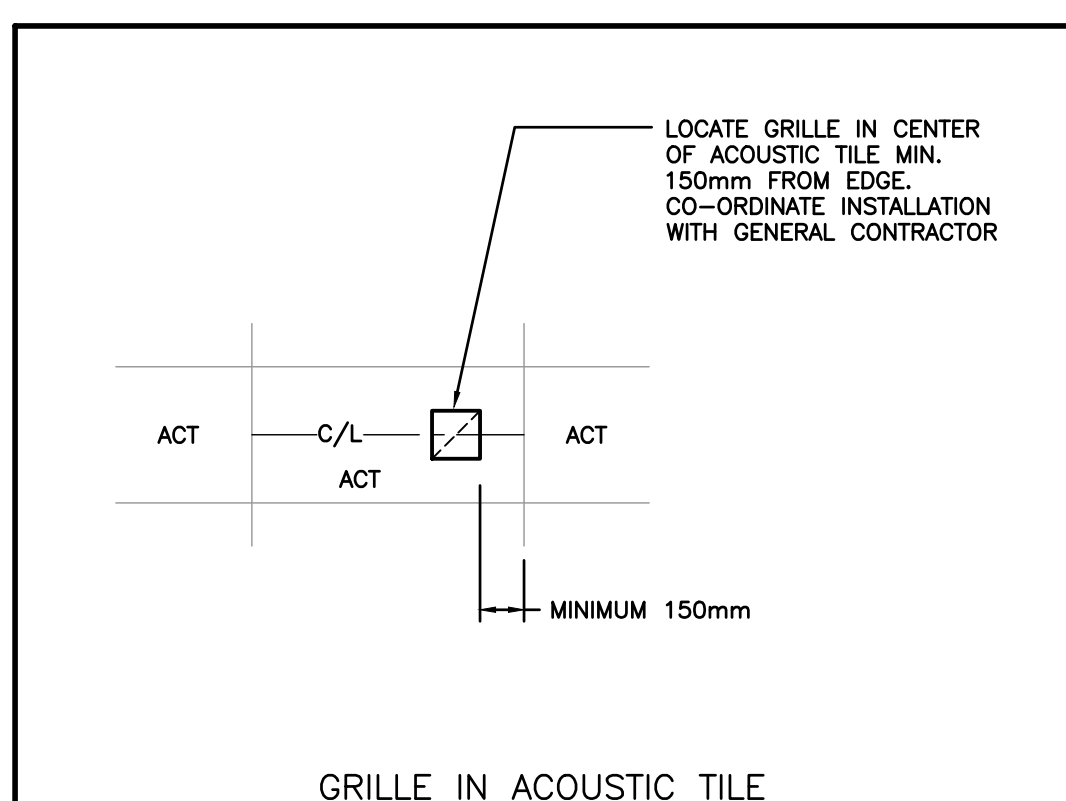
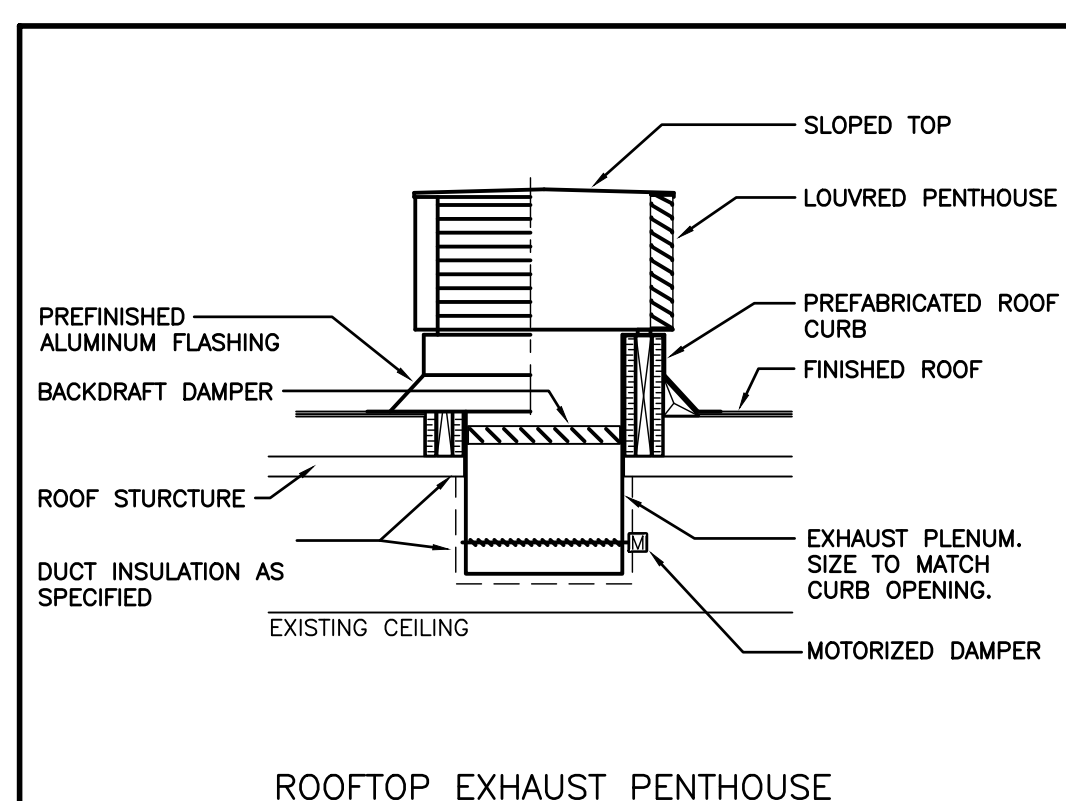
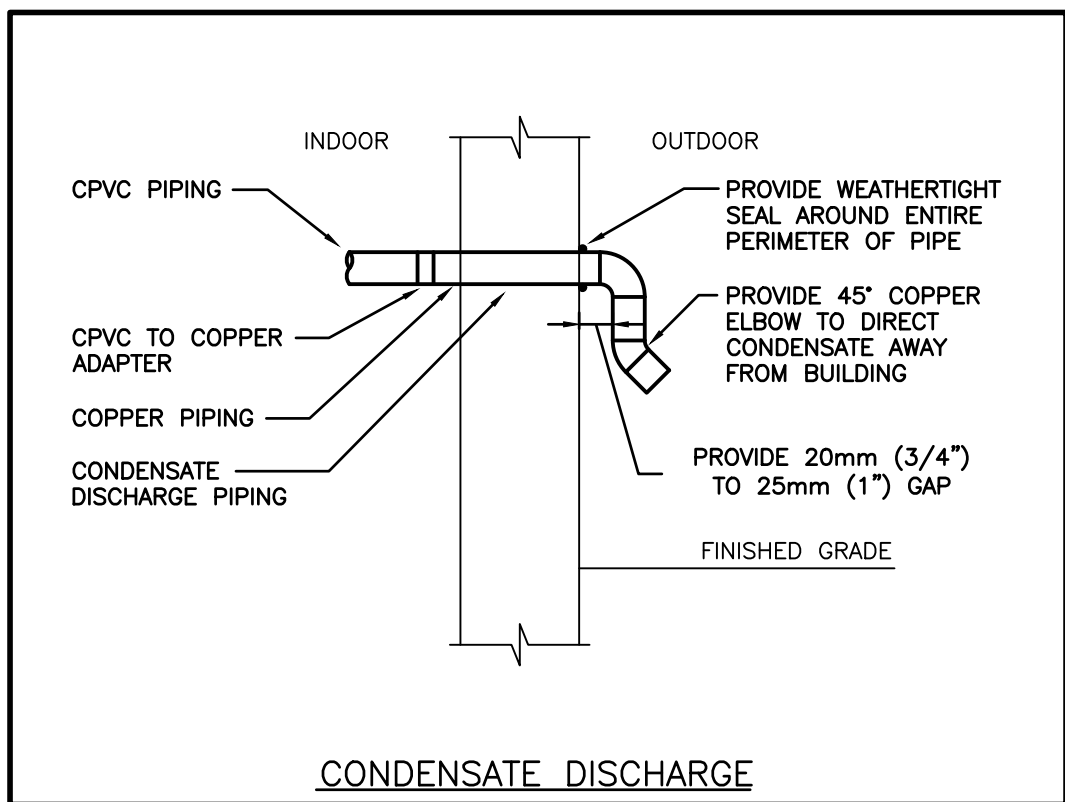
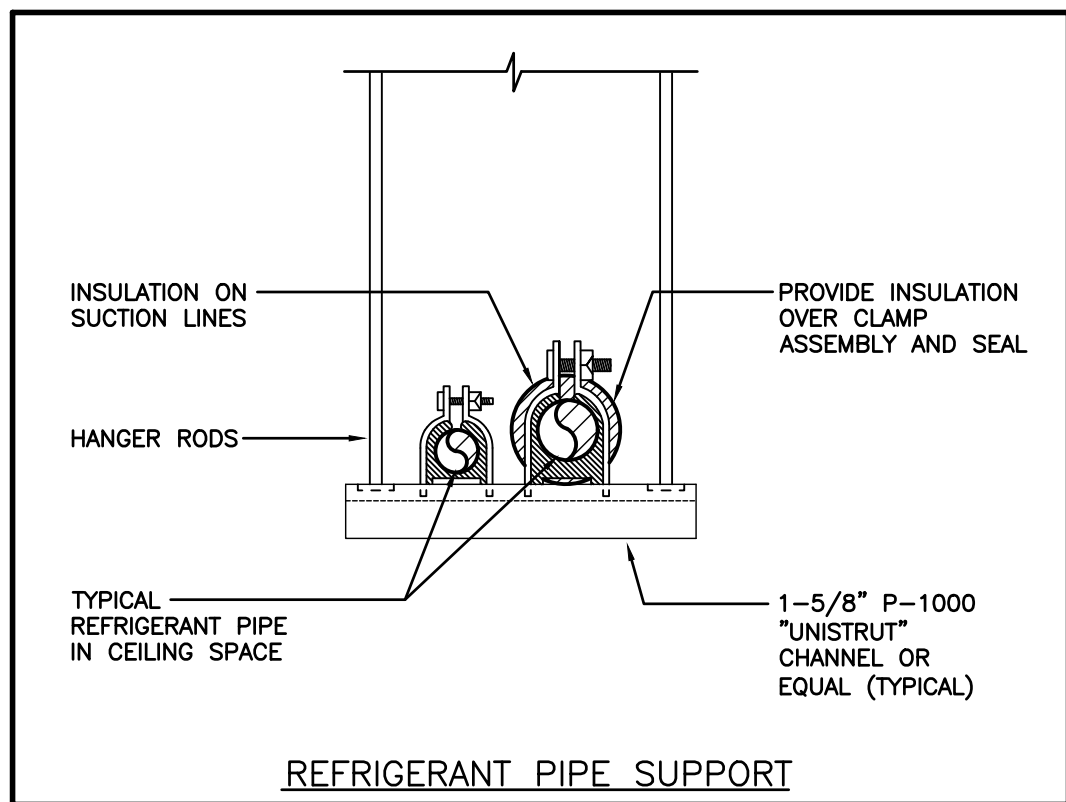
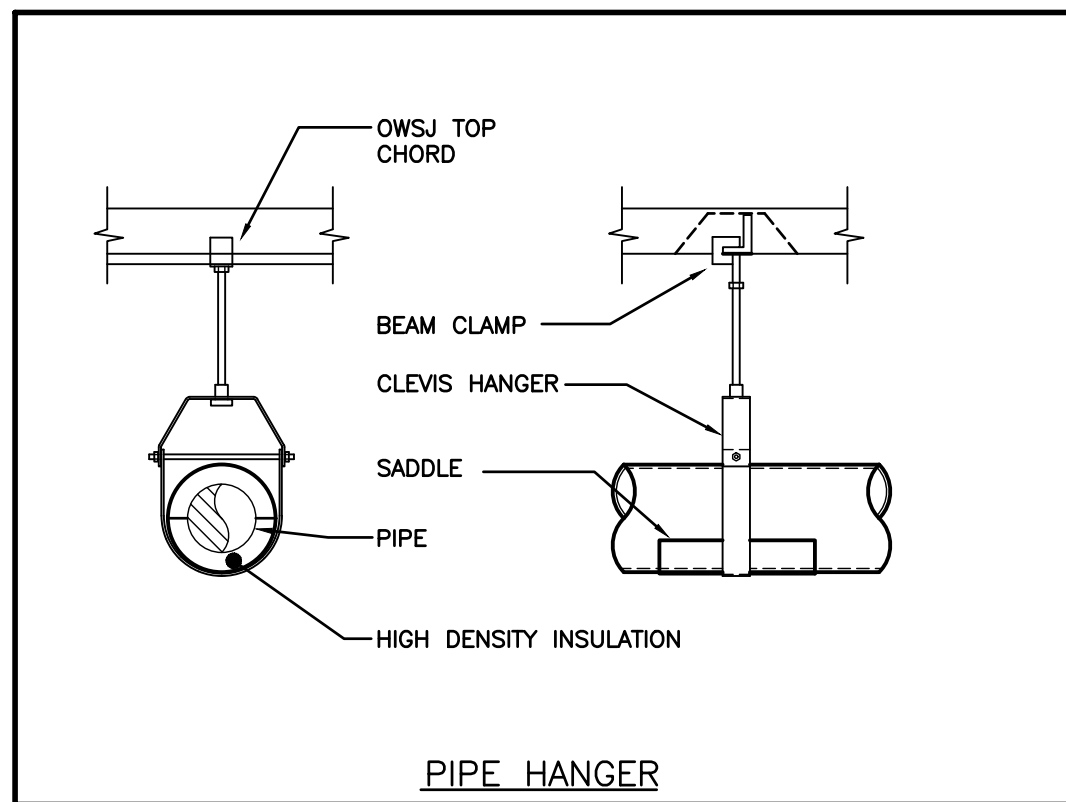
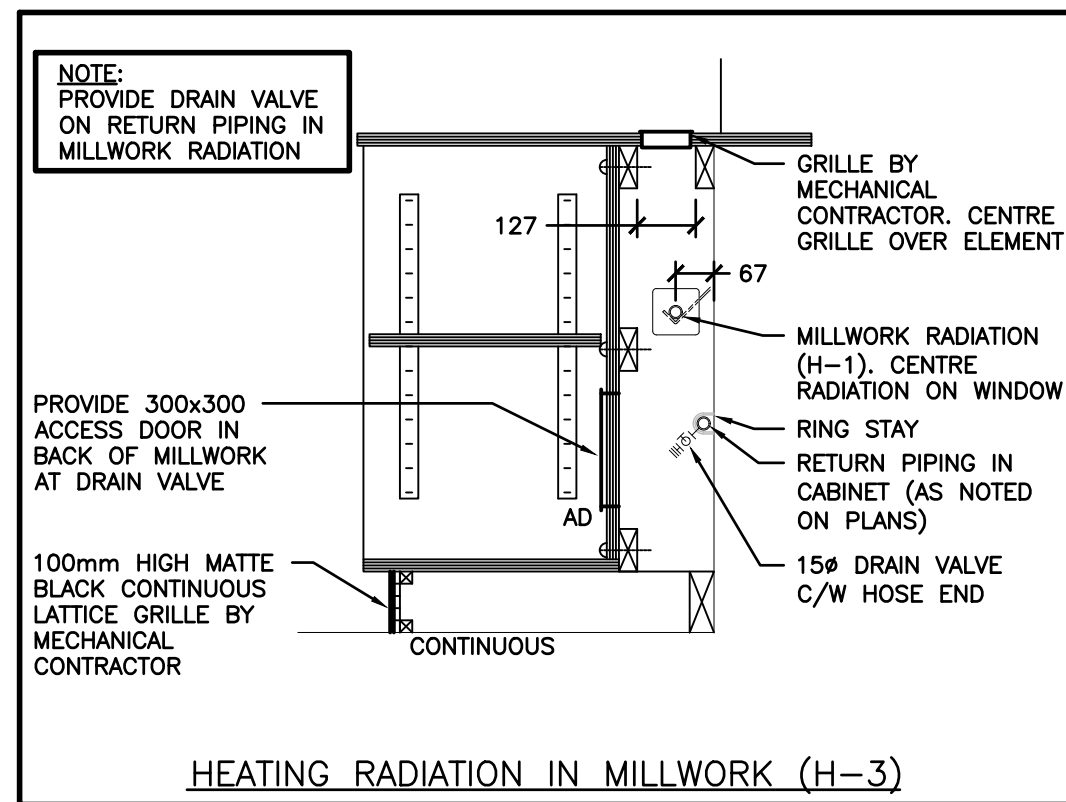
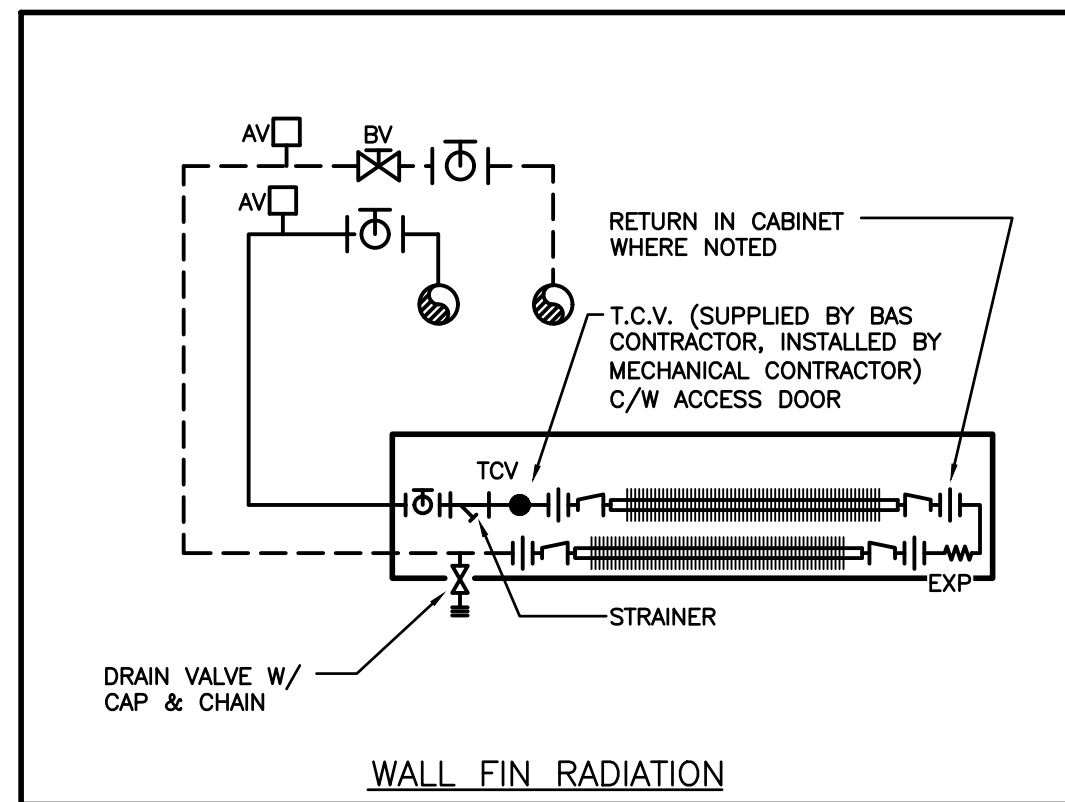
Item	Type	Connection Sizes				Acceptable Manufacturer	Fixture Description	Acceptable Manufacturer	Trim Description	Acceptable Manufacturer	Accessory Description
		HW	CW	TW	Drain						
WC-1	BARRIER FREE WATER CLOSET FLUSH VALVE, 16" HIGH, HANDS FREE (HARDWARE)	25		80	40	AMERICAN STANDARD MADERA 3043.001 KOHLER HIGHCREST K-4302 MANSFIELD ADRIATIC 1319 ZURN ECO VANTAGE Z5665-BWL	BARRIER FREE, 16" TALL TO RIM, VITREOUS CHINA, SIPHON JET, ELONGATED RIM, TOP SPUD FOR FLUSH VALVE, BOLT CAP, BOTTOM OUTLET, FLOOR-MOUNTED, 12" ROUGH-IN, MIN 2" TRAP WAY, MAXIMUM 6 litres (1.5 gal) PER FLUSH.	DELTA 81201-WM5HW ZURN ZEM5600AV SLOAN 111-ES-S	EXPOSED, POLISHED CHROME PLATED, DIAPHRAGM TYPE FLUSH VALVE WITH 25MM (1") SCREWDRIVER ANGLE STOP, MOTORIZED ACTUATOR, AUTOMATIC SENSOR WITH MANUAL PUSH BUTTON OVERRIDE, VACUUM BREAKER ADJUSTABLE TAIL PIECE, AUTOMATIC 8 HR COURTESY FLUSH, RECESSED WALL MOUNTED SENSOR BOX, FLUSH CONNECTION & COUPLING FOR 40MM (1 1/2") TOP SPUD, WALL AND SPUD ESCUTCHEONS, HARDWIRED OPERATED POWER CONVERTOR, SENSOR BOX C/W COVER, VANDAL RESISTANT SCREWS, FLUSH CYCLE SET FOR 6.0 LITRES (1.6 GAL) PER FLUSH. COORDINATE SENSOR SITS ABOVE TOILET SEAT AND GRAB BARS	SEAT: BLACK, ELONGATED, OPEN FRONT WITH COVER, MOLDED SOLID ANTIMICROBIAL PLASTIC, STAINLESS STEEL CHECK HINGES, STAINLESS STEEL OR SOLID BRASS INSERT POST. PROVIDE ROUGH-IN FOR FUTURE PORTABLE BIDET SEAT C/W 15° COLD WATER, RP BACKFLOW PREENTOR AND DEICATED SANITARY DRAIN.	
L-1	B.F. WALL MOUNTED LAV ELECTRONIC FAUCET (HARDWARE)	15	15		32	AMERICAN STANDARD MURRO 0954 000 KOHLER PINOIR K-2035-4-0	WALL-HUNG SINK, VITREOUS CHINA, WITH SPLASH LIP AND SHROUD, SUPPLY OPENINGS ON 100 MM (4") CENTRES, SHROUD/KNEE CONTACT GUARD #0059 020, OVERFLOW, SIZE: 540 MM X 520 MM (21 1/4" X 20 1/2").	DELTA 591T0250 MOEN COMMERCIAL C48301-AC ZURN Z6915-HW6-XL	HARDWIRED ELECTRONIC FAUCET, CAST BRASS ONE PIECE BODY WITH INTEGRAL WATER PROOF INFRARED SENSOR AND CONNECTOR, ADJUSTABLE SENSING RANGE 76mm TO 381mm (3" TO 15") AND TIME OUT 15 TO 75 SECONDS CHROME FINISH, VANDAL RESISTANT AERATOR HAVING INTEGRAL FLOW CONTROL FOR 1.5gpm (5.7 L/MIN) @ 413 KPA (60 PSI) MAX. UNDER COUNTER PLASTIC SURFACE MOUNTED HOUSING FOR SOLENOID AND CONTROLLER, SENSOR ACTIVATES IN PRESENCE OF PERSON'S HANDS IN LAVATORY. C/W FLUG-IN TRANSFORMER.	INSULATION: MOCURE FROWRAP PW8902 TRUEBRO LAV GUARD INSULATION: INSULATE WASTE AND SUPPLIES WITH UL LISTED PREFORMED INSULATION SYSTEM COMPLETE WITH SEAMLESS JACKET. WASTE FITTING: NPS 32 MM (1 1/4") OFFSET WASTE WITH OPEN GRID STRAINER. PROVIDE FLOOR MOUNTED WALL CARRIER THERMOSTATIC MIXING VALVE UNDER LAV. DELTA 591T, POWERS LM490 OR EQUAL. (SET TO 105°F) IN RECESSED CONTROL BOX. PROVIDE ACCESS DOOR ADJACENT TO LAVATORY TO ACCOMMODATE JUNCTION BOX & MIXING VALVE CONTROL BOX INTERFERING WITH SHROUD/COVER	
S-1	STAINLESS STEEL SINGLE SINK	15	15		40	KINDRED LBS6808-1/3 NOVANNI 1017	SINK: SINGLE COMPARTMENT, LEDGE-BACK, FROM 1.0 mm (20 GAUGE) THICK TYPE 302 POLISHED STAINLESS STEEL, SELF-RIMMING, UNDERCOATED, CLAMPS. OVERALL SIZES: 520 mm X 510 mm X 200 mm (20 1/2" X 20" X 8").	DELTA 26C3933 ZURN Z82300-CP8 MOEN COMMERCIAL 8701	FAUCET: CHROME PLATED BRASS, WITH RIGID/FIXED SWING SPOUT, AERATOR, SINGLE LEVER HANDLE, WASHERLESS CONTROLS, ACCESSORIES TO LIMIT MAXIMUM FLOW RATE TO 8.35 l/min (2.2 gpm) AT 413 kPa (60 psi).	WASTE FITTING: INTEGRAL STAINLESS STEEL BASKET STRAINER/STOPPER, TAILPIECE, CAST BRASS P-TRAP WITH CLEANOUT. THERMOSTATIC MIXING VALVE UNDER SINK. DELTA R3070-MIXLF, POWERS LM490 OR EQUAL.	
SV-1	BARRIER FREE SHOWER SUPPLY VALVE	15	15					DELTA T13H153 MOEN SLOAN	CHROME PLATED BRASS SUPPLY FITTINGS WITH VOLUME CONTROL, PRESSURE BALANCING MIXING VALVE, SCREWDRIVER STOPS, CHROME PLATED BALL JOINT FULLY ADJUSTABLE SPRAY PATTERN SHOWER HEAD WITH BENT SHOWER ARM AND ESCUTCHEON. PROVIDE ACCESSORIES TO LIMIT MAXIMUM FLOW RATE TO 6.6 LITRES (1.75 GPM)/MINUTE AT 413 KPA (60 PSI).		
FD-1	FLOOR DRAIN			NOTED	40	ZURN ZN4158 MIFAB F1100-C CONTOUR C2000-R6 WATTS FD-100-C-A	GENERAL DUTY CAST IRON BODY, ADJUSTABLE HEAD, NICKEL BRONZE STRAINER, INTEGRAL SEEPAGE PAN, AND CLAMPING COLLAR. USE SQUARE STRAINER IN TILED AREAS AND ROUND STRAINER ELSEWHERE. C/W TRAP PRIMER				
HD-1	HUB DRAIN			NOTED	40	ZURN Z415 C/W Z-400-S MIFAB F1100-C-DD CONTOUR C2000-F WATTS FD-100-C-DD	GENERAL DUTY HUB DRAIN CAST IRON BODY, CLAMPING COLLAR, NICKEL-BRONZE ADJUSTABLE HEAD HUB. C/W TRAP PRIMER.				



GRILLE SCHEDULE

Item	Type	Manufacturer & Model	Finish	Remarks
R1	CEILING RETURN	KRUEGER EGS	BRITISH WHITE	ALUMINUM C/W CHANNEL FRAME, LAY-IN
R2	CEILING RETURN/EXHAUST	KRUEGER S580	BRITISH WHITE	ALUMINUM, 3/4" BLADE SPACING, FIXED DEFLECTION, SCREWED FASTENING
R3	SIDEWALL RETURN	KRUEGER S580	BRITISH WHITE	ALUMINUM, FIXED DEFLECTION, 3/4" SPACING, C/W SCREWED FASTENING
R4	TOE SPACE GRILLE	KRUEGER I380	BRITISH WHITE	PUNCHED STEEL AT 25MM X 25MM (1"x1") SPACING WITH 15MM X 15MM (1/2"x1/2") HOLE. SCREW FASTENING AND FINISH SELECTED BY CONSULTANT.
S1	MILLWORK GRILLE	KRUEGER 1800	BRITISH WHITE	LINEAR BAR GRILLE, LAY-IN, PENCIL PROOF, 15° DEFLECTION, REMOVABLE CORE

GENERAL DIFFUSER/GRILLE NOTES:
1. ACCEPTABLE MANUFACTURERS: EH PRICE, NAILOR, TITUS, KRUEGER, CARNES, METALAIRE, TUTTLE & BAILEY
2. GRILLE COLOURS ARE SELECTED BY ARCHITECT FROM STANDARD COLOUR CHART, UNLESS OTHERWISE NOTED.
3. PAINT INTERIOR OF DUCTWORK BEHIND GRILLE MATTE BLACK (WHERE VISIBLE THRU GRILLE).



Revision Schedule

Particular	Date	No.
ISSUED FOR PERMIT AND TENDER	2023.03.07	1

DEI
Consulting Engineers
MECHANICAL | ELECTRICAL | AQUATIC

55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-725-3555
Website: deiassociates.ca
Project Number: 20298

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Project Location: **153 MONTCALM DRIVE KITCHENER, ON N2B 2R6**
Project Number: **20298**

Client: **CRESTVIEW PUBLIC SCHOOL**



M1.2

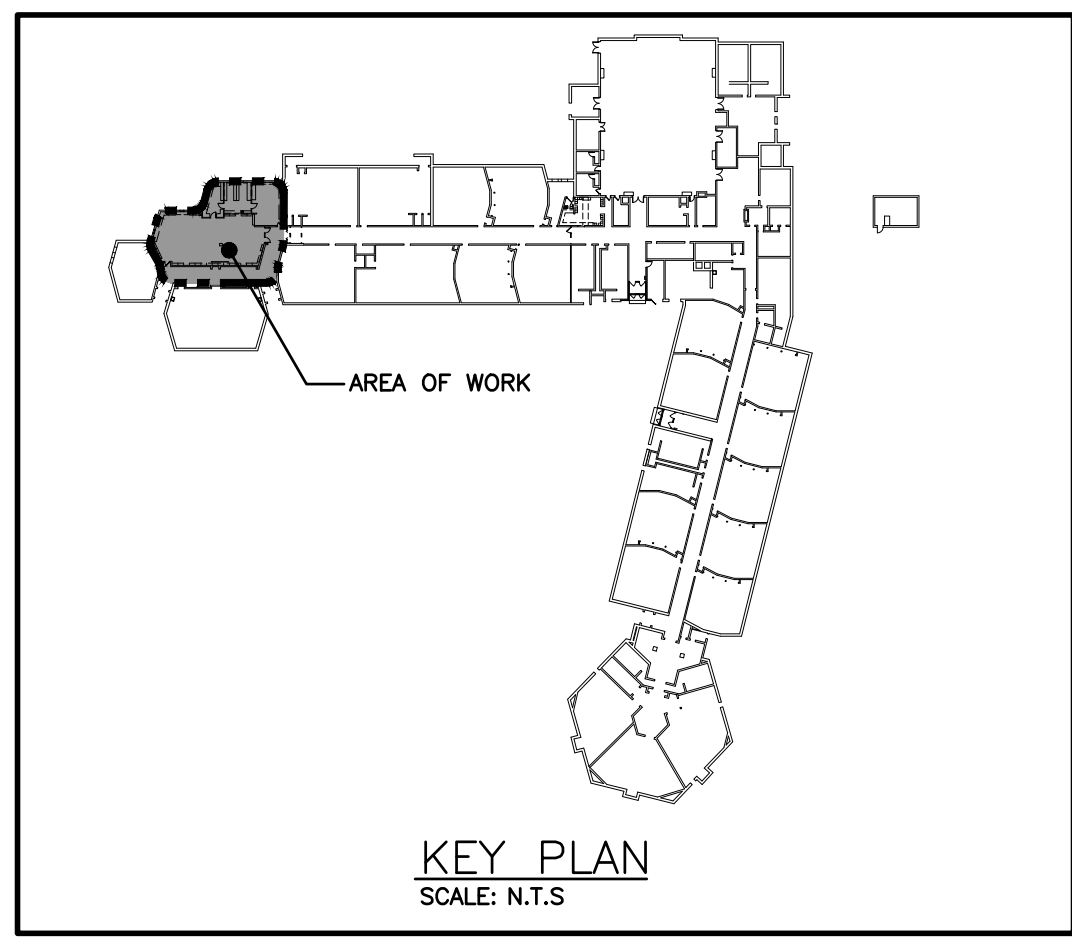
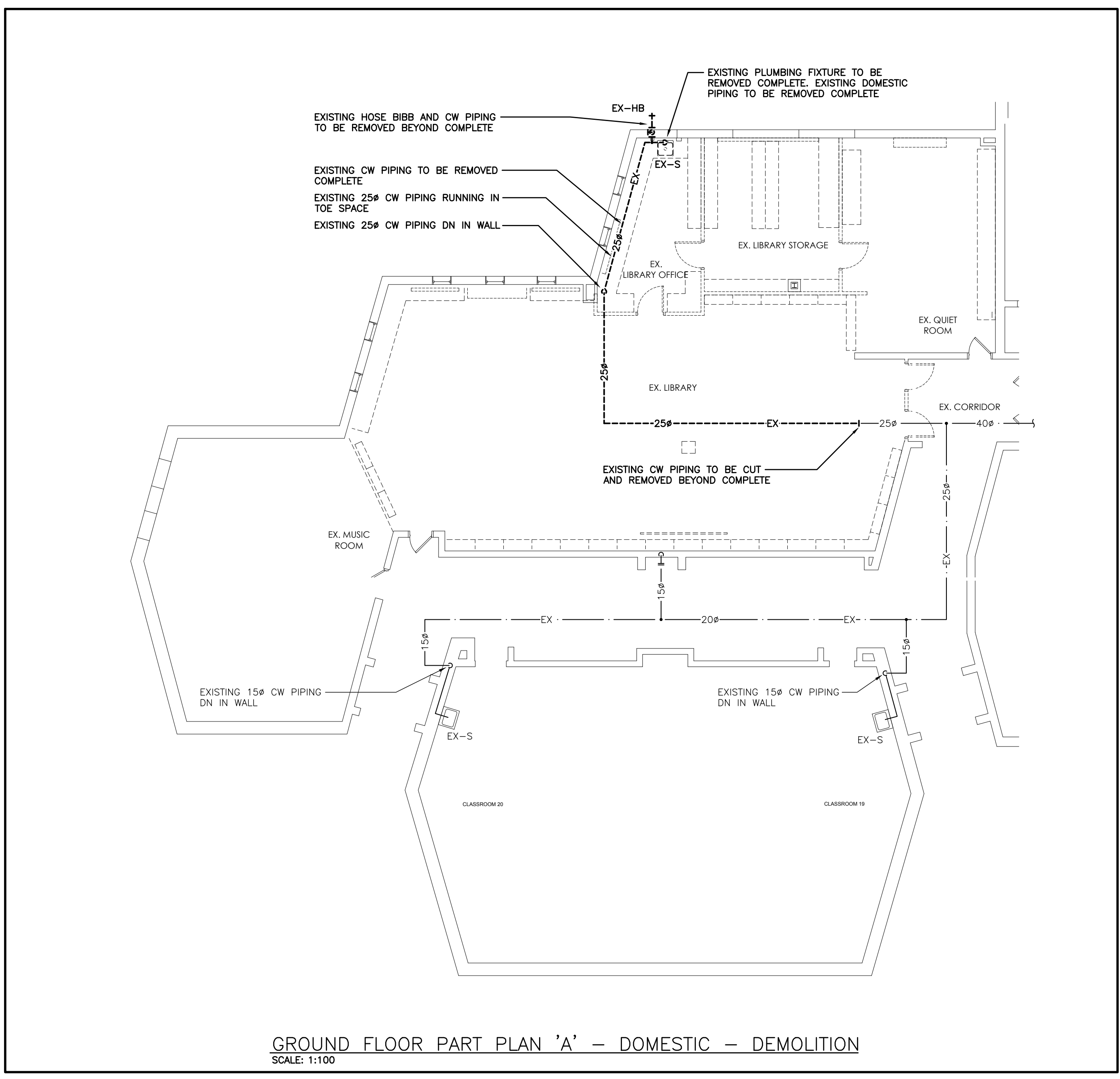
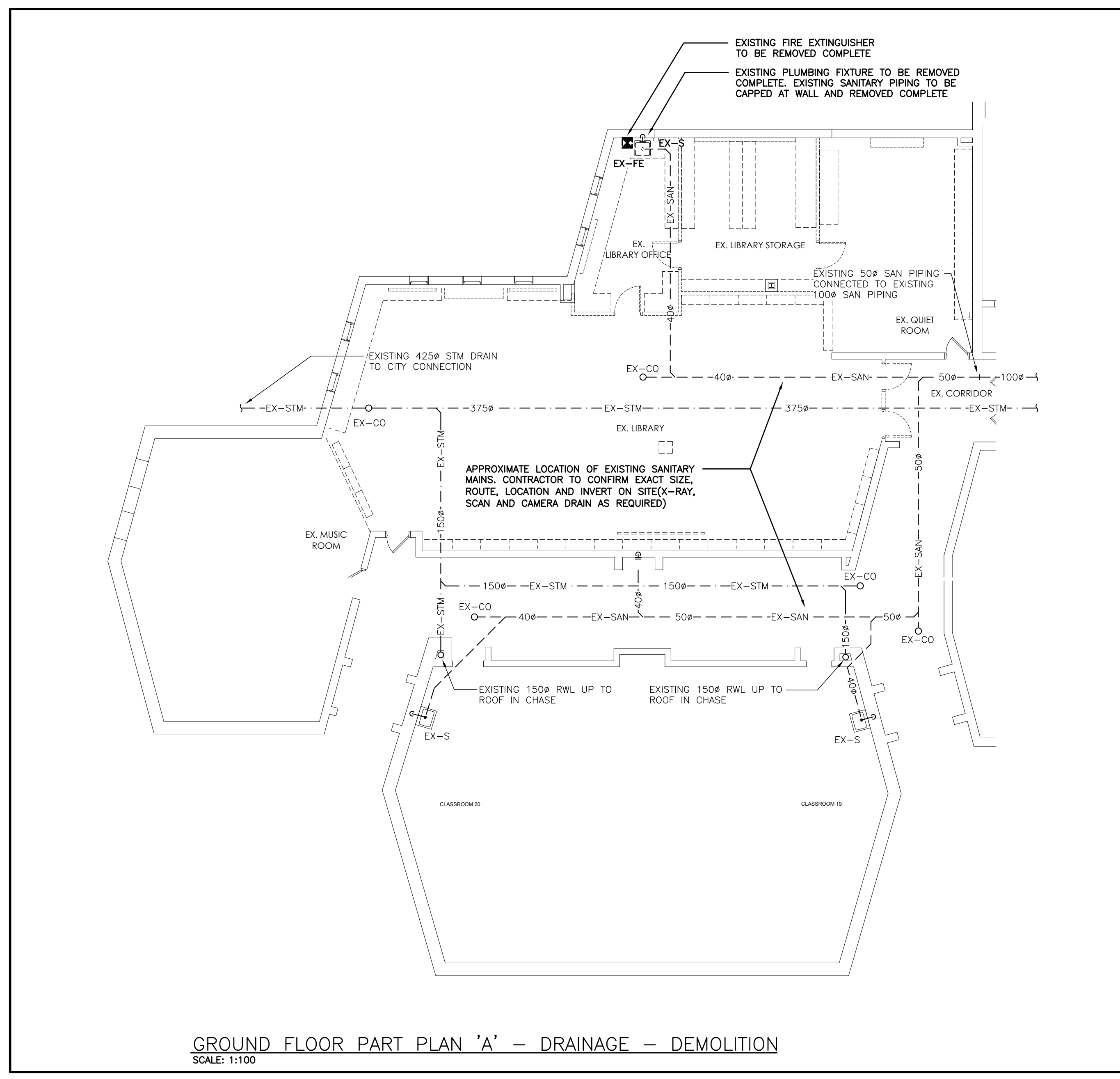
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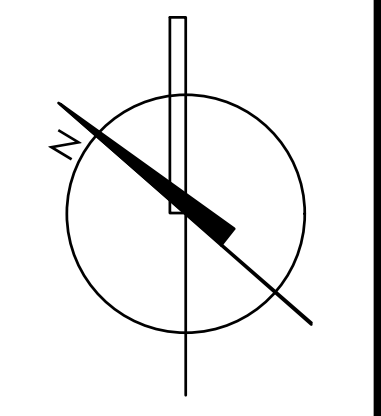
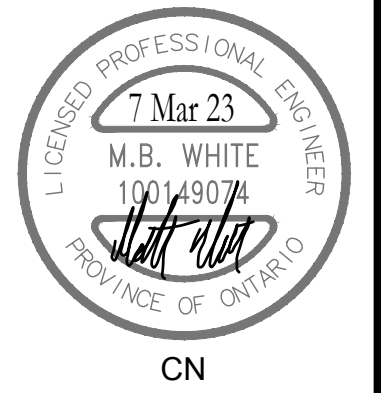
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- GENERAL DEMOLITION NOTES**
- EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
 - EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR RENOVATED SHALL REMAIN AS PRESENTLY INSTALLED AND OPERATING.
 - THIS CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ON SITE ALL LOCATIONS AND SIZES OF ALL SERVICES & EQUIPMENT PRIOR TO THE COMMENCEMENT OF WORK.
 - ALL OPENINGS THAT RESULT FROM THE REMOVAL OF EQUIPMENT OR SERVICES SHALL BE NEATLY PATCHED WITH SUITABLE NEW MATERIALS TO SUIT EXISTING CONSTRUCTION.
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M2.1

GROUND FLOOR PART PLANS 'A' - DEMOLITION

Revision Schedule

Particular	Date	No.
ISSUED FOR PERMIT AND TENDER	2023.03.07	1

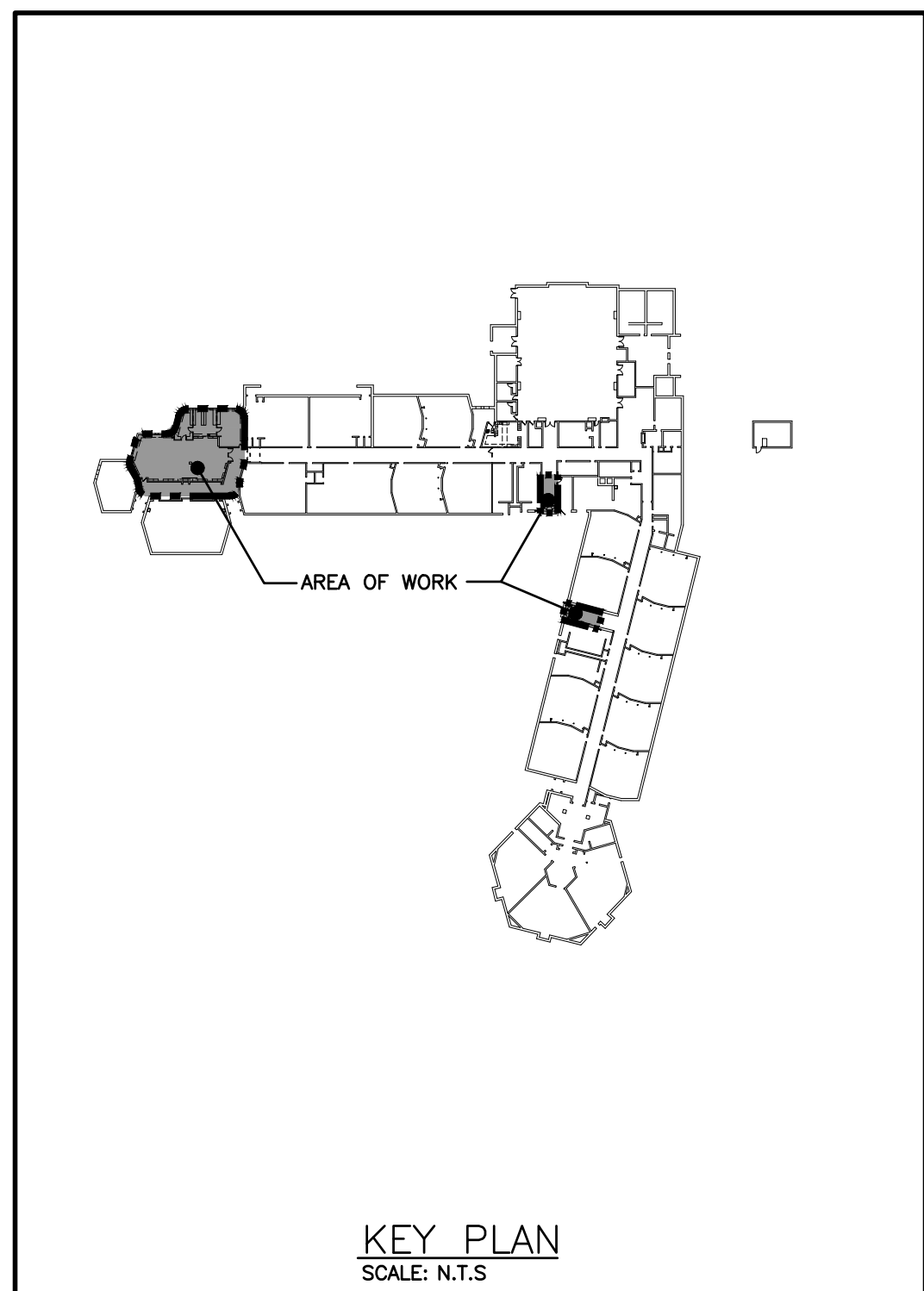
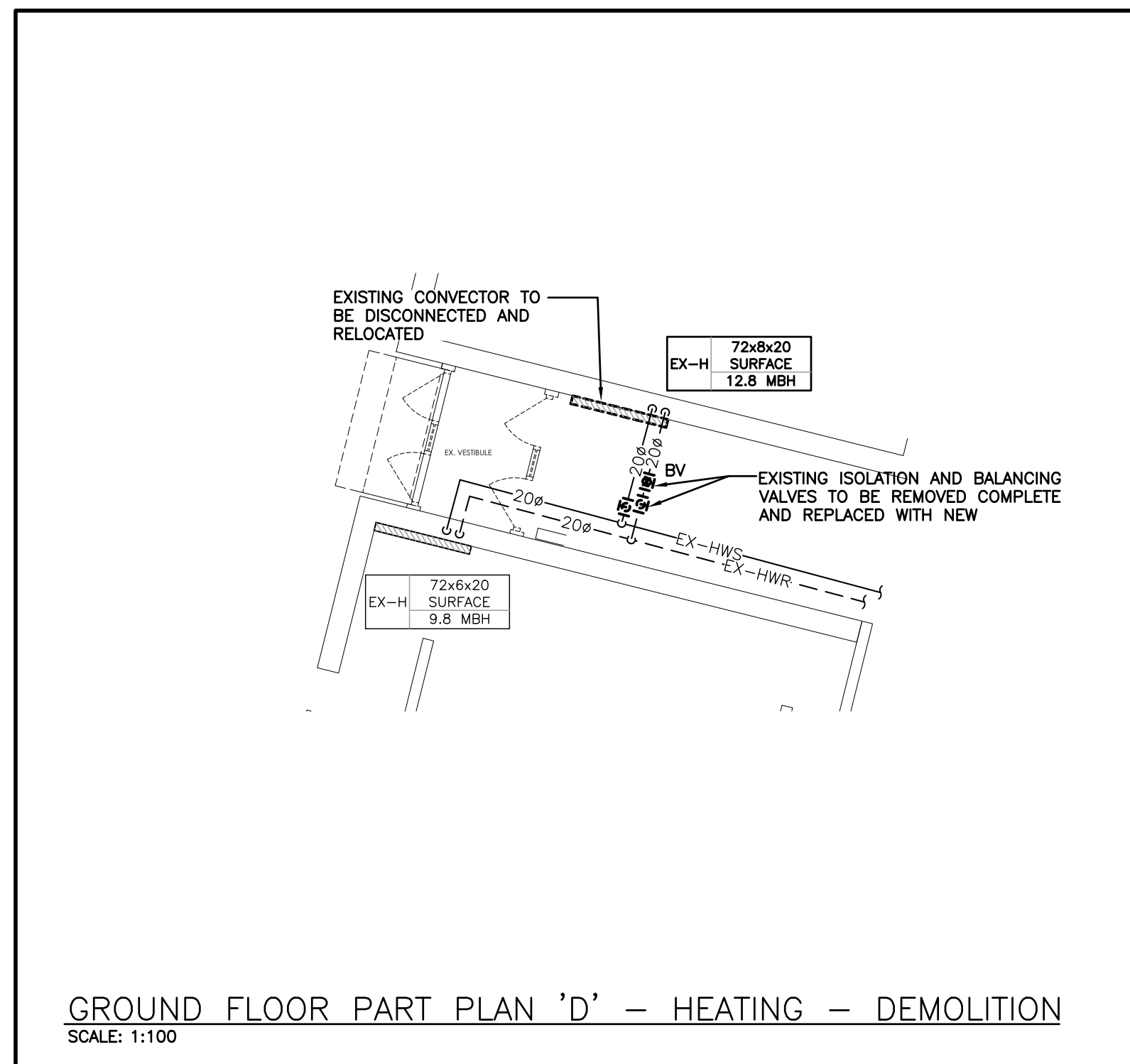
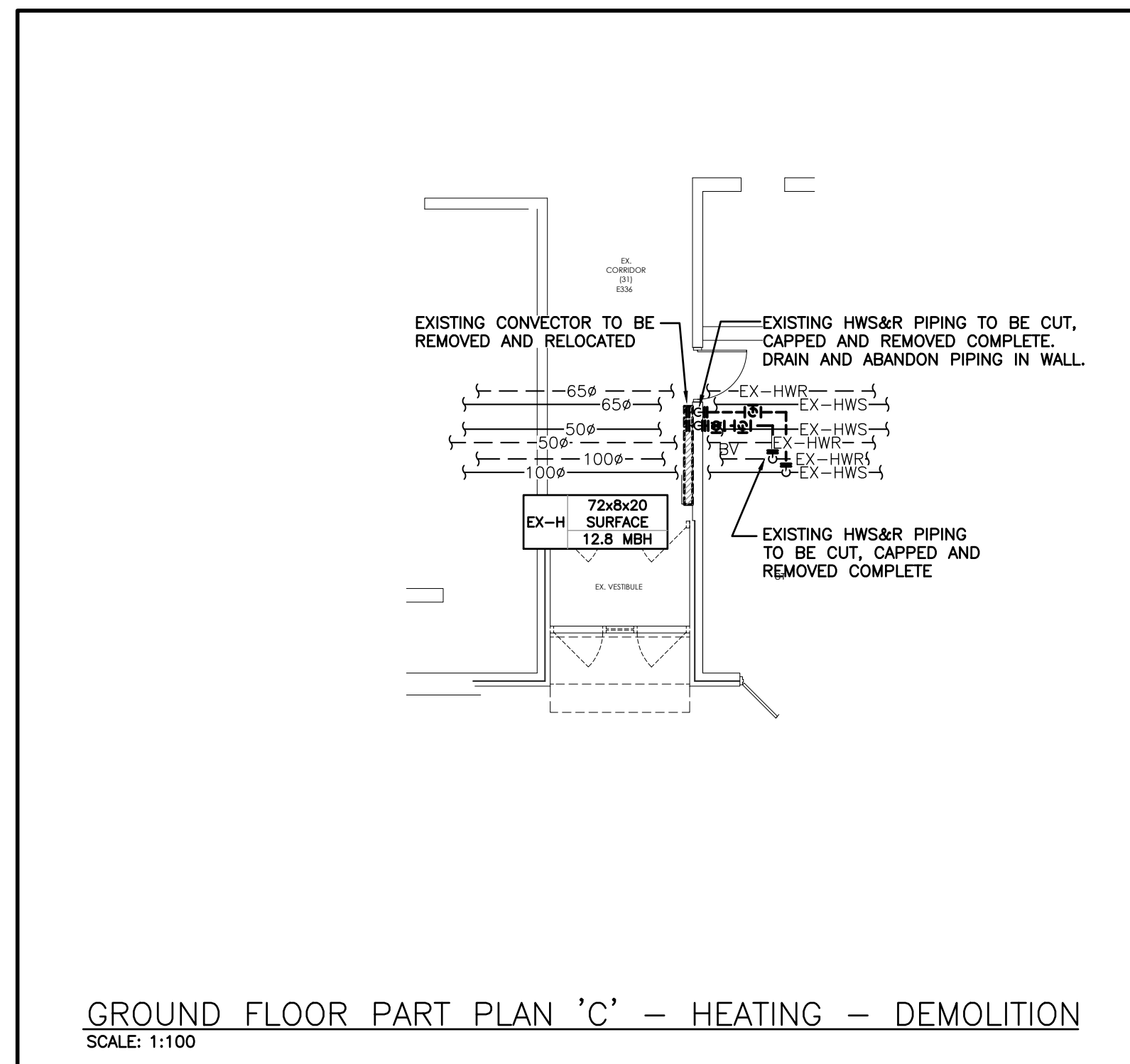
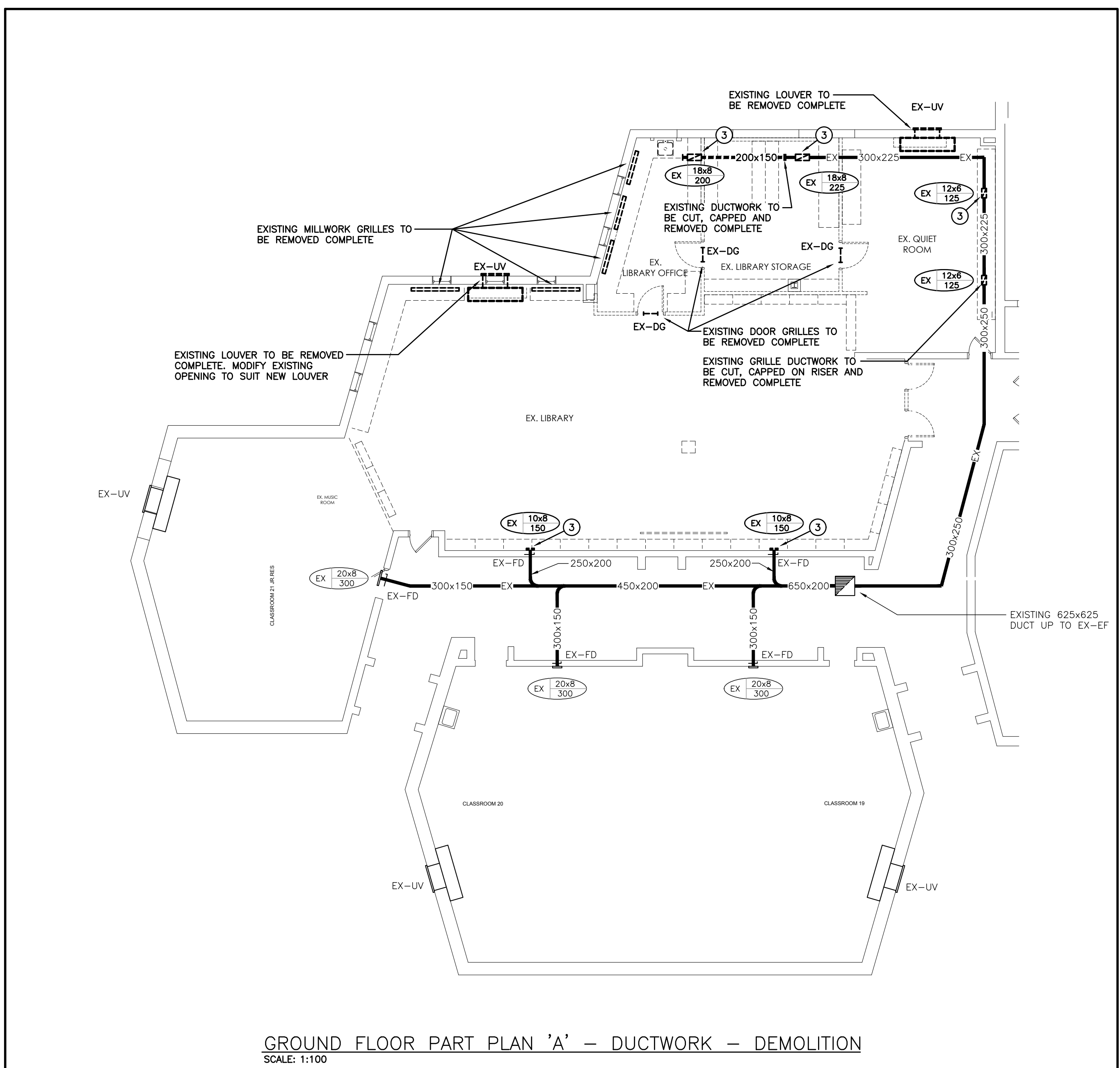
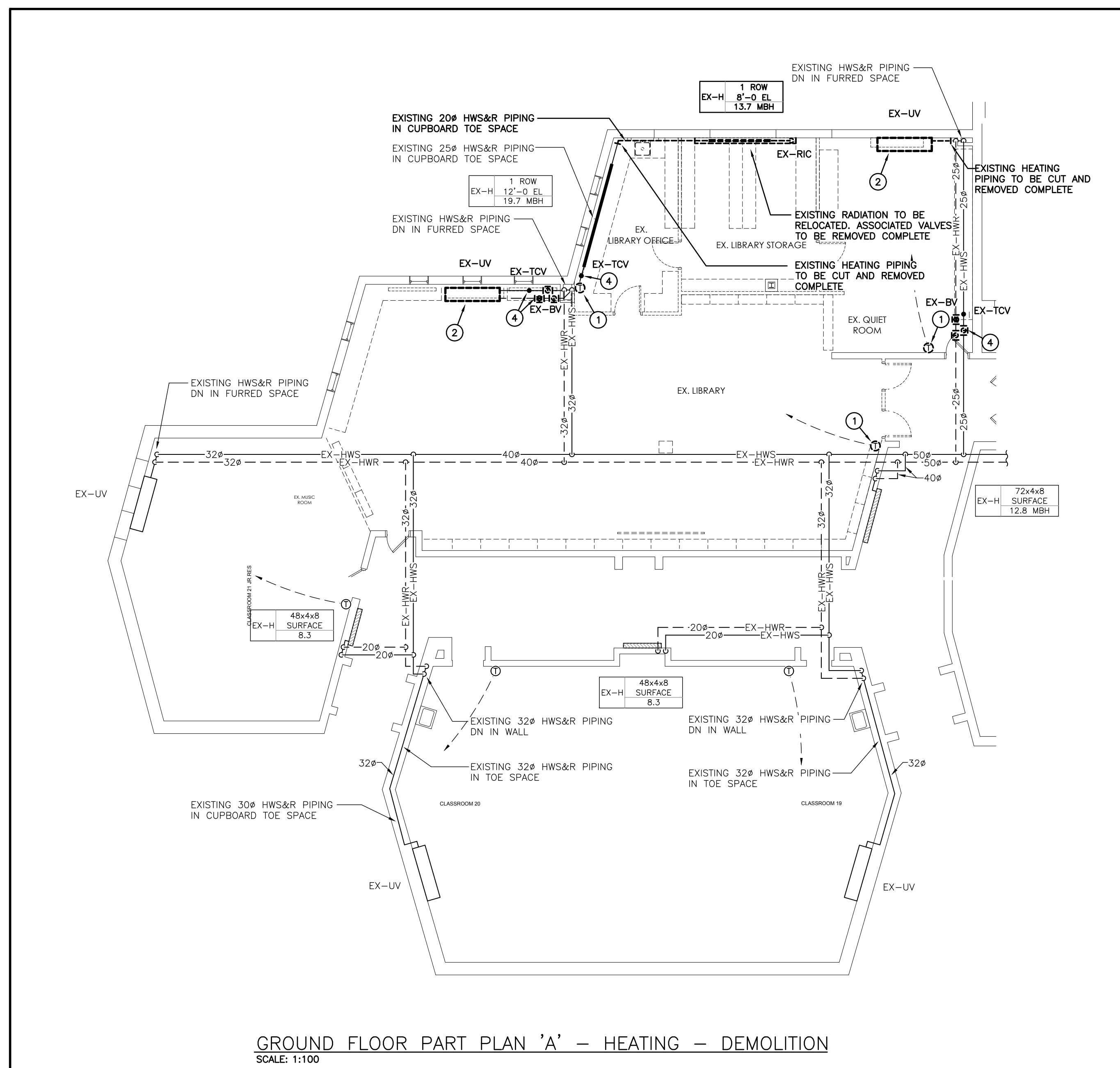
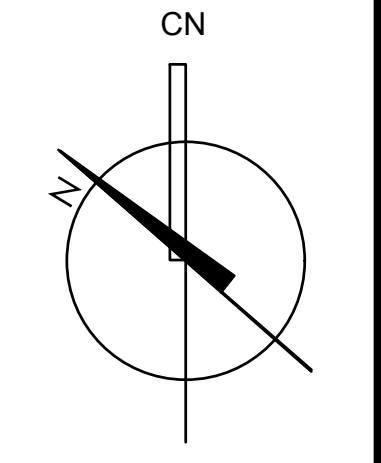
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 55 Northland Road, Waterloo, ON N2V 1Y8
 Phone: 519-745-3555
 Website: deiassociates.ca
 Project Number: 20298

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Project Name: **CRESTVIEW P.S. RENOVATION**
 Project Location: **153 MONTCALM DRIVE KITCHENER, ON N2B 2R6**
 Project Number: **20298**

Client: **CRESTVIEW PUBLIC SCHOOL**

GROUND FLOOR PART PLANS 'A, C & D' - DEMOLITION

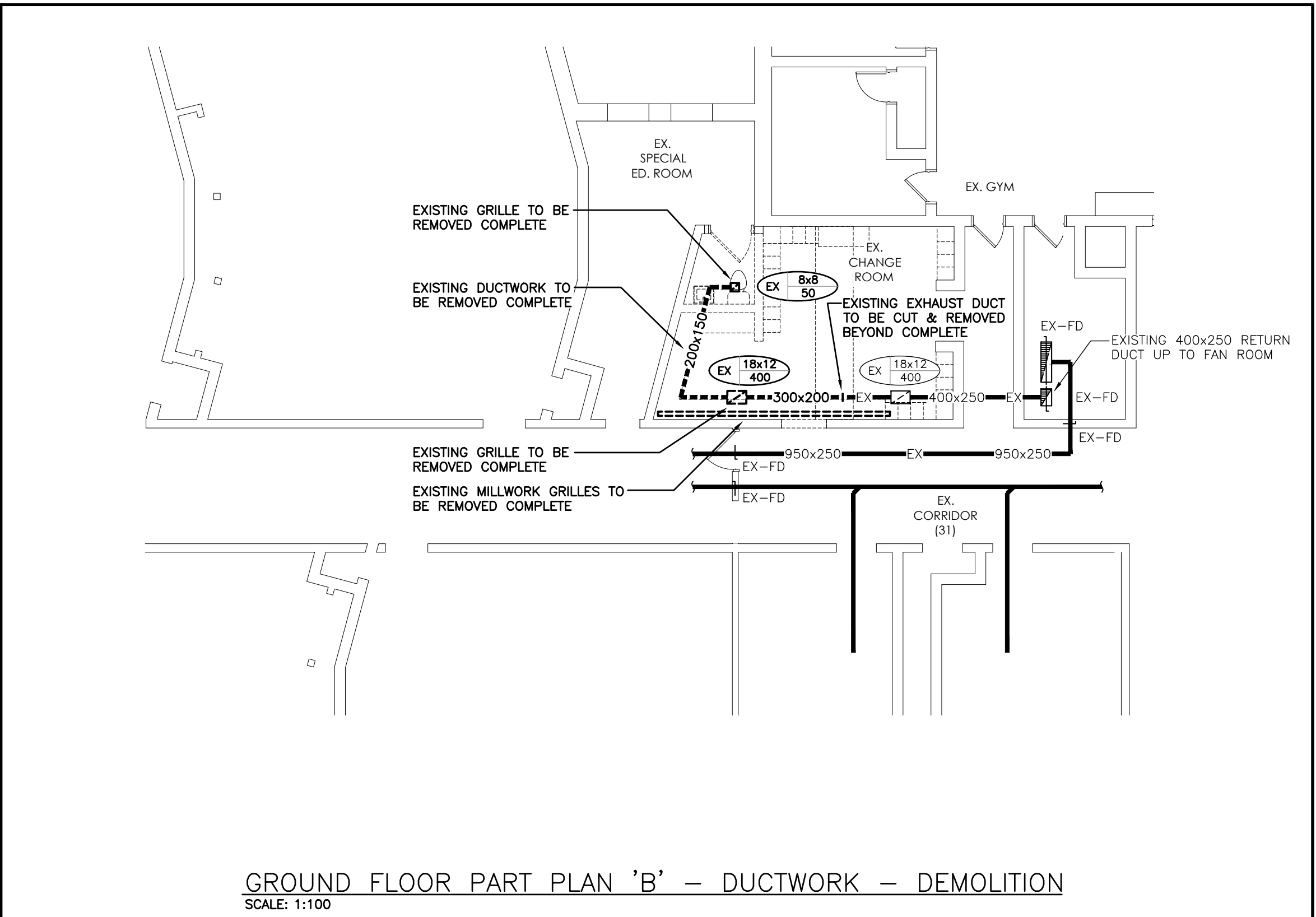
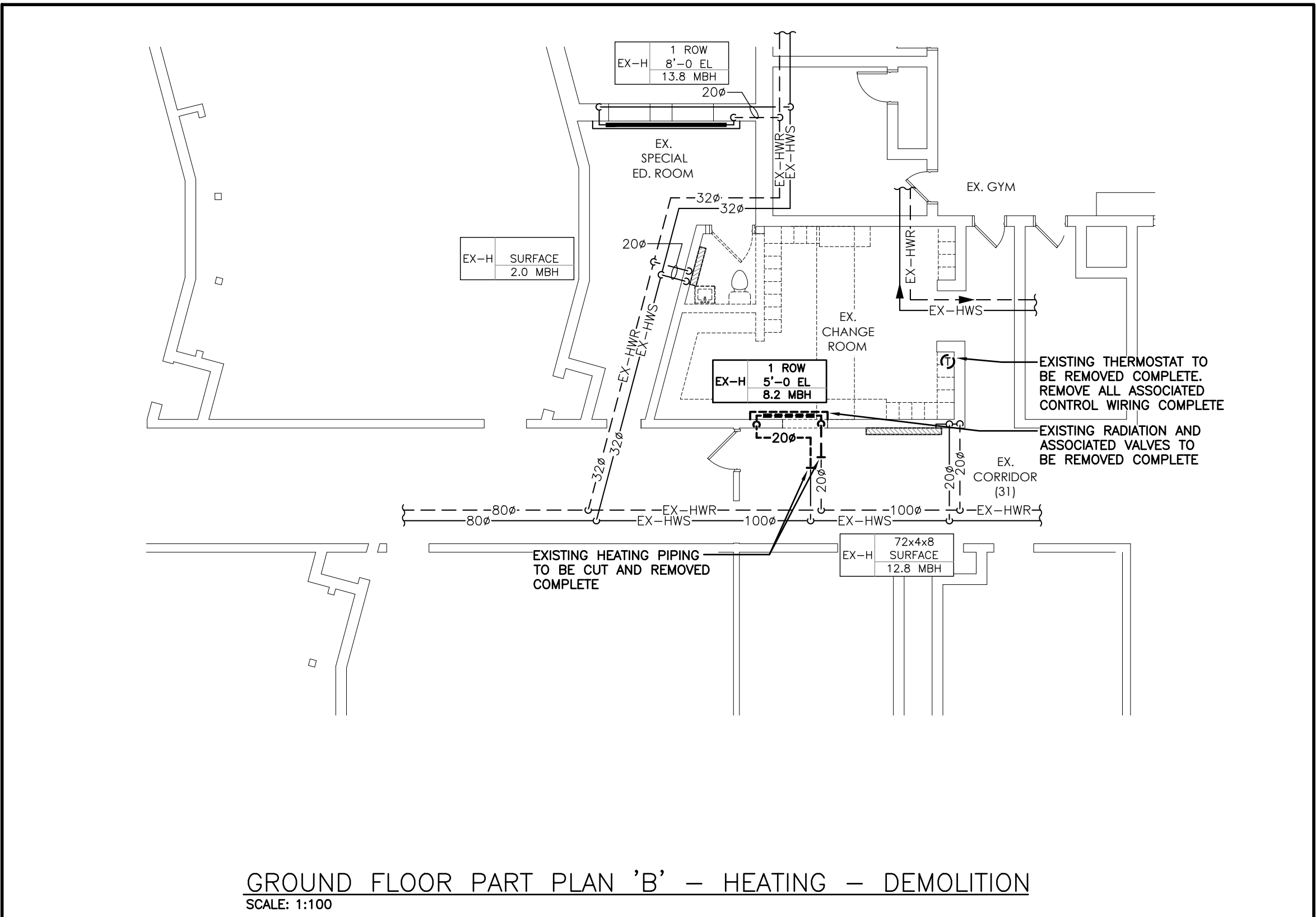
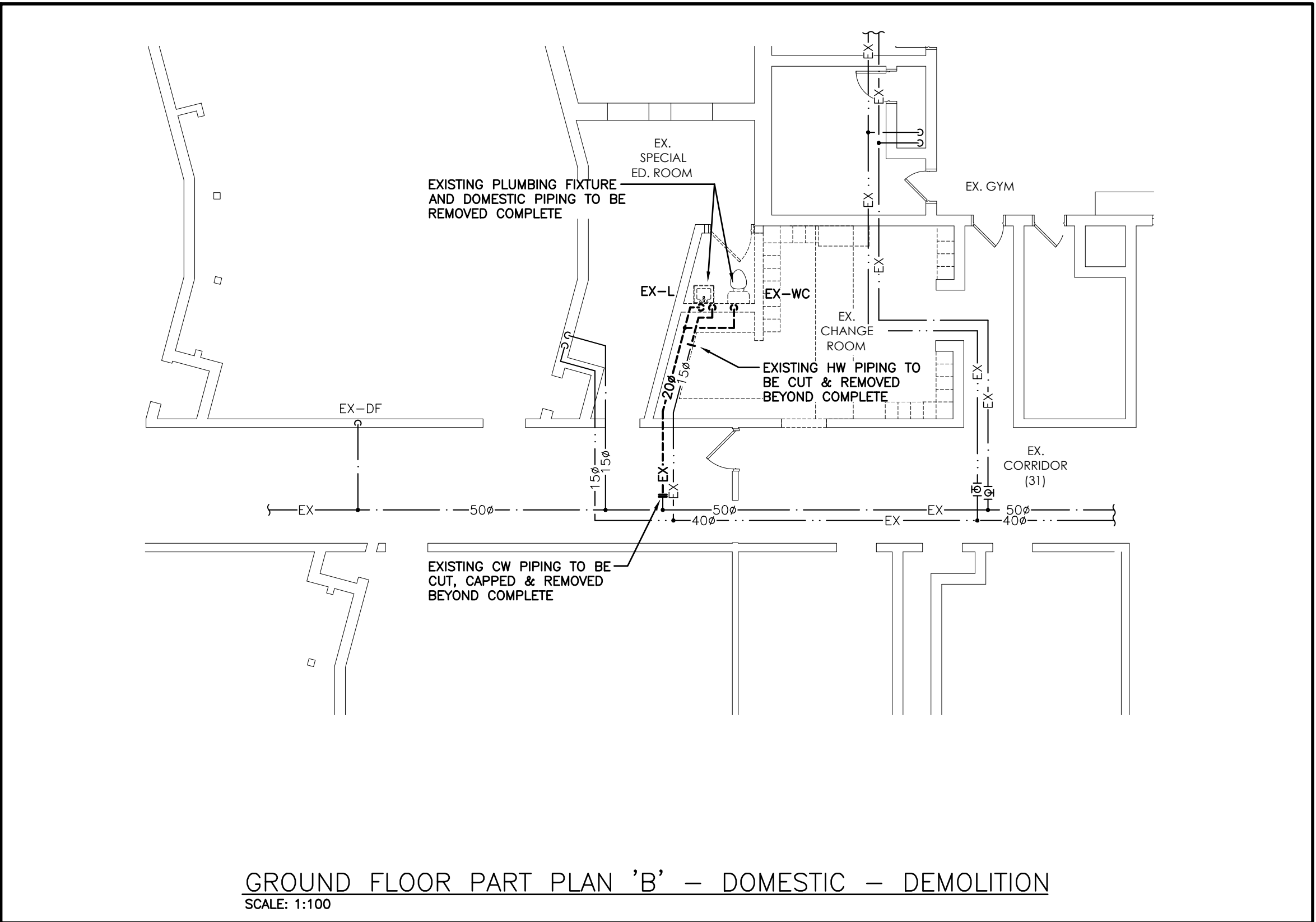
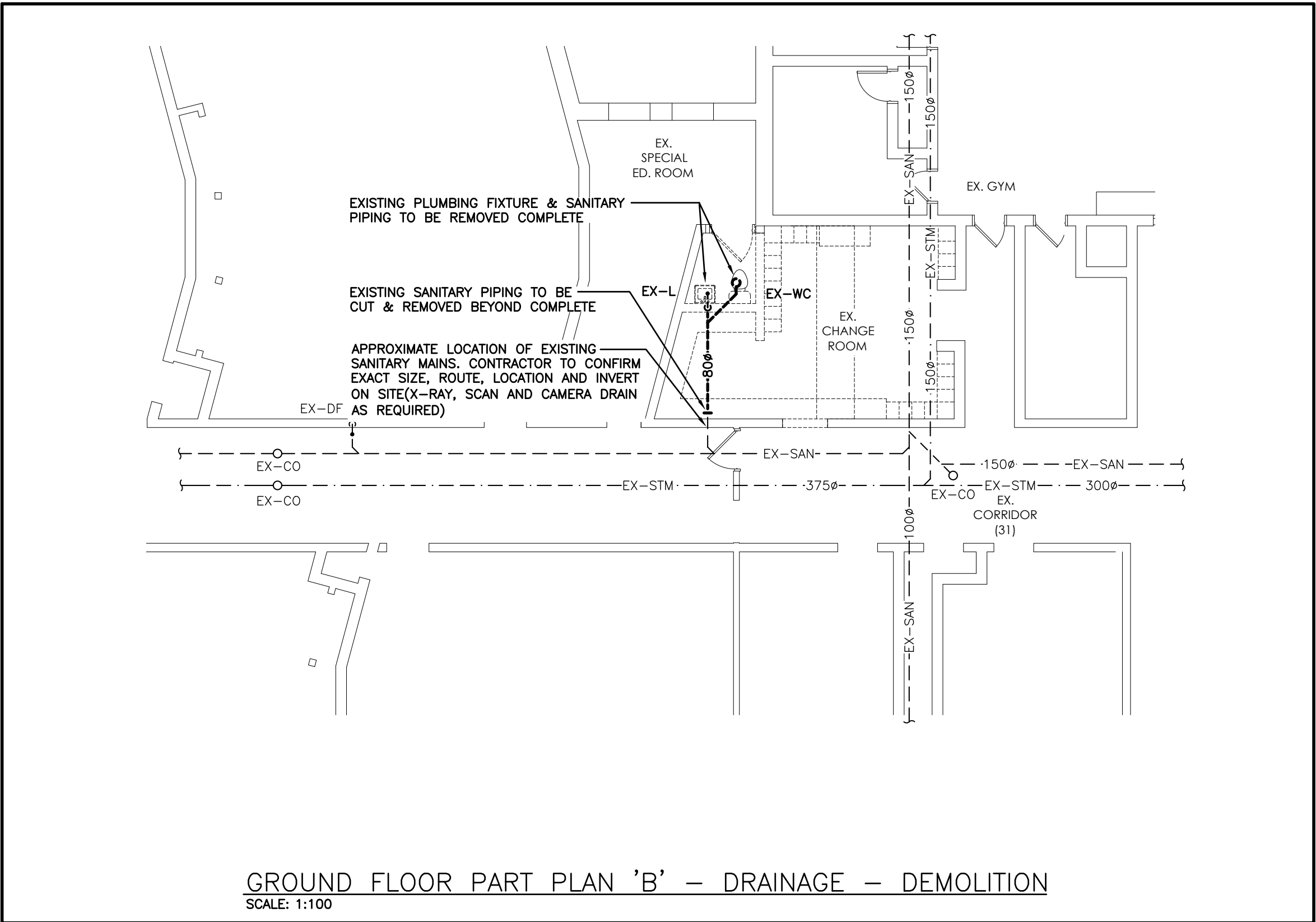
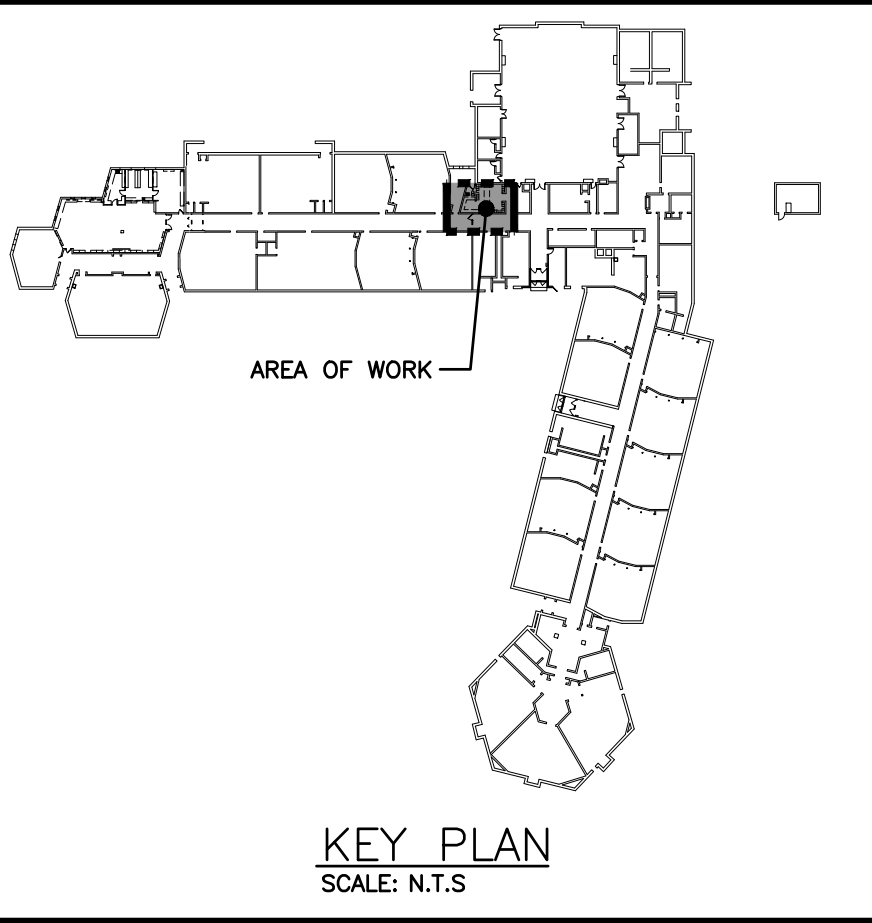


- GENERAL DEMOLITION NOTES**
- EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
 - EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR RENOVATED SHALL REMAIN AS PRESENTLY INSTALLED AND OPERATING.
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- SPECIFIC DEMOLITION NOTES**
- EXISTING THERMOSTAT TO BE REMOVED COMPLETE. REMOVE ALL ASSOCIATED CONTROL WIRING COMPLETE.
 - EXISTING UNIT VENTILATOR AND ASSOCIATED VALVES & CONTROLS TO BE REMOVED COMPLETE.
 - EXISTING GRILLES TO BE REMOVED COMPLETE.
 - EXISTING ISOLATION, TEMPERATURE CONTROL AND BALANCING VALVES TO BE REMOVED COMPLETE AND REPLACED WITH NEW.

GENERAL DEMOLITION NOTES

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- EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR RENOVATED SHALL REMAIN AS PRESENTLY INSTALLED AND OPERATING.
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Revision Schedule

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Website: deiassociates.ca
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Project Name: **CRESTVIEW P.S. RENOVATION**

Project Location: **153 MONTCALM DRIVE KITCHENER, ON N2B 2R6**

Project Number: **20298**

Client: **CRESTVIEW PUBLIC SCHOOL**

LICENSED PROFESSIONAL ENGINEER
7 Mar 23
M.B. WHITE
10019074
PROVINCE OF ONTARIO

CN

GROUND FLOOR PART PLANS 'B' - DEMOLITION

Revision Schedule

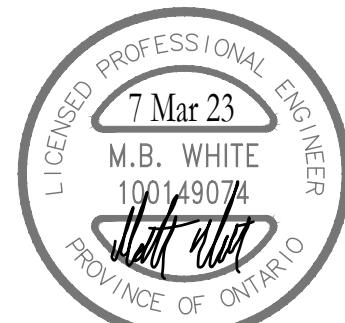
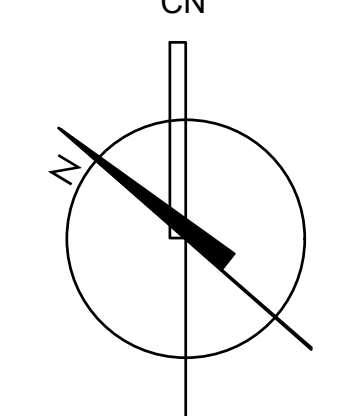
Particular	Date	No.
ISSUED FOR PERMIT AND TENDER	2023.03.07	1

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 Website: deiassociates.ca
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Project Name: **CRESTVIEW P.S. RENOVATION**
 Project Location: **153 MONTCALM DRIVE KITCHENER, ON N2B 2R6**
 Project Number: **20298**

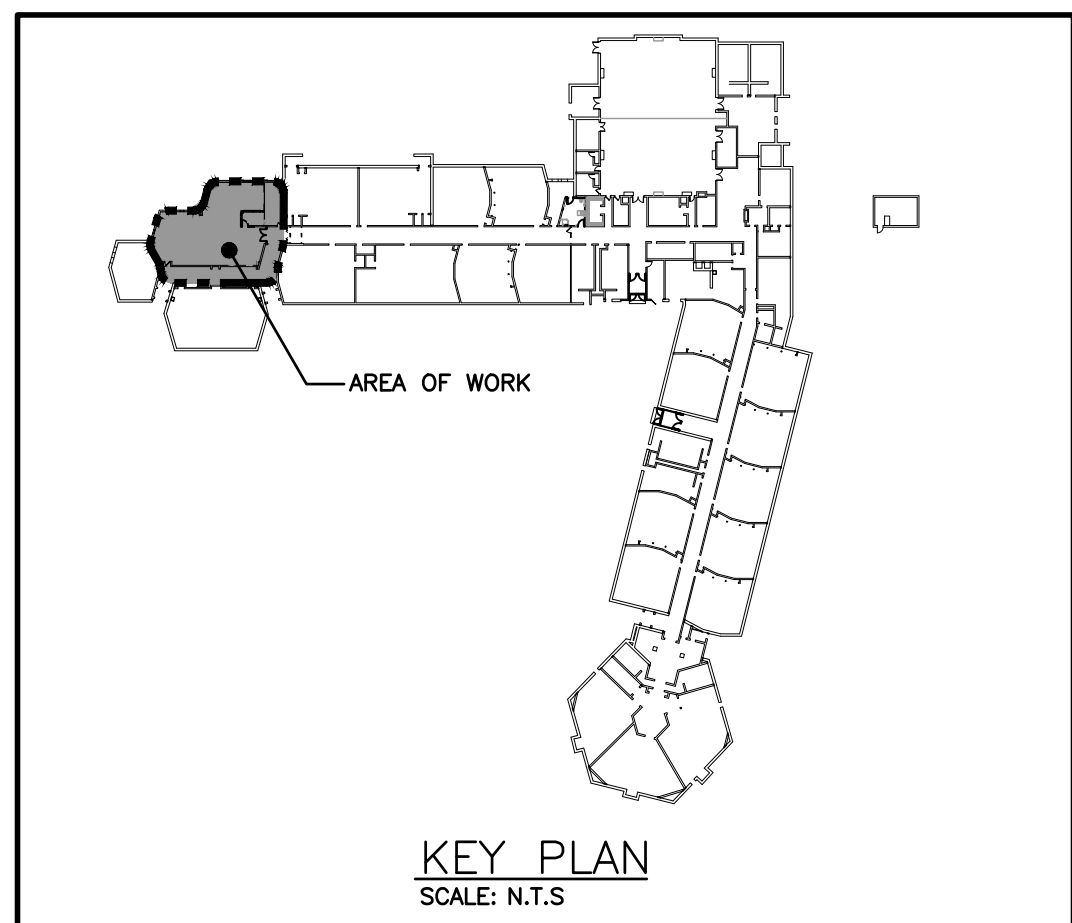
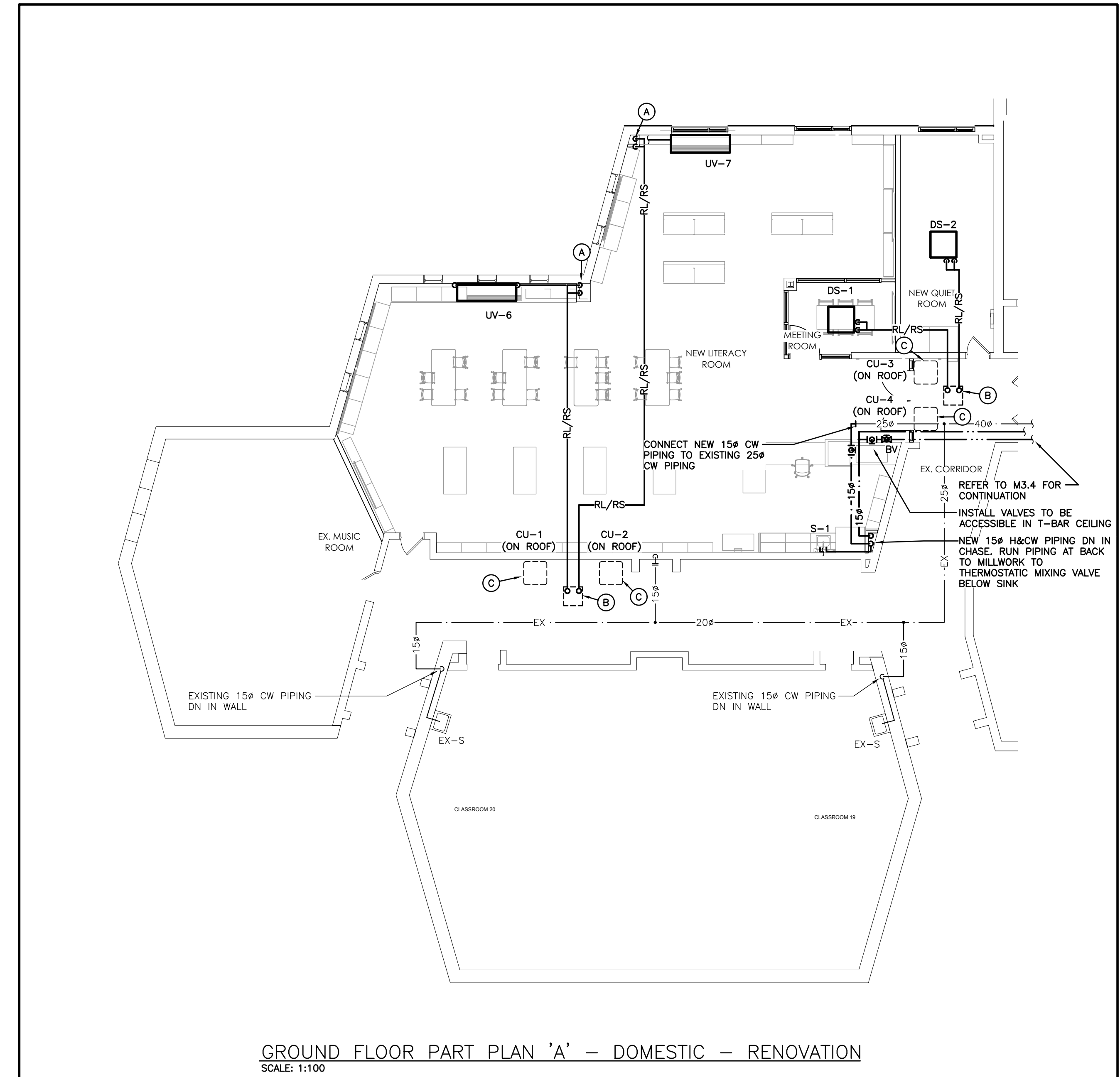
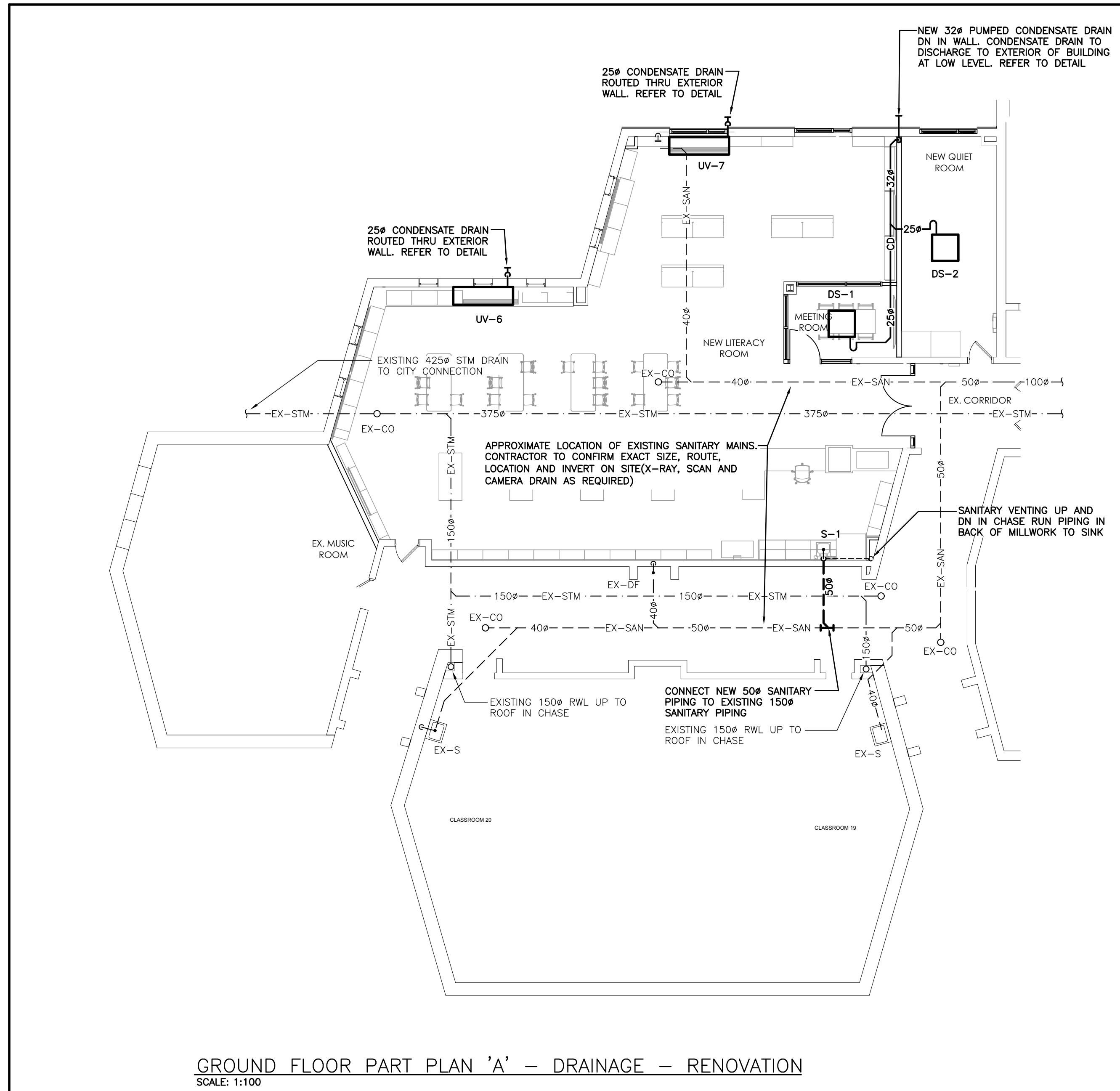
Client: **CRESTVIEW PUBLIC SCHOOL**


 CN


GROUND FLOOR PART PLANS 'A' - RENOVATION

M3.1

Drawn by: AP Checked by: SO Scale: As noted

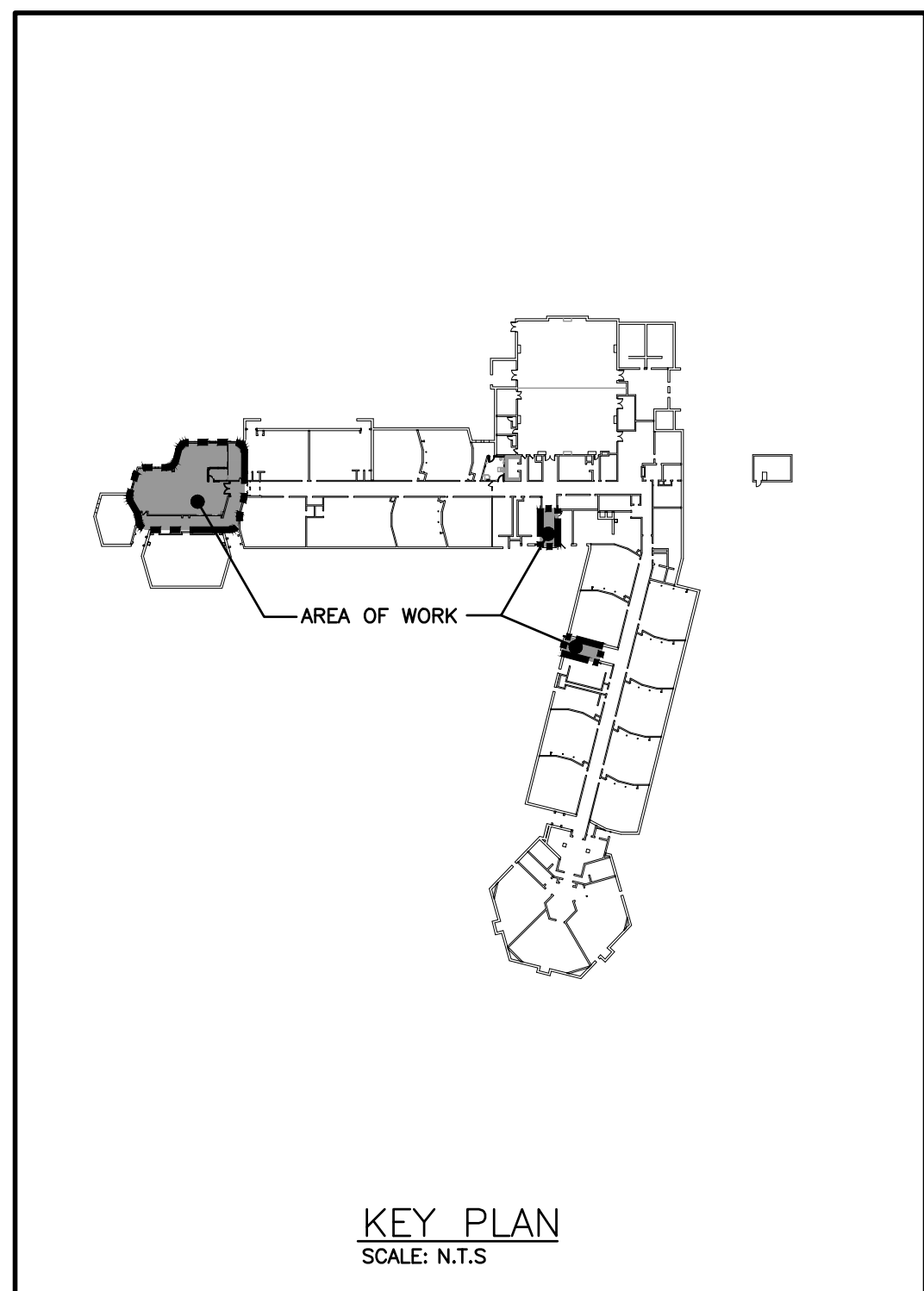
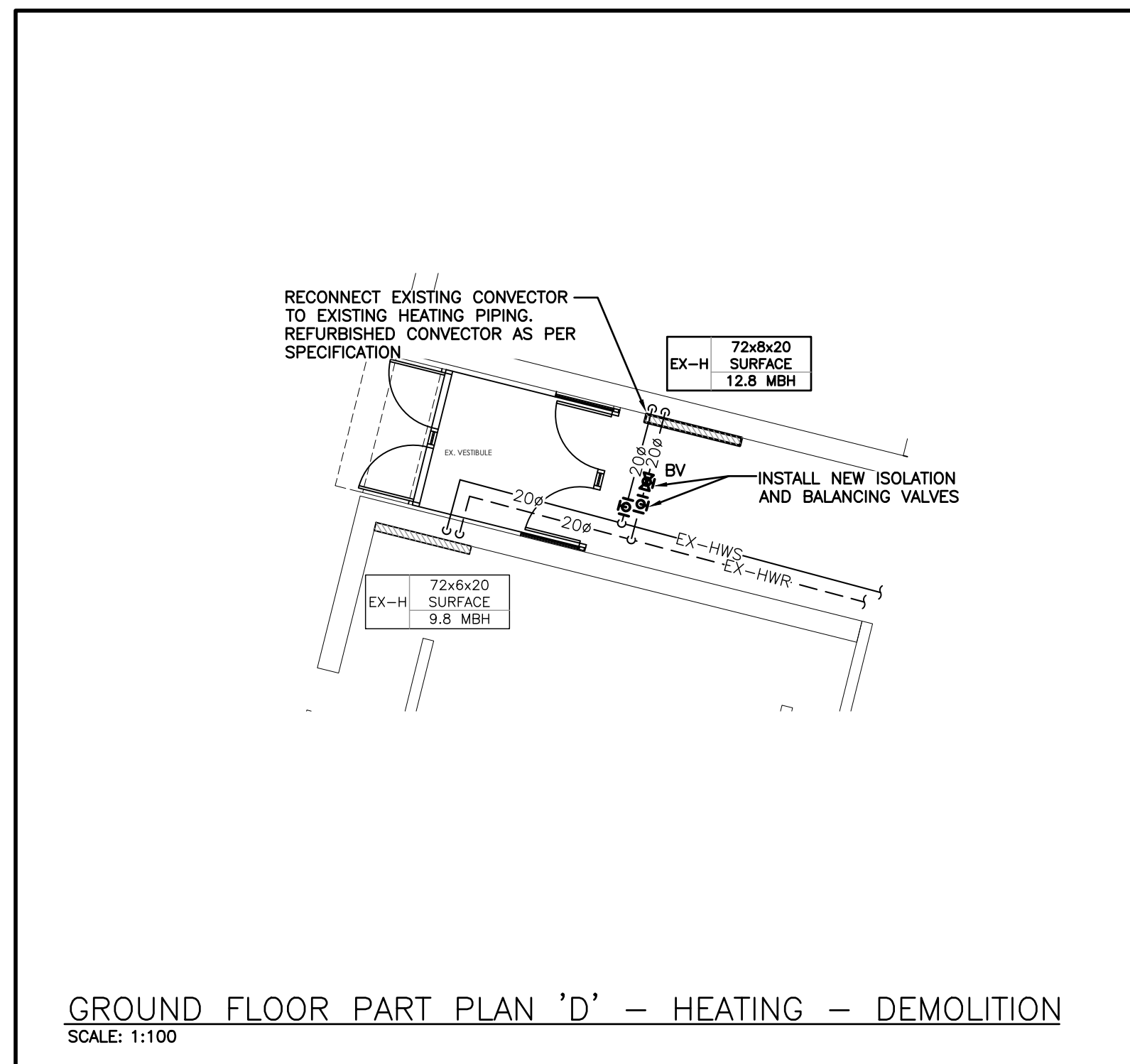
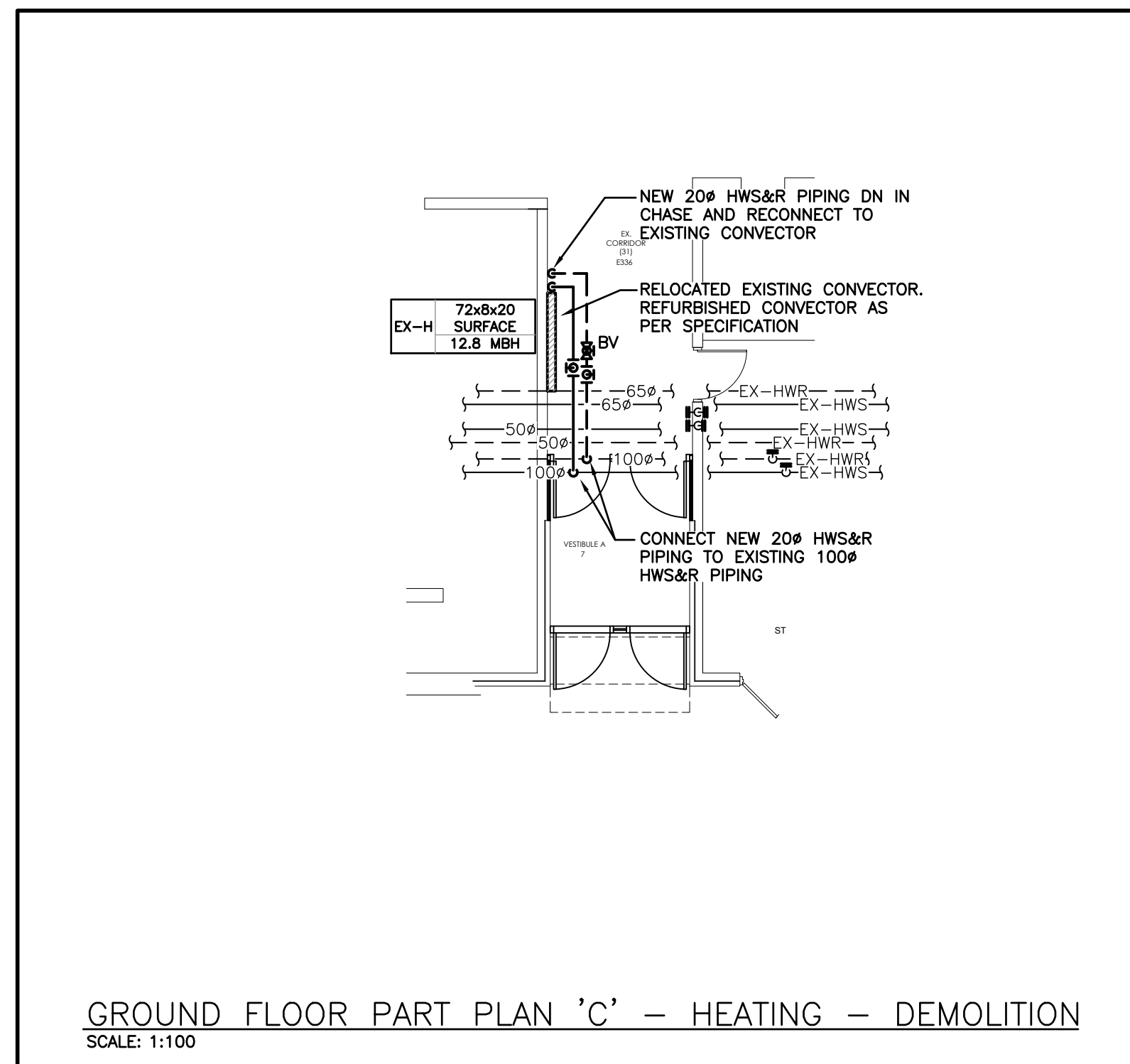
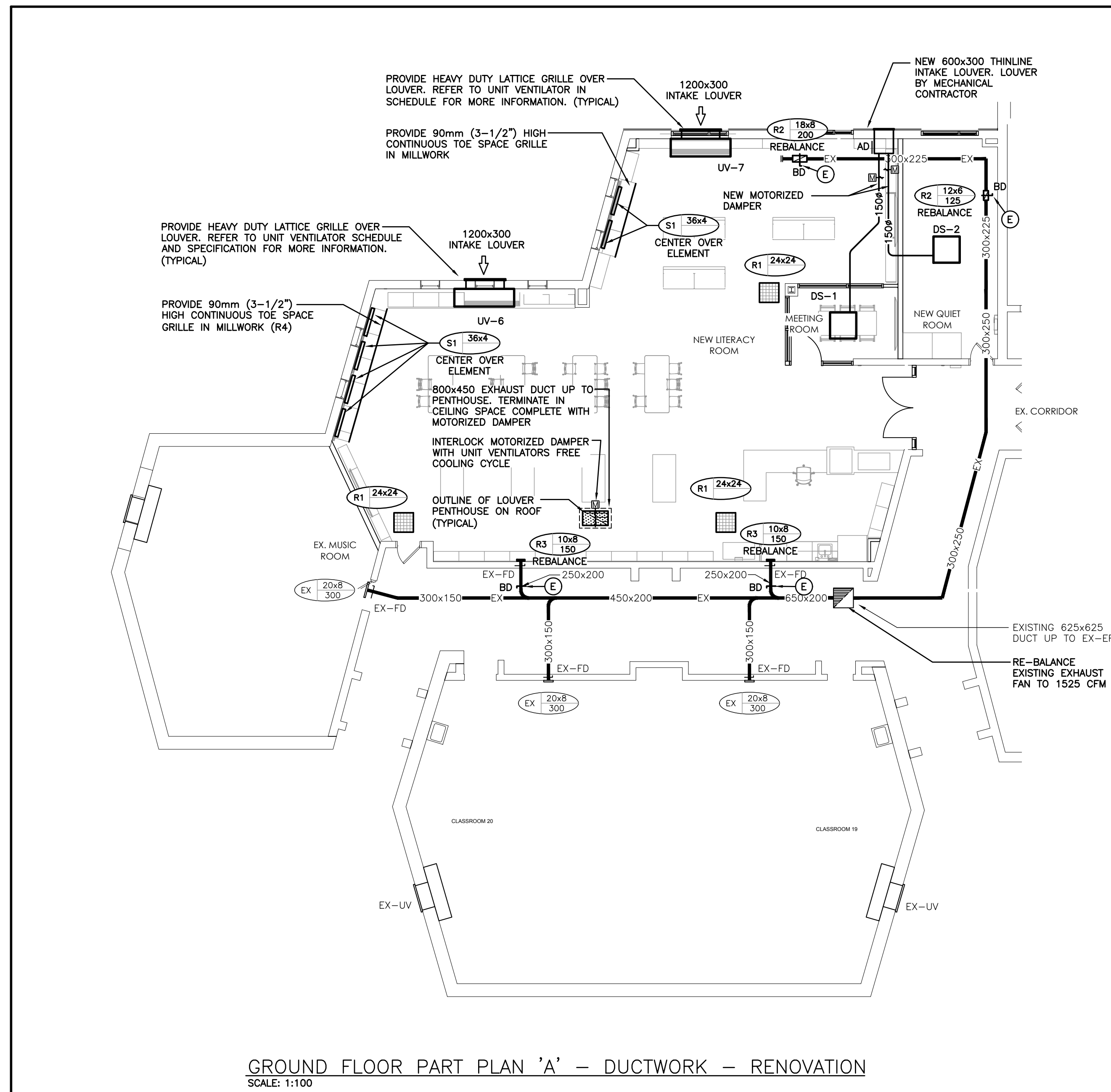
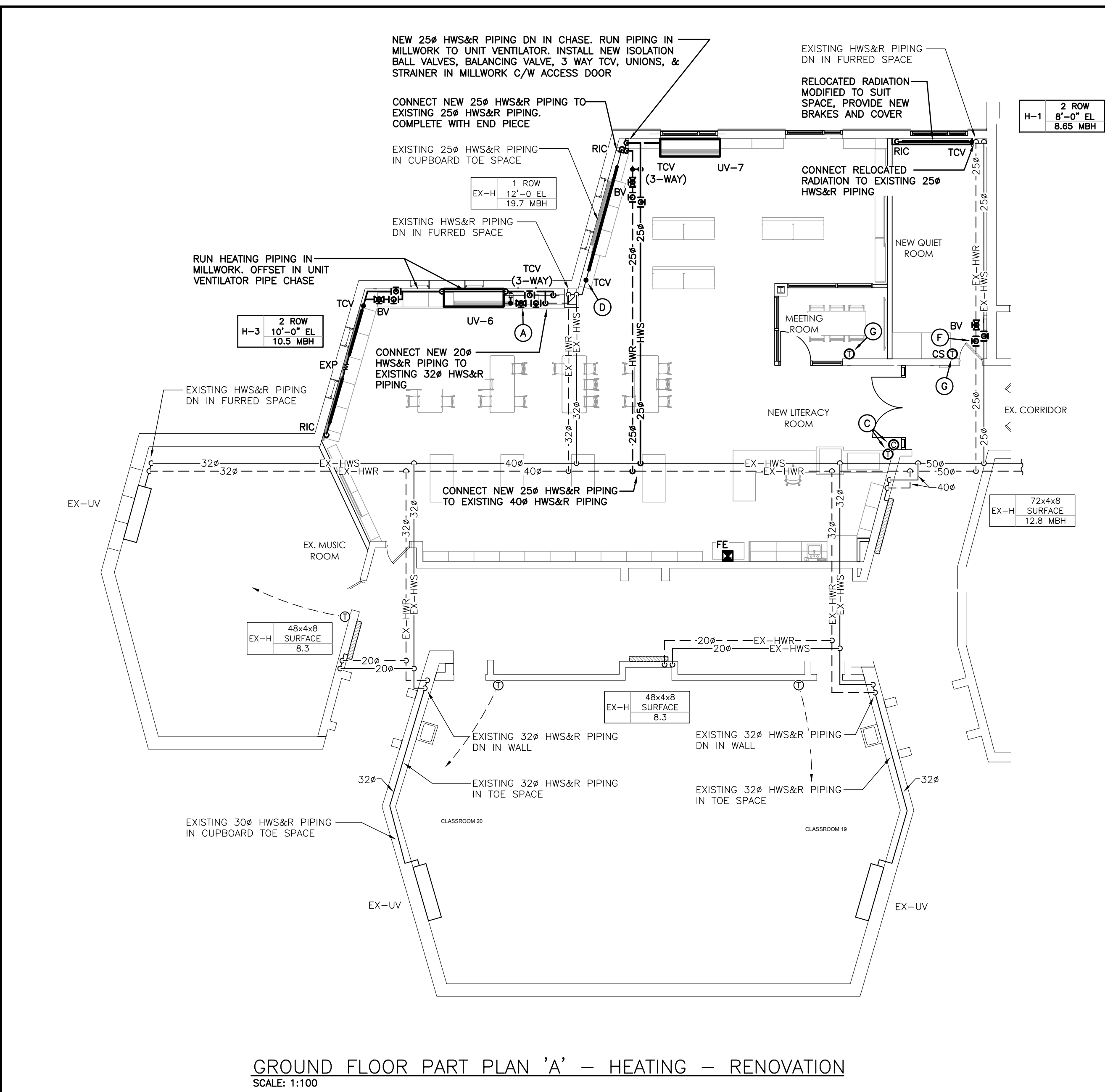


GENERAL RENOVATION NOTES

- CLEAN AND VACUUM EXISTING DUCTWORK ADJACENT TO NEW CONNECTIONS ± 10'-0" IN EACH DIRECTION.
- CO-ORDINATE ANY OWSJ BRIDGING RELOCATION OR REMOVAL/REPLACEMENT WITH THE GENERAL CONTRACTOR. PAY ALL COSTS REQUIRED TO MODIFY BRIDGING FOR INSTALLATION OF DUCTWORK.
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- CO-ORDINATE ROUGH-IN AND MOUNTING HEIGHTS OF FIXTURES WITH MILLWORK AND ARCHITECTURAL DETAILS.

SPECIFIC RENOVATION NOTES

- NEW RL&RS PIPING DN IN CHASE. UTILIZE REAR CHASE TO UNIT VENTILATOR CHASE AS REQUIRED TO SUIT PIPING CONNECTION LOCATION. PROVIDE ACCESS DOOR/PANEL IN MILLWORK CHASE FOR VALVES.
- RL&RS PIPING UP THRU ROOF IN DOGHOUSE TO CONDENSING UNIT. REFER TO DETAIL. NUMBER OF REFRIGERANT CIRCUITS AND SIZING AS PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
- CONDENSING UNIT ON CONCRETE PAVER/INSULATION ON ROOF ABOVE. FASTEN CONDENSING UNIT TO CONCRETE PAVERS. REFER TO DETAIL.



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SPECIFIC RENOVATION NOTES

- CONNECT NEW 25# HWS&R PIPING TO NEW UNIT VENTILATOR C/W NEW ISOLATION BALL VALVES, BALANCING VALVE, 3 WAY TCV, UNIONS, & STRAINER. PROVIDE ACCESS DOOR IN MILLWORK.
- NEW HWS&R PIPING DN IN CHASE. UTILIZE REAR CHASE TO UNIT VENTILATOR CHASE AS REQUIRED TO SUIT PIPING CONNECTION LOCATION.
- NEW DDC THERMOSTAT/SENSOR, CO₂ & CONTROL WIRING. FISH EXISTING WALL AS REQUIRED FOR NEW CONTROL WIRING.
- INSTALL NEW ISOLATION BALL VALVES TEMPERATURE CONTROL AND BALANCING VALVE SERVING EXISTING RADIATION. PROVIDE NEW ACCESS DOOR.
- PROVIDE BALANCING DAMPERS ON EXISTING DUCTWORK IF NOT PRESENT. REFER TO IDENTIFIED PRICE IN SPECIFICATION.
- INSTALL NEW ISOLATION BALL VALVES TEMPERATURE CONTROL AND BALANCING VALVE SERVING EXISTING RADIATION.
- NEW DDC THERMOSTAT/SENSOR & CONTROL WIRING. FISH EXISTING WALL AS REQUIRED FOR NEW CONTROL WIRING.

Revision Schedule		
Particular	Date	No.
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 Project Location: **153 MONTCALM DRIVE KITCHENER, ON N2B 2R6**
 Project Number: **20298**

Client: **CRESTVIEW PUBLIC SCHOOL**

LICENSED PROFESSIONAL ENGINEER
 7 Mar 23
 M.B. WHITE
 100149074
 PROVINCE OF ONTARIO
 CN

GROUND FLOOR PART PLANS 'A, C AND D' - RENOVATION

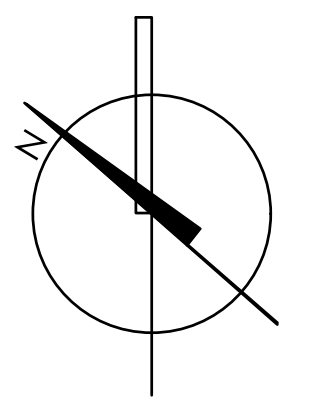
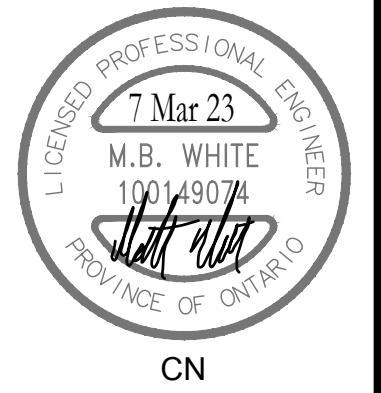
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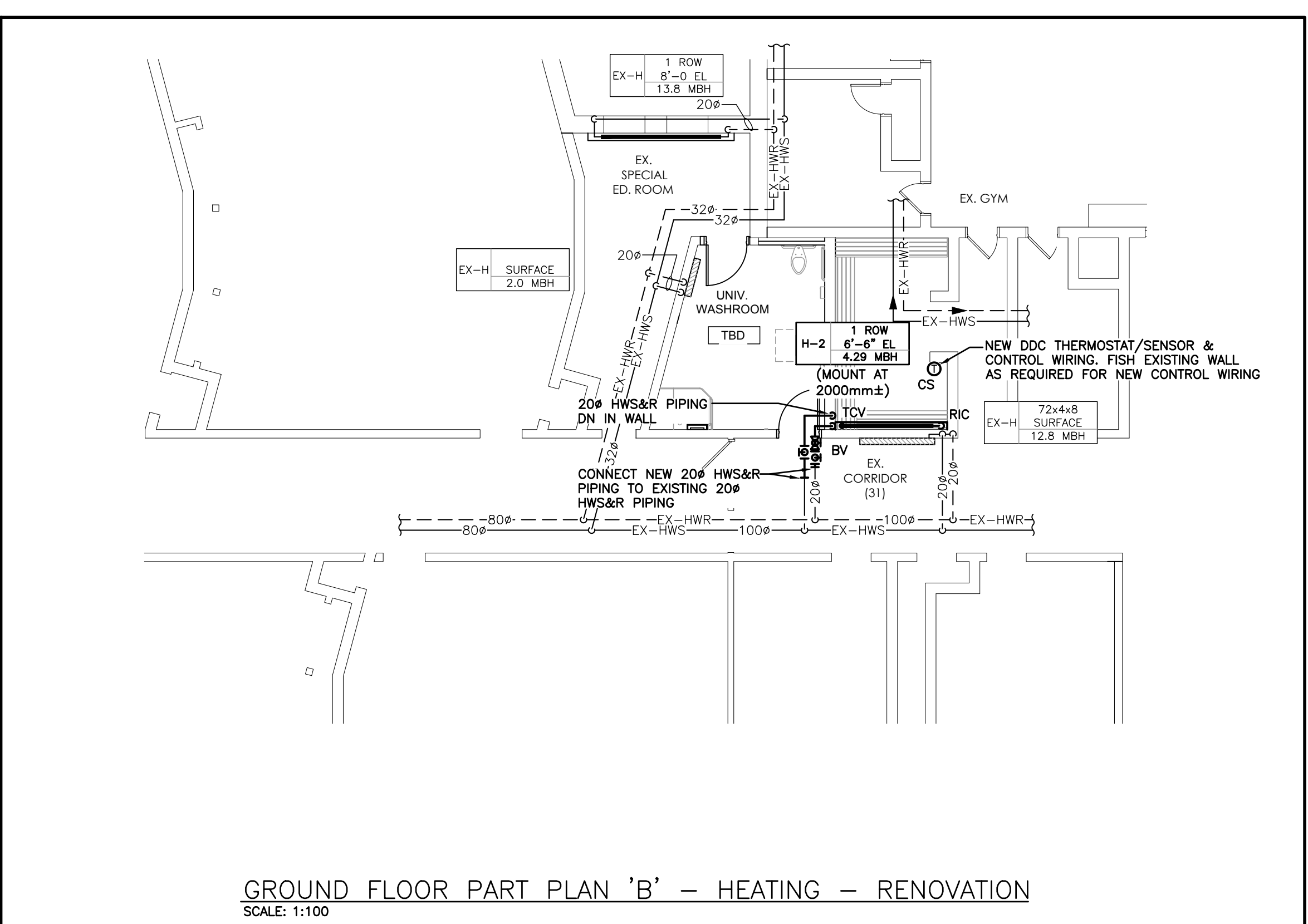
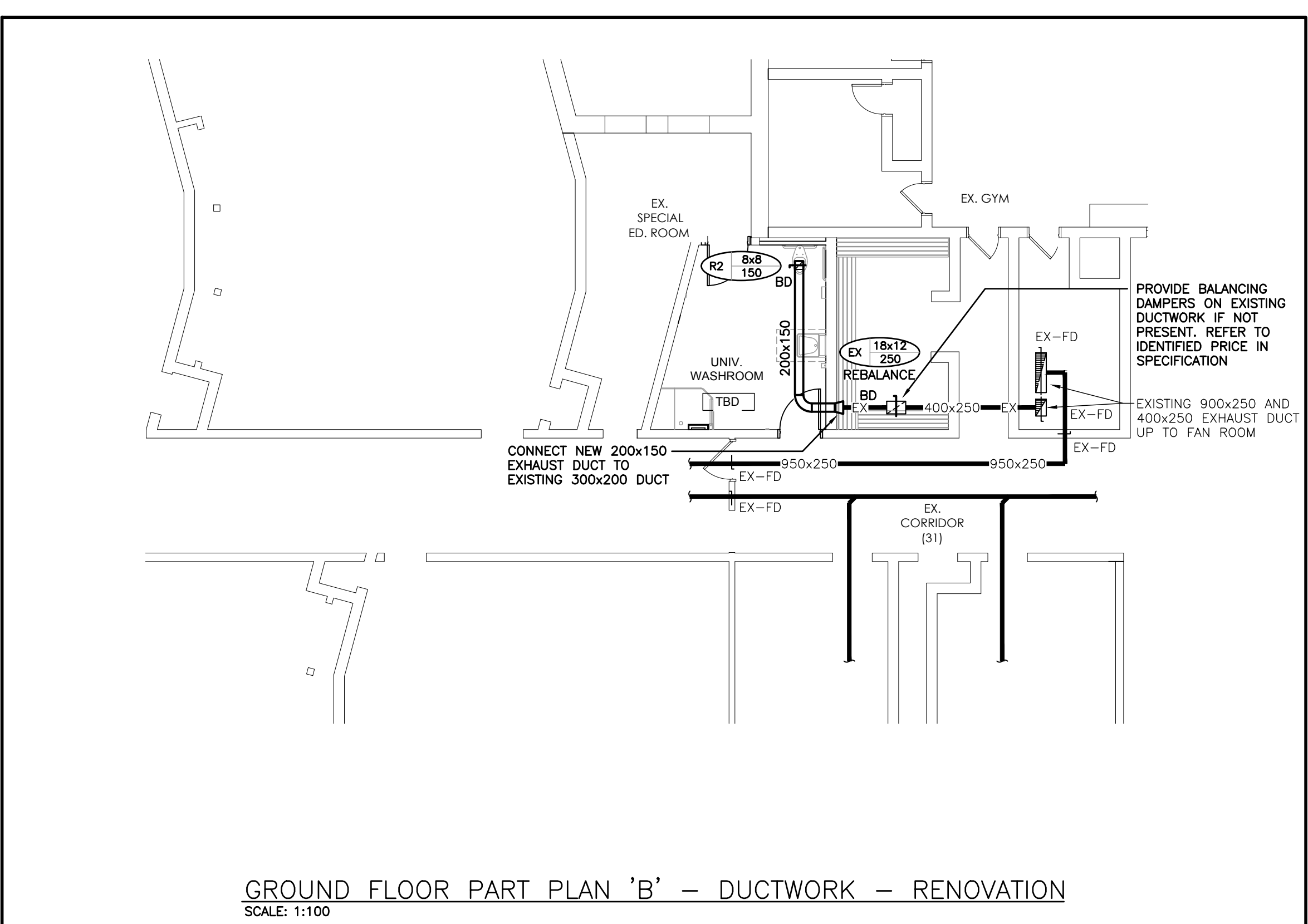
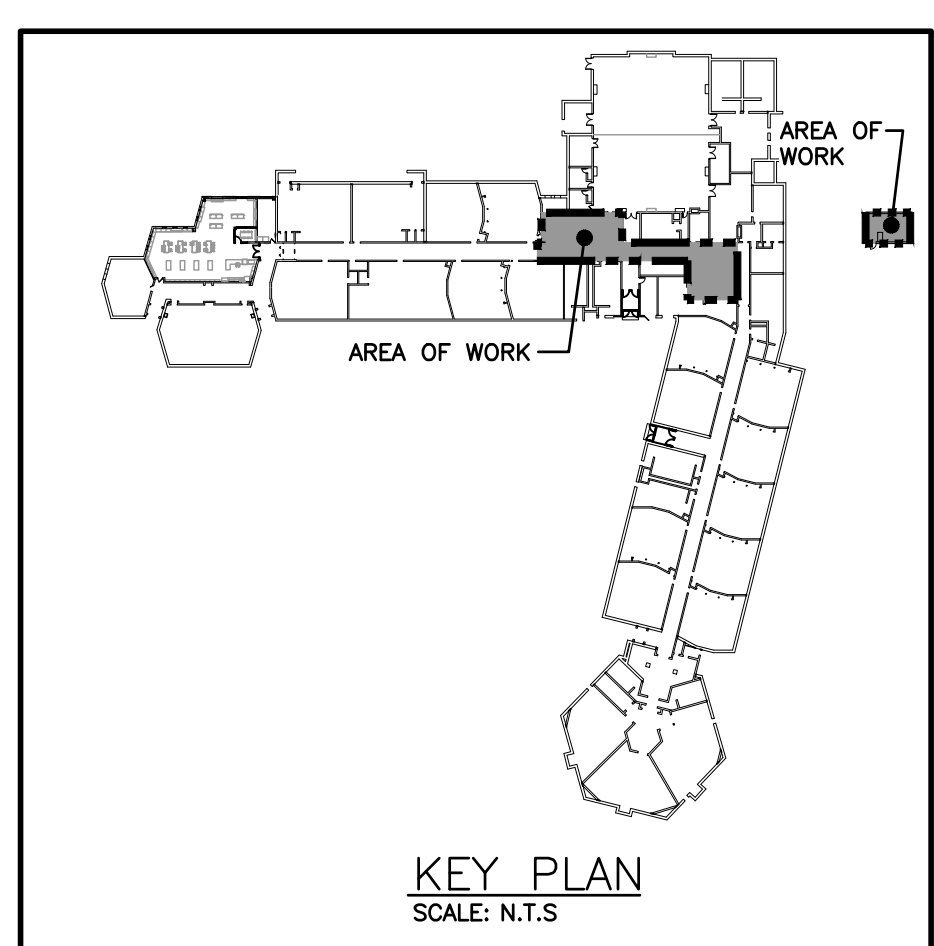
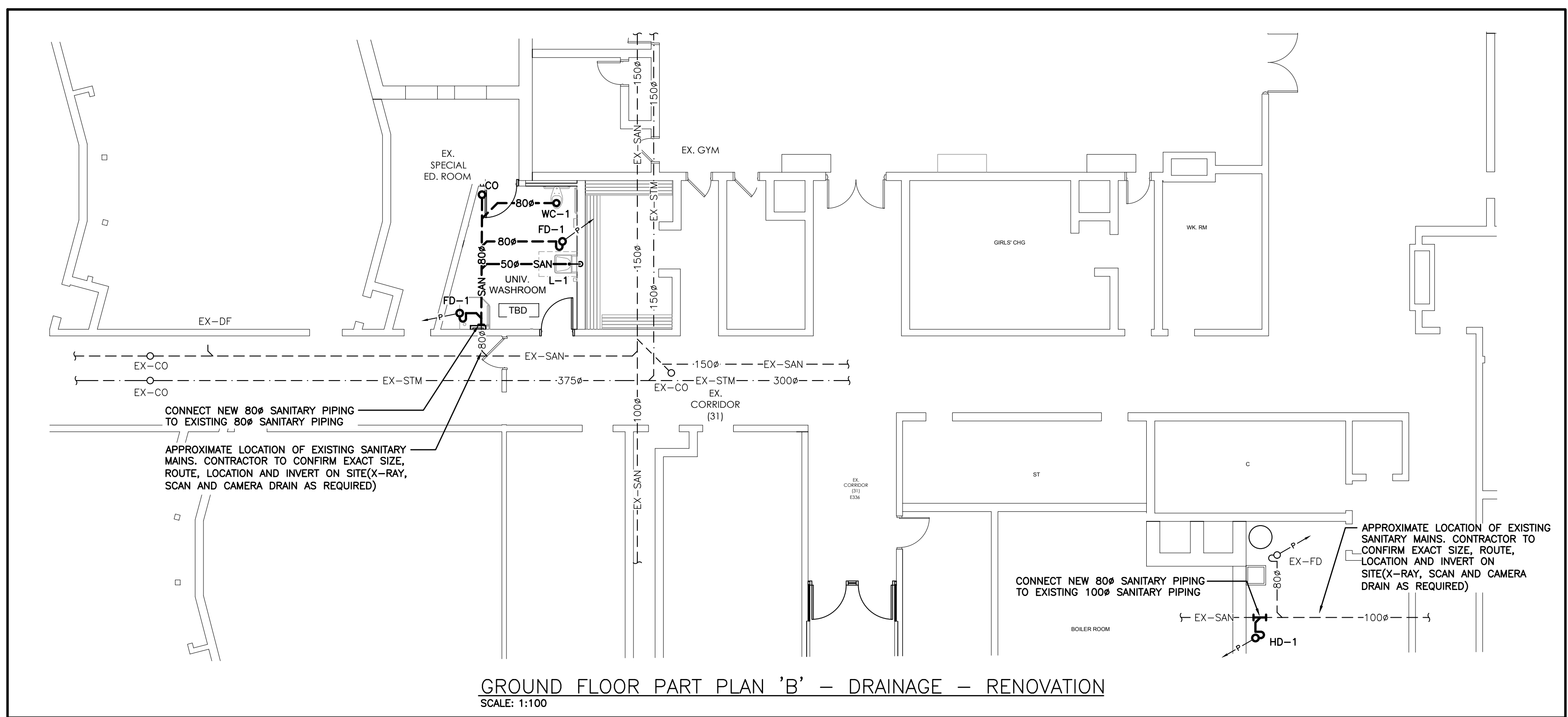
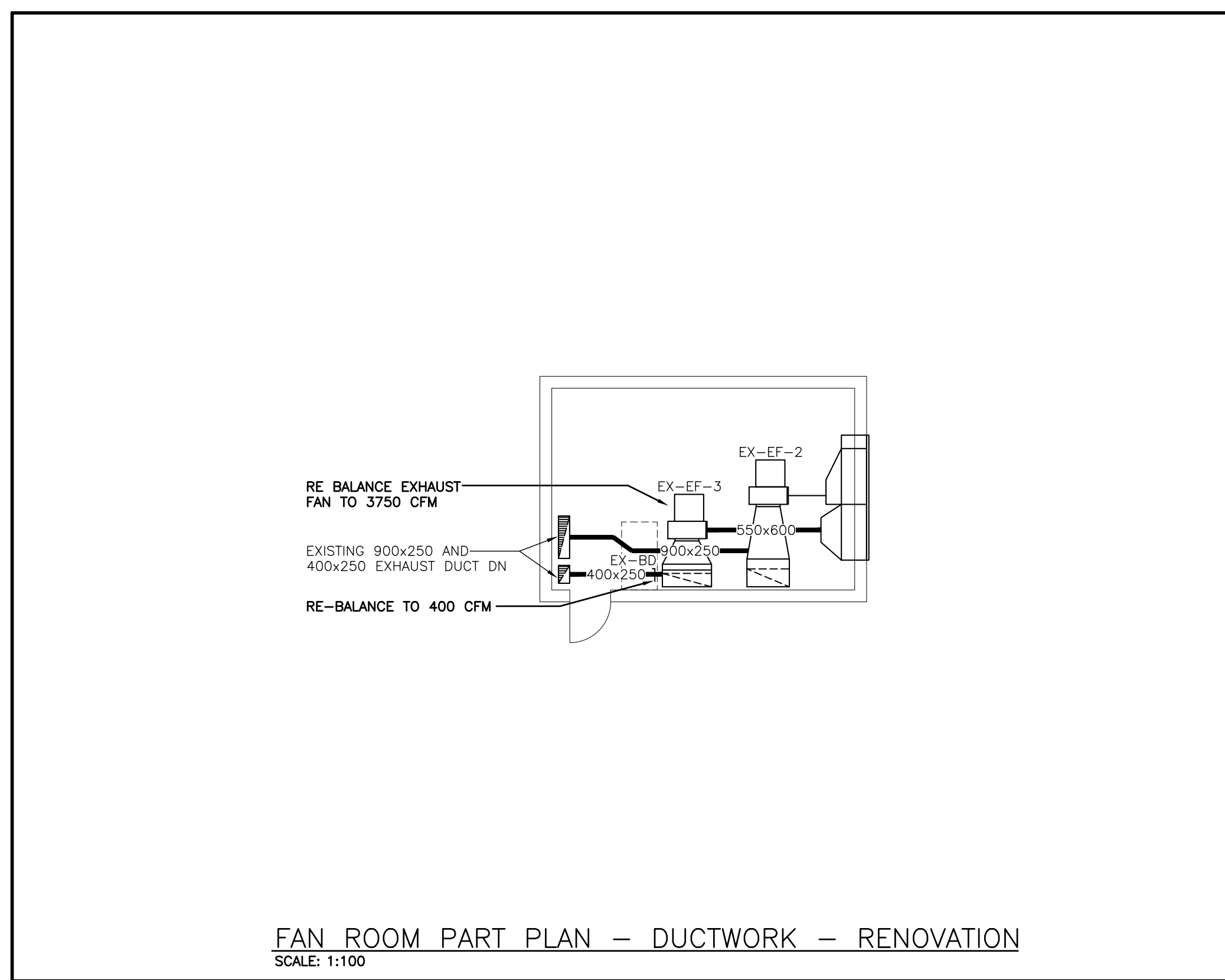
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Project Location: 153 MONTCALM DRIVE KITCHENER, ON N2B 2R6
Project Number: 20298

Client:
 CRESTVIEW PUBLIC SCHOOL



GROUND FLOOR PART PLANS 'B' - RENOVATION



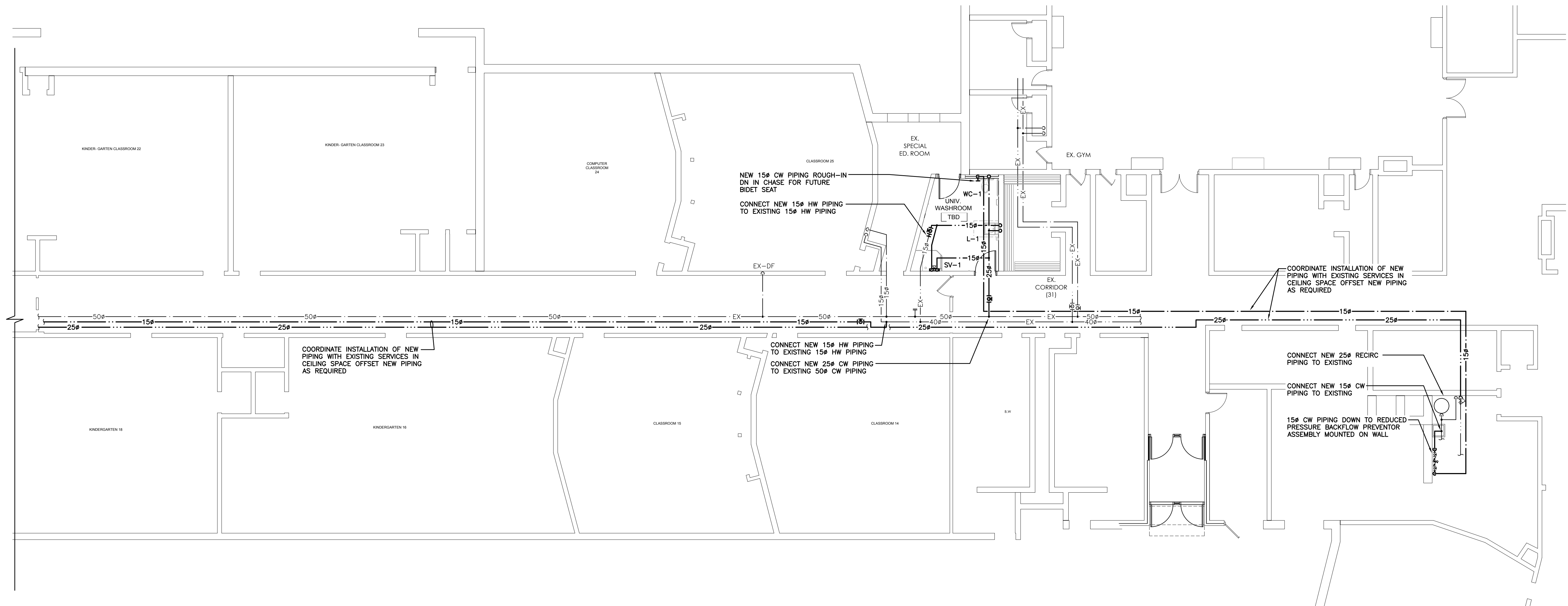
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M3.3

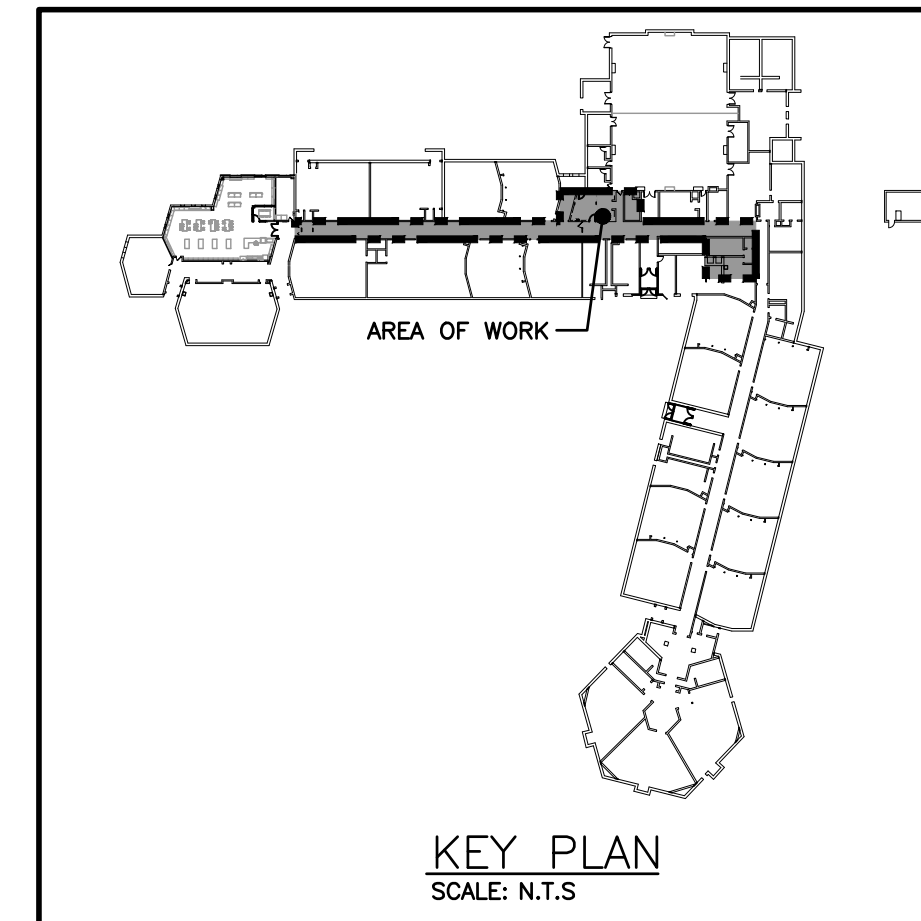
Revision Schedule		
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GROUND FLOOR PART PLAN 'B' – DOMESTIC – RENOVATION
 SCALE: 1:100



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Project Name: **CRESTVIEW P.S. RENOVATION**
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 Project Number: **20298**

Client:
CRESTVIEW PUBLIC SCHOOL

LICENSED PROFESSIONAL ENGINEER
 7 Mar 23
 M.B. WHITE
 100149074
 PROVINCE OF ONTARIO
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M3.4

GROUND FLOOR PART PLANS 'B' - RENOVATION

Revision Schedule		
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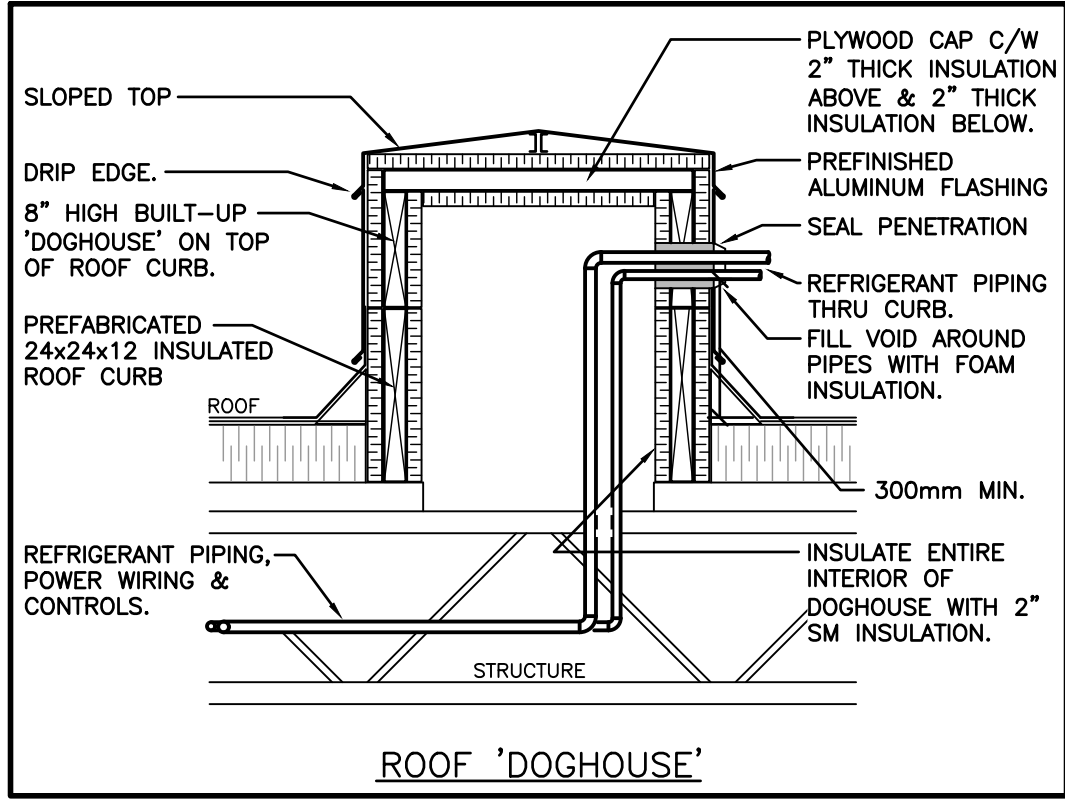
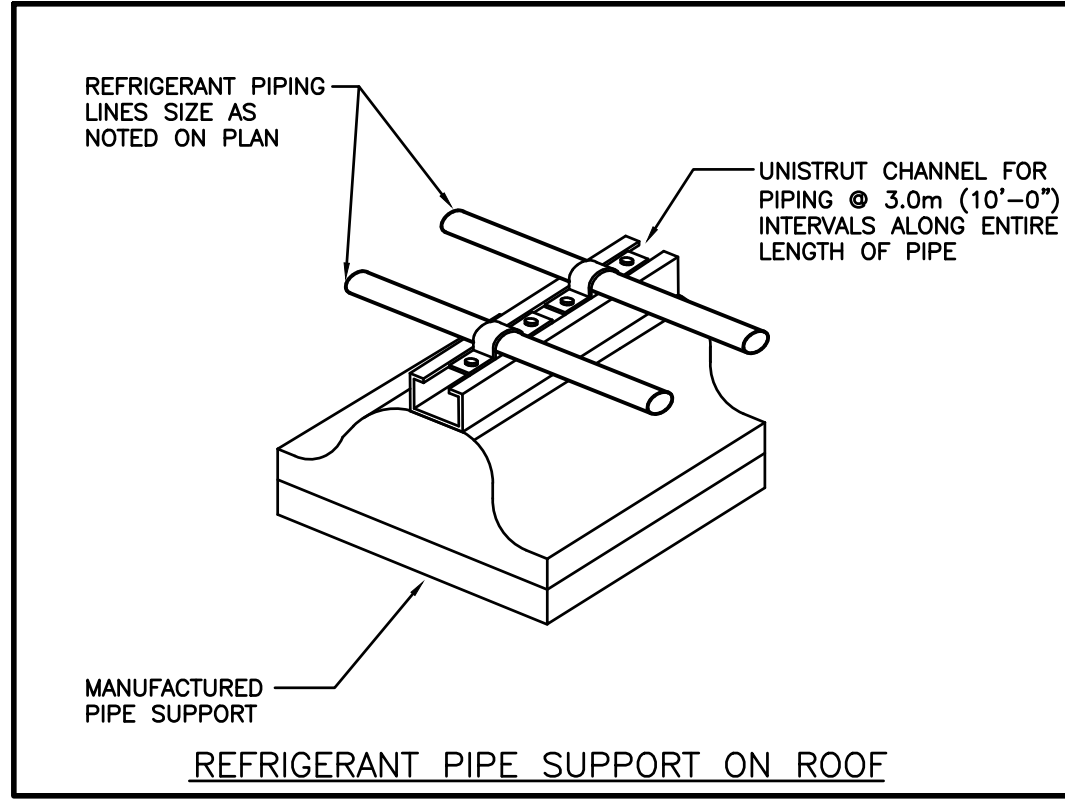
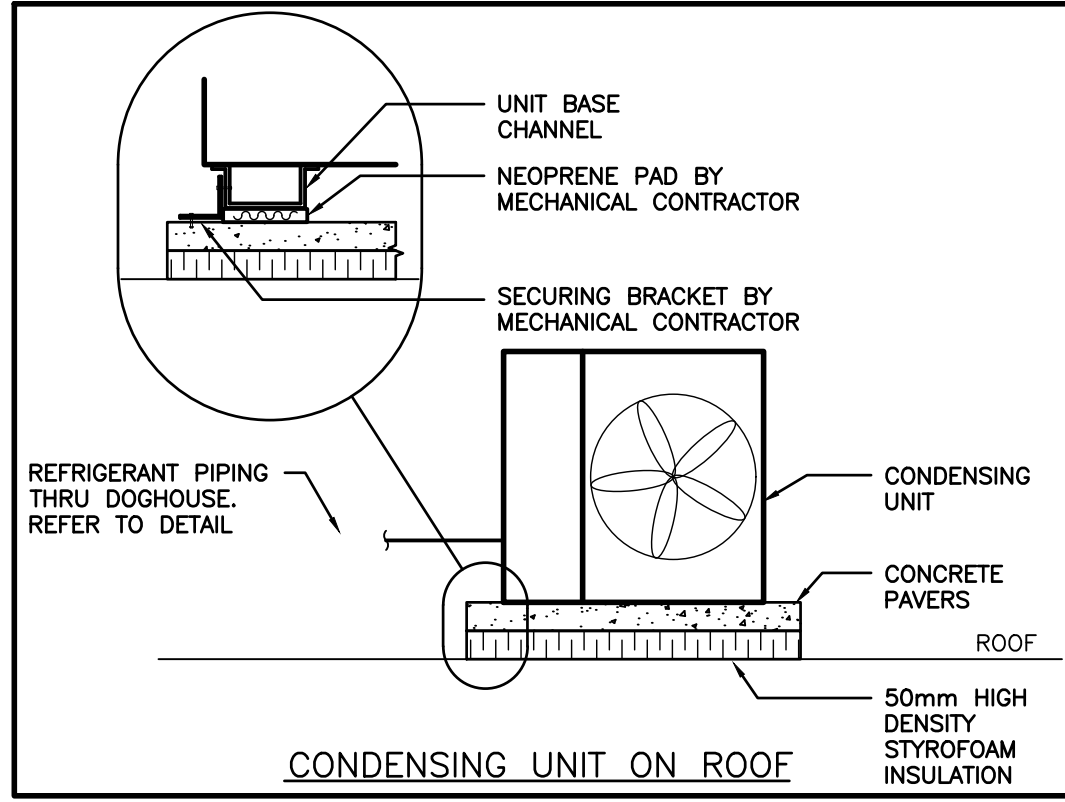
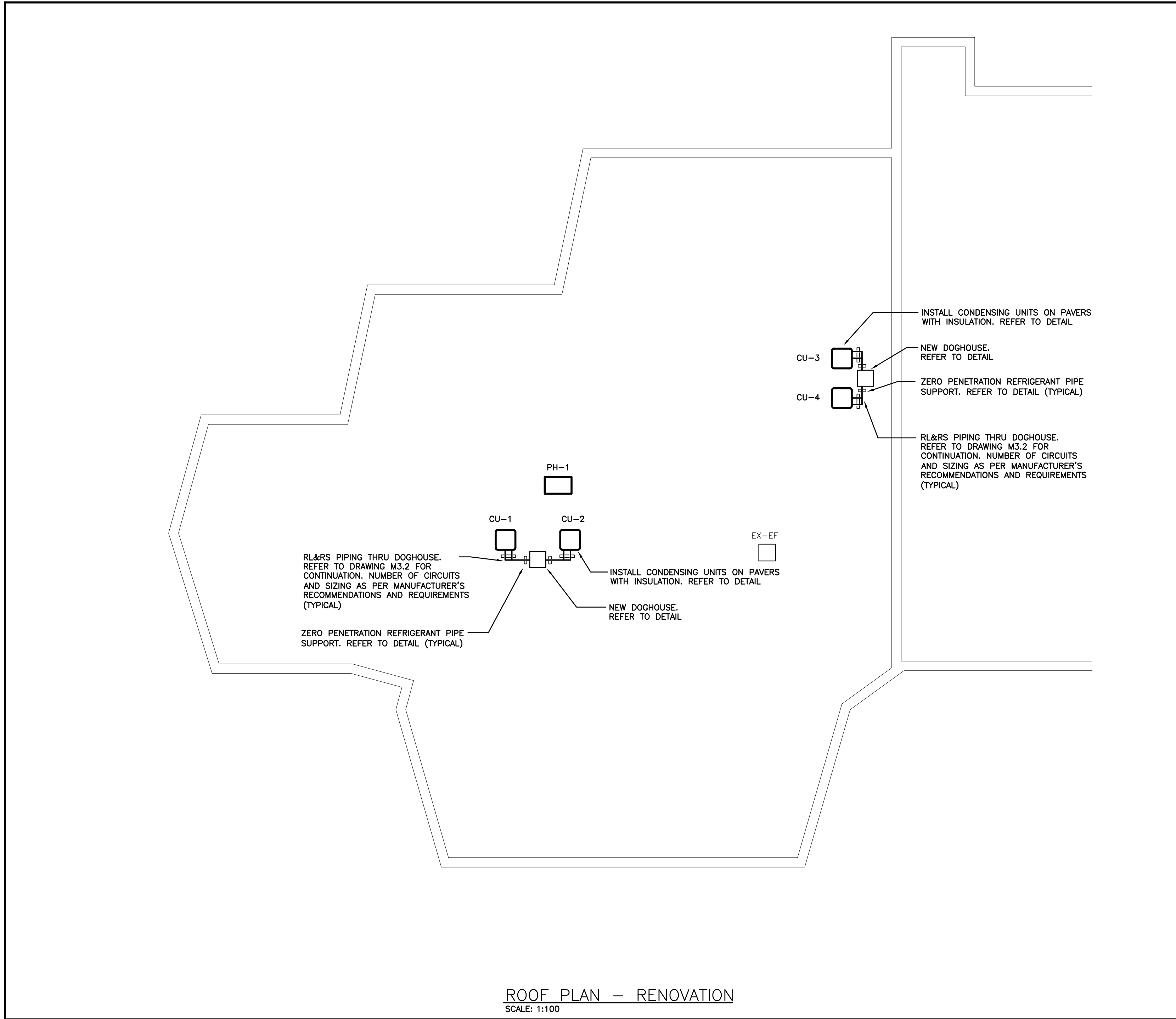
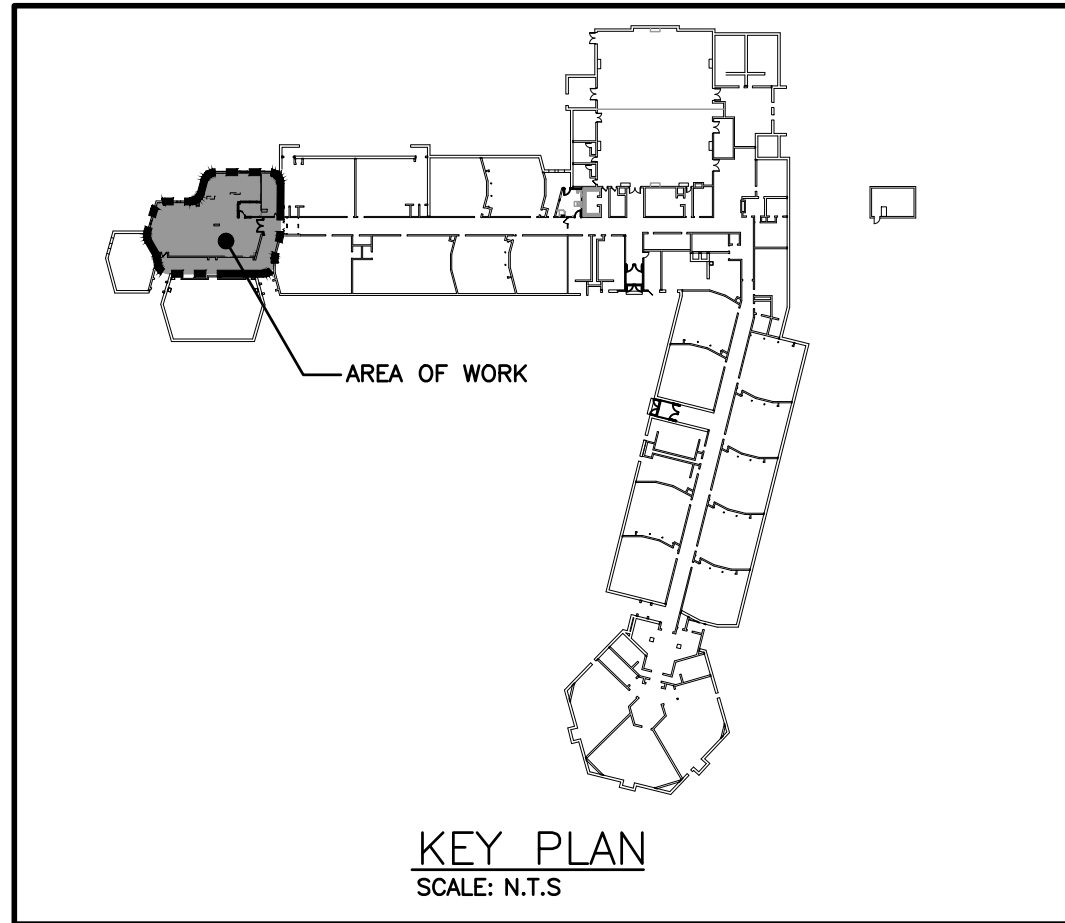
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Project Name: **CRESTVIEW P.S. RENOVATION**

Project Location: **153 MONTCALM DRIVE KITCHENER, ON N2B 2R6**

Project Number: **20298**

Client: **CRESTVIEW PUBLIC SCHOOL**

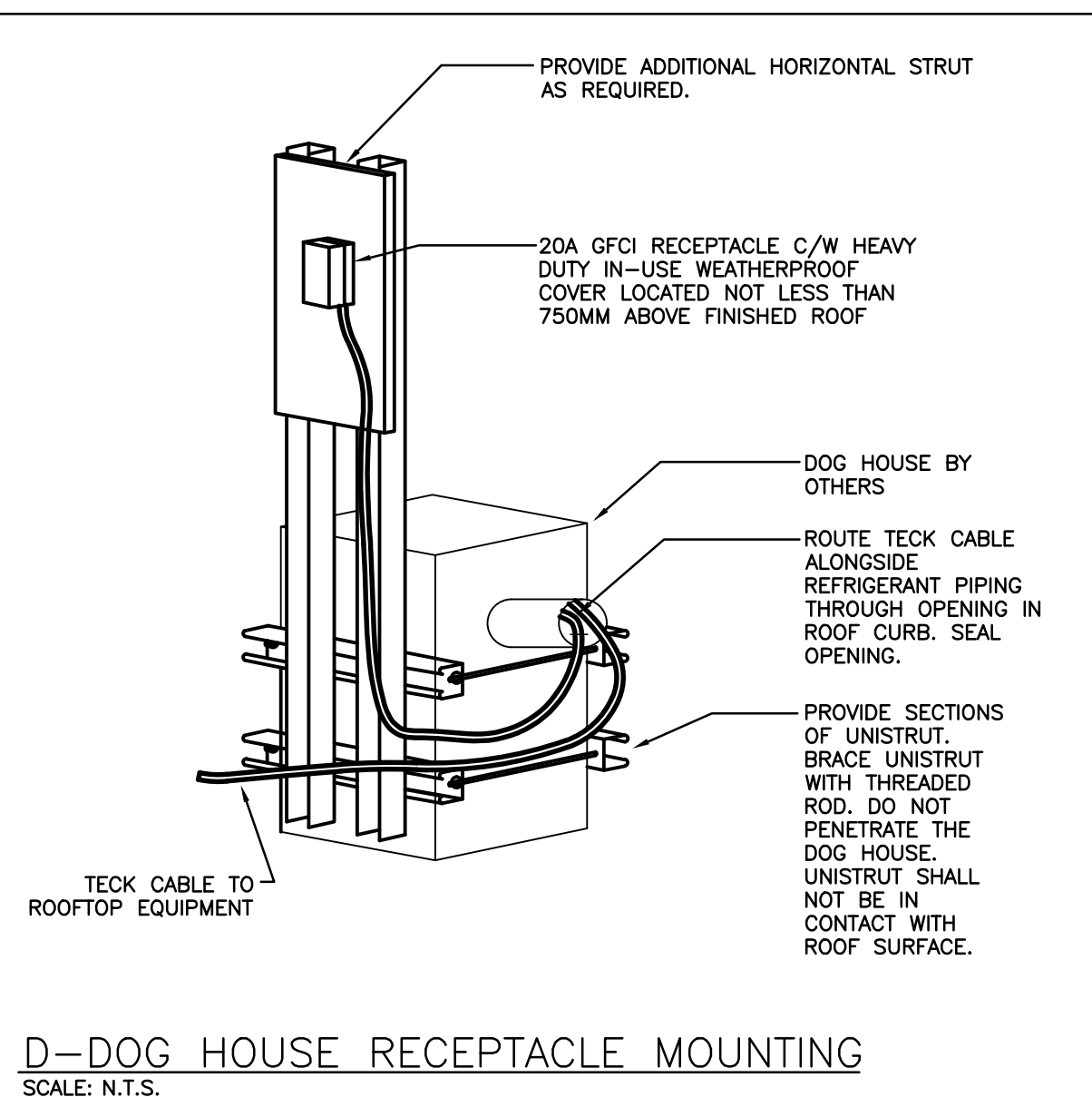
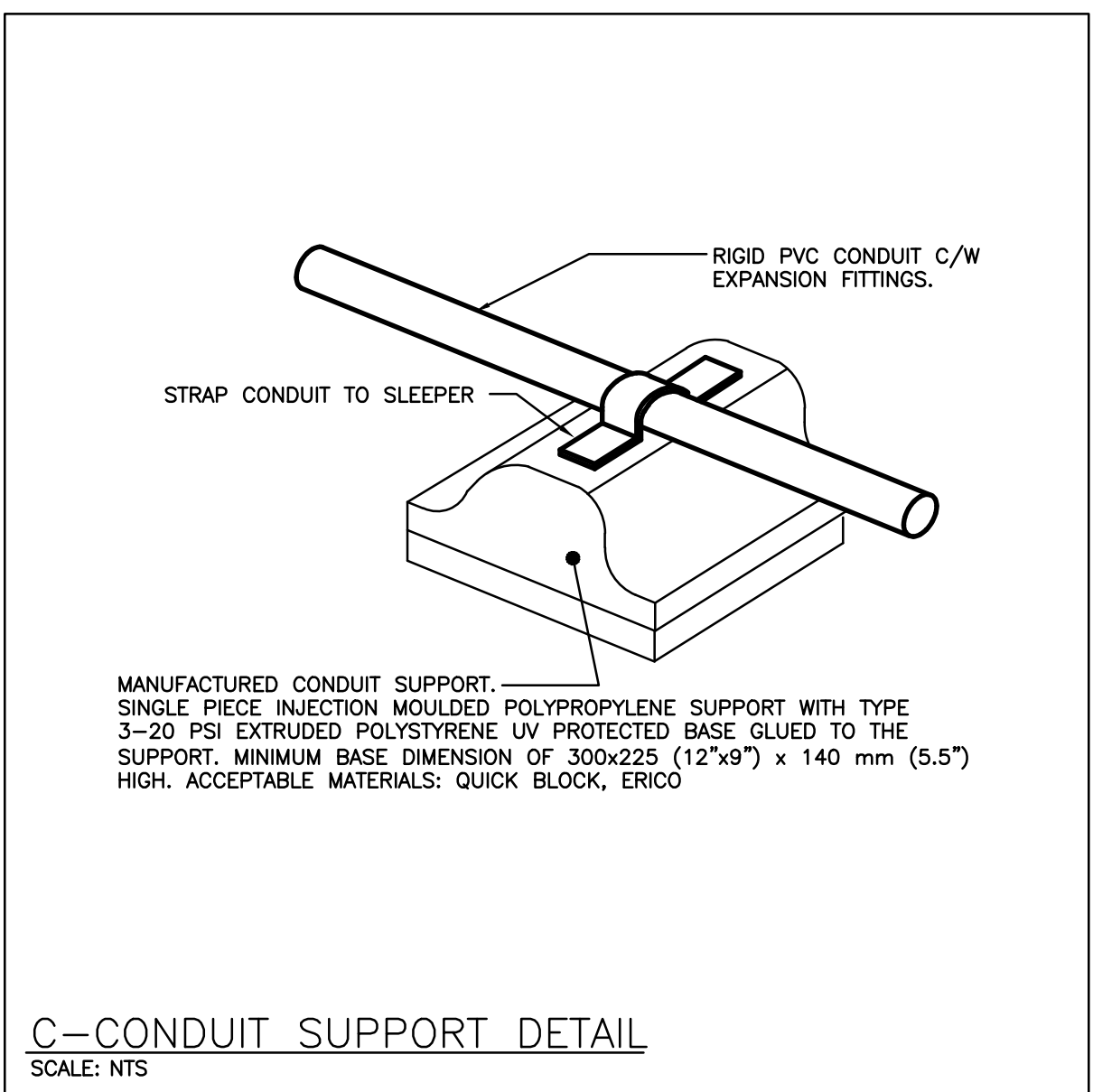
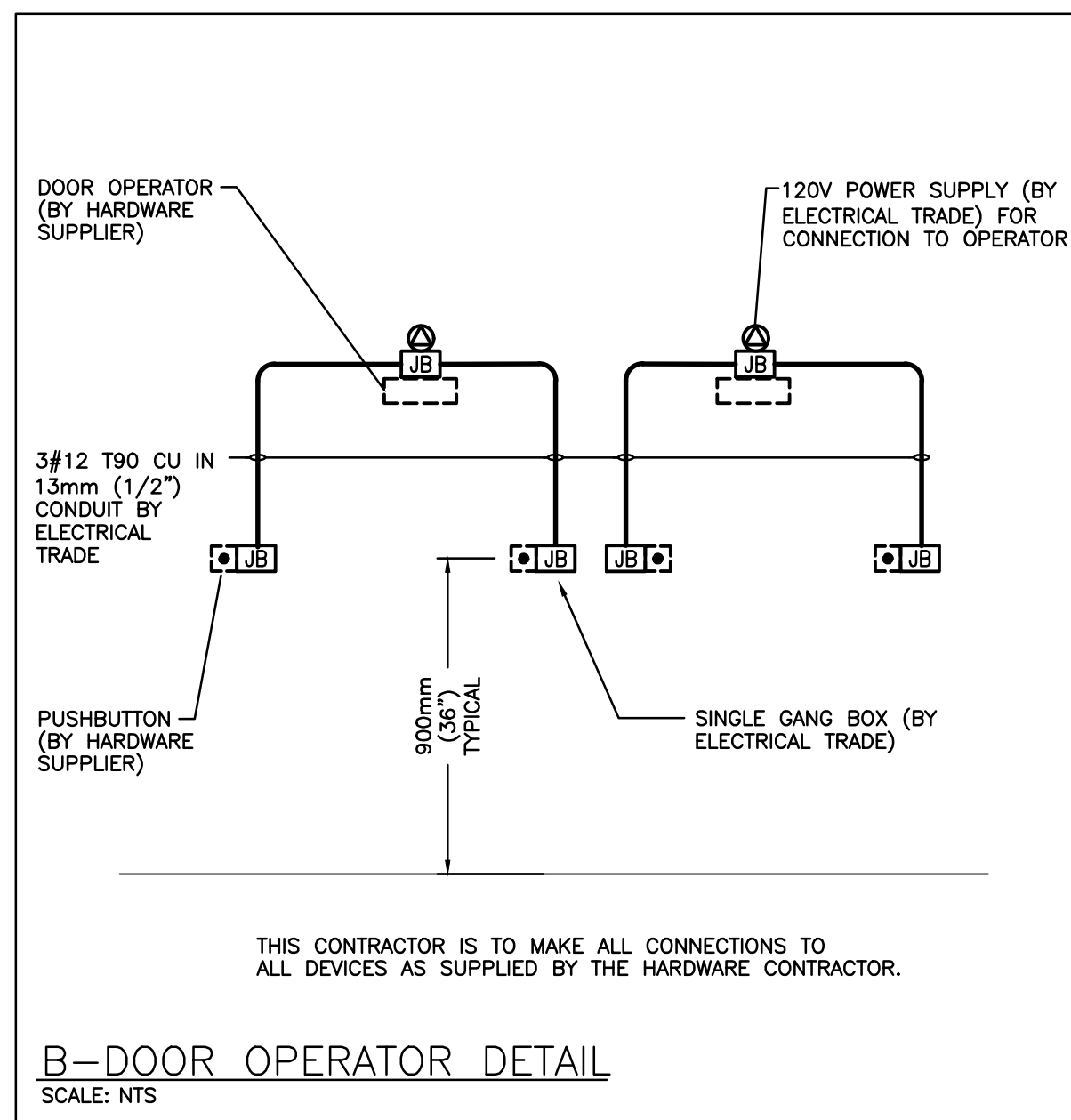
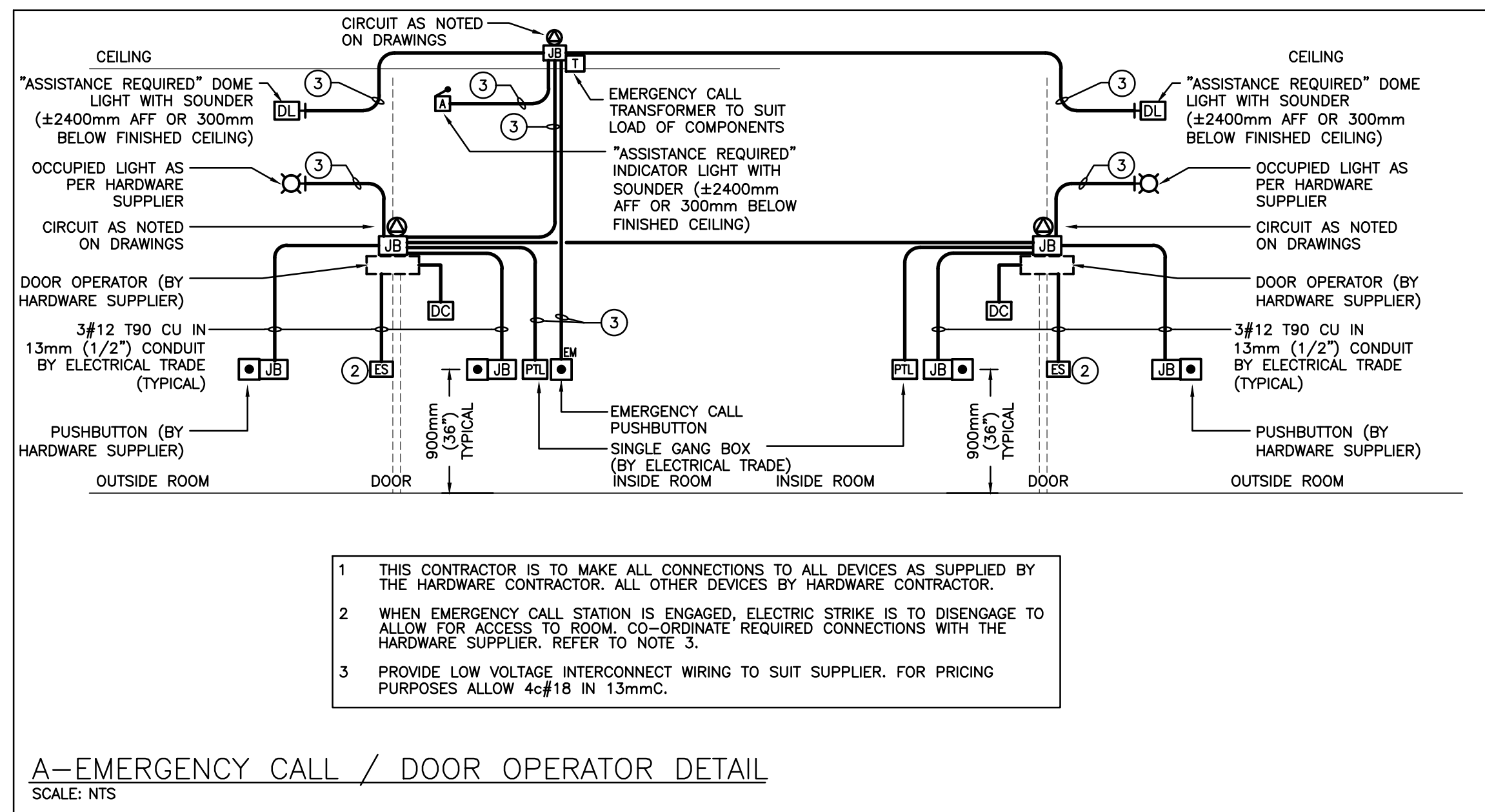


GENERAL NOTES

- MAINTAIN MINIMUM 3700mm (12'-0") LATERAL DISTANCE BETWEEN SANITARY VENTS AND ALL AIR INTAKE/EXHAUST OPENINGS.
- ALL EQUIPMENT SHALL BE MINIMUM 3.0M FROM EDGE OF ROOF.

LICENSED PROFESSIONAL ENGINEER
 7 Mar 23
 M.B. WHITE
 100149074
 PROVINCE OF ONTARIO

CN



EQUIPMENT WIRING SCHEDULE		E=ELECTRICAL M=MECHANICAL O=OTHERS							
Electrical Item	Description	Data	Starters	Control Device	Isolating Device	Remote Items	Interlock	Remarks	
			Magnetic Manual Contactor Combination Variable Frequency Drive	Hand/Off/Auto On/Off Start/Stop PB. High/Low/Off	Pilot Light Disconnect WP Disconnect Breaker/Fuse Starters/Device Wired By	Thermostat Temp Thermostat Time Clock Var.Speed Motor Rated Sw. C/w Pilot Light Dual Voltage Relay	Control Panel Wired by Bldg Auto System Wired by	Interlock To Interlock By	Description
1	UNIT VENTILATOR UV-6	M 120	6.3 MCA				M M M	(3) M	FEED THROUGH CU-1
2	UNIT VENTILATOR UV-7	M 120	6.3 MCA				M M M	(4) M	FEED THROUGH CU-2
3	CONDENSING UNIT CU-1	M 208	18.8 MCA					(1) M	
4	CONDENSING UNIT CU-2	M 208	18.8 MCA					(2) M	
5	DS-1	M 208	1 MCA					(7) M	FEED THROUGH CU-3
6	DS-2	M 208	1 MCA					(8) M	FEED THROUGH CU-4
7	CONDENSING UNIT CU-3	M 208	19.6 MCA					(5) M	
8	CONDENSING UNIT CU-4	M 208	19.6 MCA					(6) M	

ELECTRICAL SYMBOLS		NOTE: ALL SYMBOLS MAY NOT BE USED	
LIGHTING		POWER	
	LIGHT FIXTURE TYPE AS INDICATED		WALL MOUNTED RECEPTACLE (15A-120V)
	LIGHT FIXTURE (HATCHING DENOTES NIGHTLIGHT)		WALL MOUNTED T-SLOT RECEPTACLE (20A-120V)
	COMBINATION EMERGENCY/EXIT TYPE AS INDICATED		T-SLOT RECEPTACLE MTD. ABOVE COUNTER (20A-120V)
	EM-X INDICATES BATTERY UNIT TYPE, DC-X INDICATES DC CIRCUIT, AND X-X INDICATES AC SOURCE CIRCUIT		RECEPTACLE MTD. ABOVE COUNTER S=SPLIT (15A-120V)
	BATTERY UNIT WITH INTEGRAL EMERGENCY FIXTURE (EM-X INDICATES BATTERY UNIT TYPE, DC-X INDICATES DC CIRCUIT, AND X-X INDICATES AC SOURCE CIRCUIT)		DIRECT CONNECTION
	CEILING OR WALL MOUNTED LIGHT FIXTURE TYPE AS INDICATED		JUNCTION BOX
	BATTERY UNIT WITH INTEGRAL EMERGENCY FIXTURE (EM-X INDICATES BATTERY UNIT TYPE)		PUSH-BUTTON STATION (QUANTITY OF BUTTONS AS PER PLANS)
	CEILING MOUNTED EXIT LIGHT ARROWS DENOTE DIRECTION SHADING INDICATES FACE	FIRE ALARM	
	SINGLE POLE SWITCH (3=3 WAY, 4=4 WAY, P=PILOT LIGHT, K=KEYED, DM=DIMMER, M=MOTOR RATED)		HEAT DETECTOR (135 DEGREE RATE OF RISE AND FIXED TEMPERATURE)
	OCCUPANCY SENSOR (PASSIVE)		SMOKE DETECTOR (RL=RELAY BASE)
	CEILING MOUNTED MOTION SENSOR		PULLSTATION
	DIGITAL ROOM CONTROLLER		ALARM BELL
	DIGITAL WALL DIMMER STATION "X" DENOTES NUMBER OF BUTTONS		ALARM STROBE
GENERAL		COMMUNICATIONS	
	INDICATED EXISTING ITEM TO REMAIN		COMBINATION SINGLE VOICE/ SINGLE COMPUTER OUTLET UNLESS OTHERWISE NOTED C/W 1" (27mm) C TO CABLE MANAGEMENT SYSTEM.
	INDICATES EXISTING ITEM TO BE DELETED		WIRELESS ACCESS POINT. PROVIDE 3/4" (21mm) C TO CABLE MANAGEMENT SYSTEM
	INDICATES EXISTING ITEM TO BE RELOCATED/IN RELOCATED POSITION		CLOCK AS PER SPECIFICATIONS
	GROUND FAULT		AUXILIARY OUTLET C/W 1.5°C (41mm) TO ACCESSIBLE CEILING SPACE UNLESS OTHERWISE NOTED.
	NOTE INDICATOR		PUBLIC ADDRESS SPEAKER
	MECHANICAL ITEM NO.		CEILING MOUNTED SPEAKER
STANDARD CIRCUIT LABELING		ACCESS CONTROL	
	POWER PANEL LABEL A-1-1		CARD READER
	CIRCUIT INDICATION		ELECTRIC STRIKE. CONFIRM ROUGHIN WITH DOOR HARDWARE.
SECURITY			"PUSH-TO-LOCK" BUTTON
	SECURITY DETECTOR (SURFACE MOUNTED)		EMERGENCY PUSH BUTTON STATION
ACCESS CONTROL			"ASSISTANCE REQUIRED" DOME LIGHT WITH SOUNDER
	CARD READER		"ASSISTANCE REQUIRED" INDICATOR LIGHT WITH SOUNDER
	ELECTRIC STRIKE. CONFIRM ROUGHIN WITH DOOR HARDWARE.		

Revision Schedule		
Particular	Date	No.
ISSUED FOR PERMIT AND TENDER	2023.03.05	1

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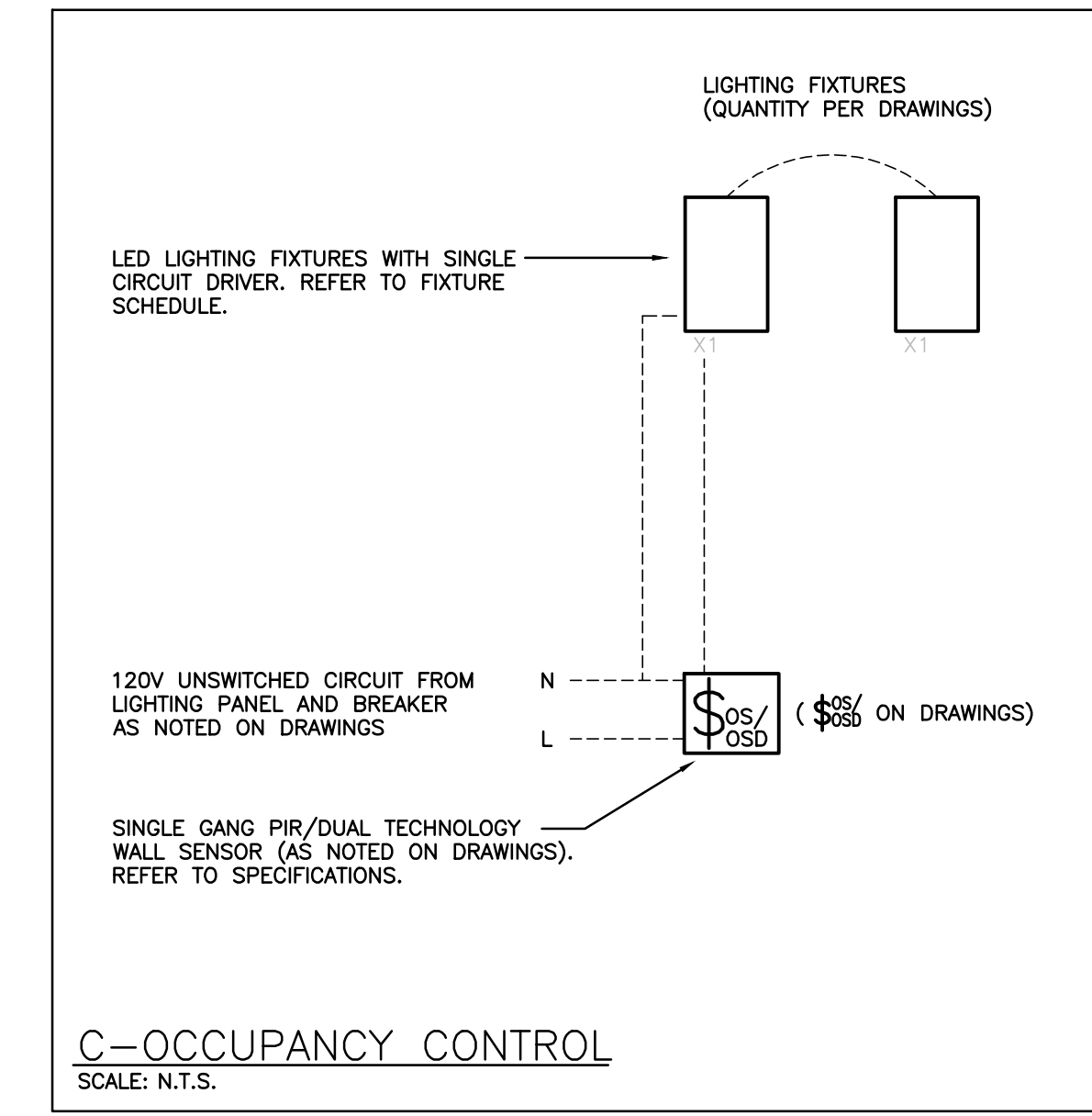
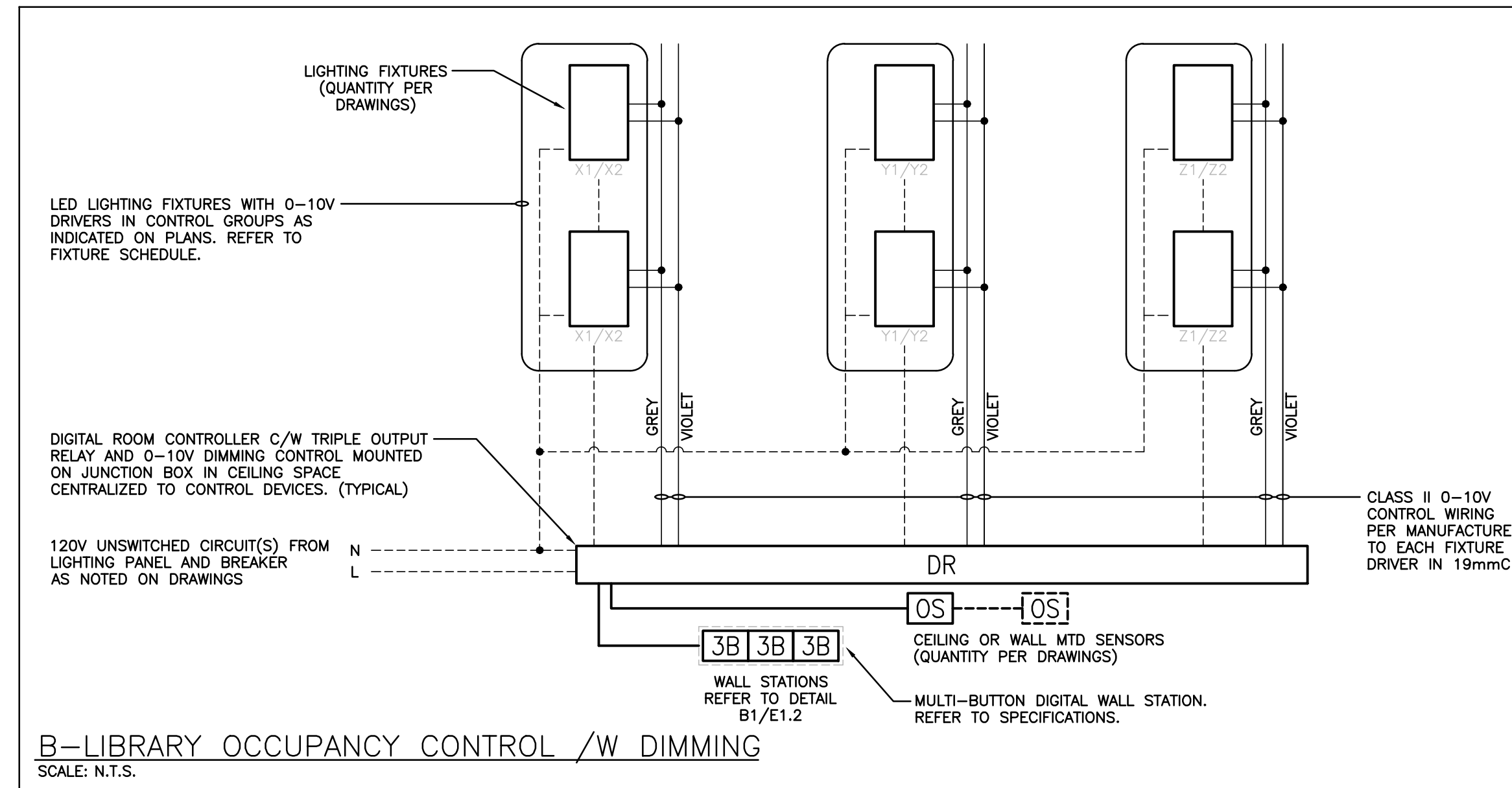
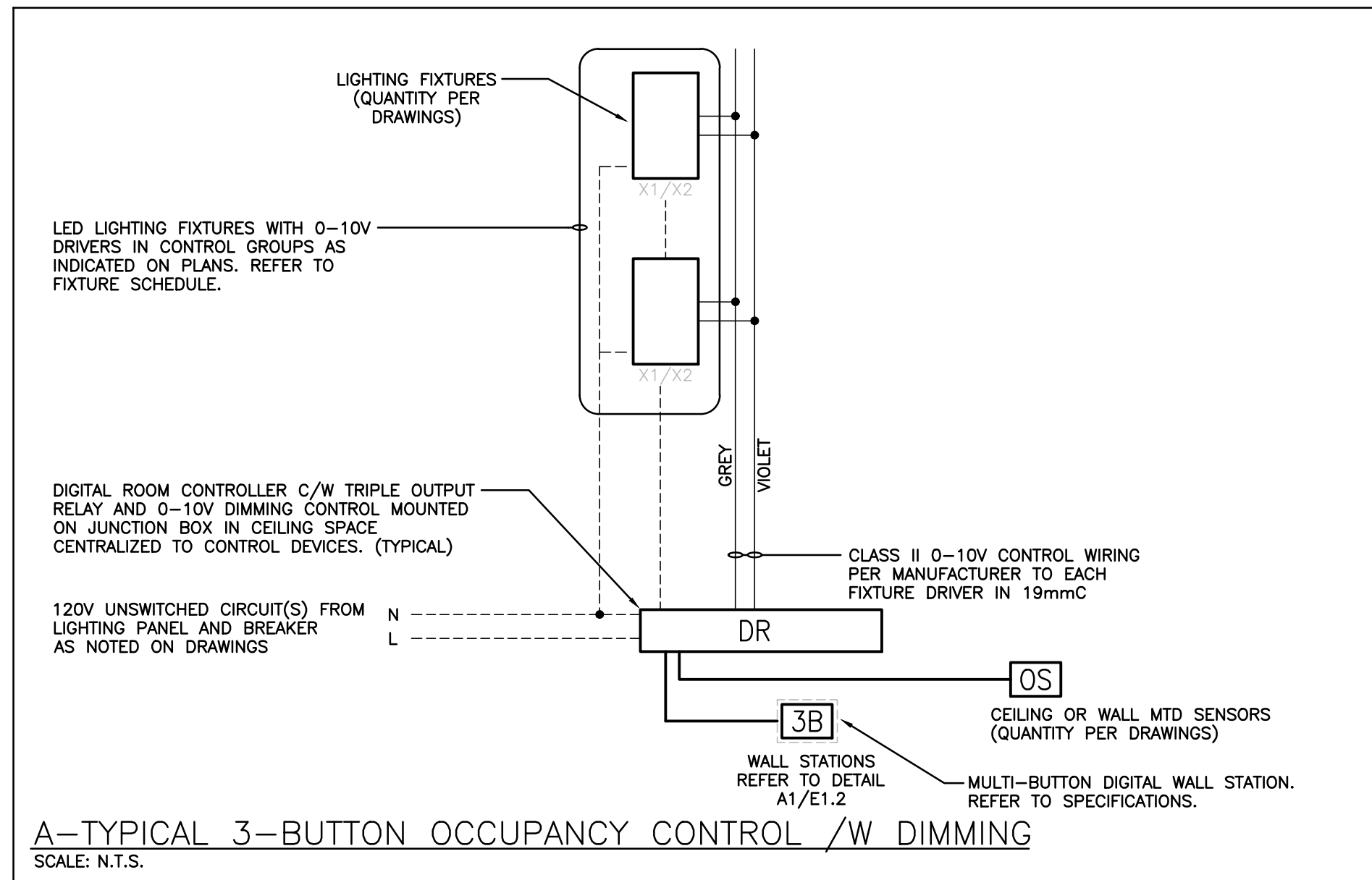
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Phone: 519-725-3555
Website: deiassociates.ca
Project Number: 20298

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Project Name: CRESTVIEW P.S. RENOVATION
Project Location: 153 MONTCALM DRIVE KITCHENER, ON N2B 2R6
Project Number: 20298

Client: CRESTVIEW PUBLIC SCHOOL





LIGHTING CONTROL SYSTEMS SEQUENCE OF OPERATION

Space Type	Room Names	Control Sequence / Control Device(s):	Control System
Enclosed Rooms	MEETING ROOM, QUIET ROOM	Sequence: ON: Lights turned on automatically via occupancy sensor (where applicable). ADJUST: The occupant manually adjusts lighting within the room to desired level or preset in each group via wall dimmer. OFF: 5 minutes after the room has been vacated, the lights will automatically turn off.	DIGITAL ROOM CONTROL SYSTEM
Learning Commons	LIBRARY	Sequence: ON: Lights turned on manually via wall station(s) (vacancy mode). ADJUST: The occupant manually adjusts lighting zones within the room to 100% or off via wall scene stations. OFF: 5 minutes after the room has been vacated, the lights will automatically turn off. OVERRIDE: User manually adjusts fixture zone lighting levels or on/off and that state shall remain without reverting to previous state unless sensors do not detect occupancy for extended period, whereby normal sensor operation is to resume. 24HOUR: Lights designated for 24 hour operation to remain at 100% output.	DIGITAL ROOM CONTROL SYSTEM
Washroom	TYPICAL	Sequence: ON: Lights turned on manually via wall switch. OFF: Lights turned off manually via wall switch.	DIGITAL ROOM CONTROL SYSTEM

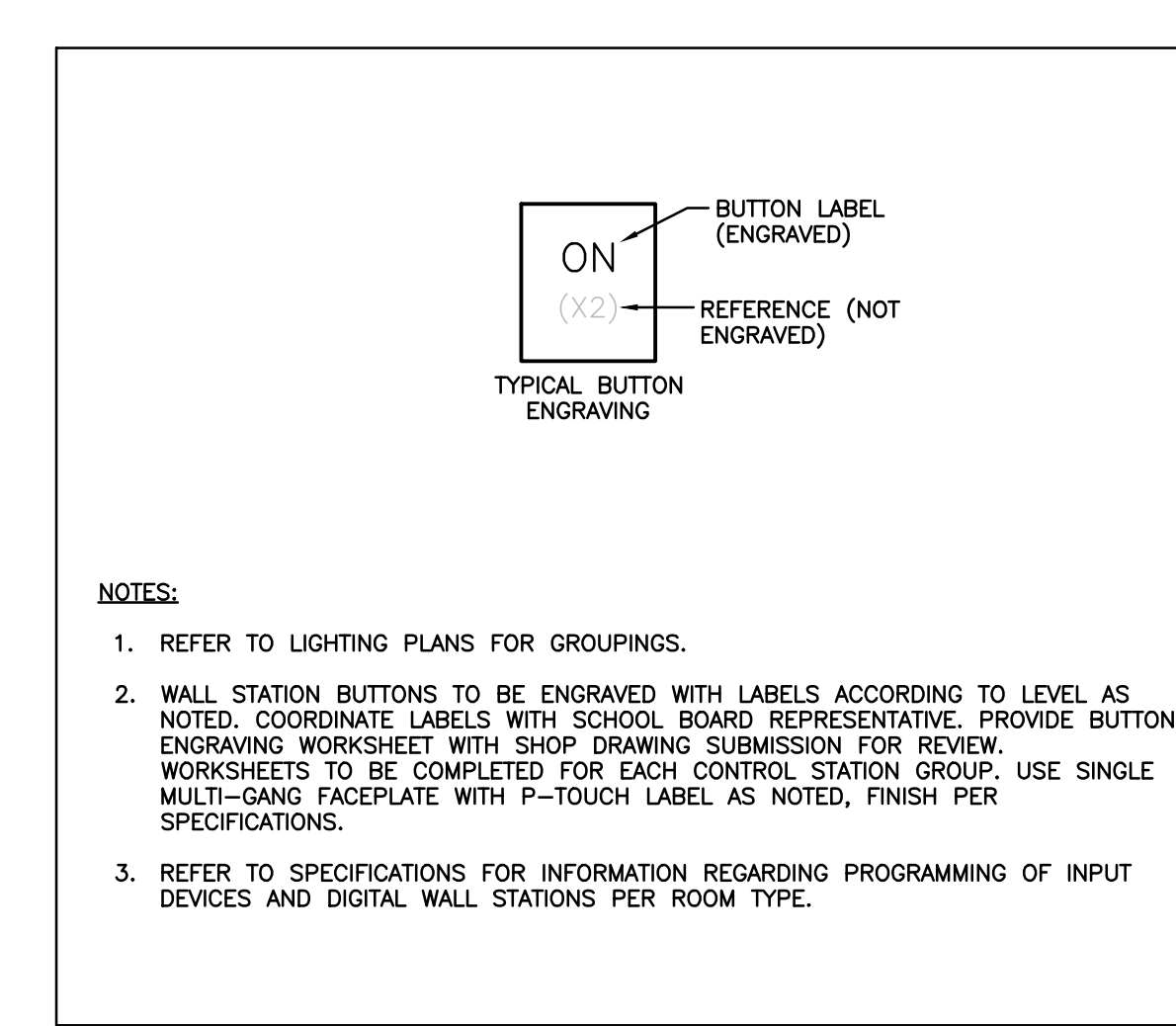
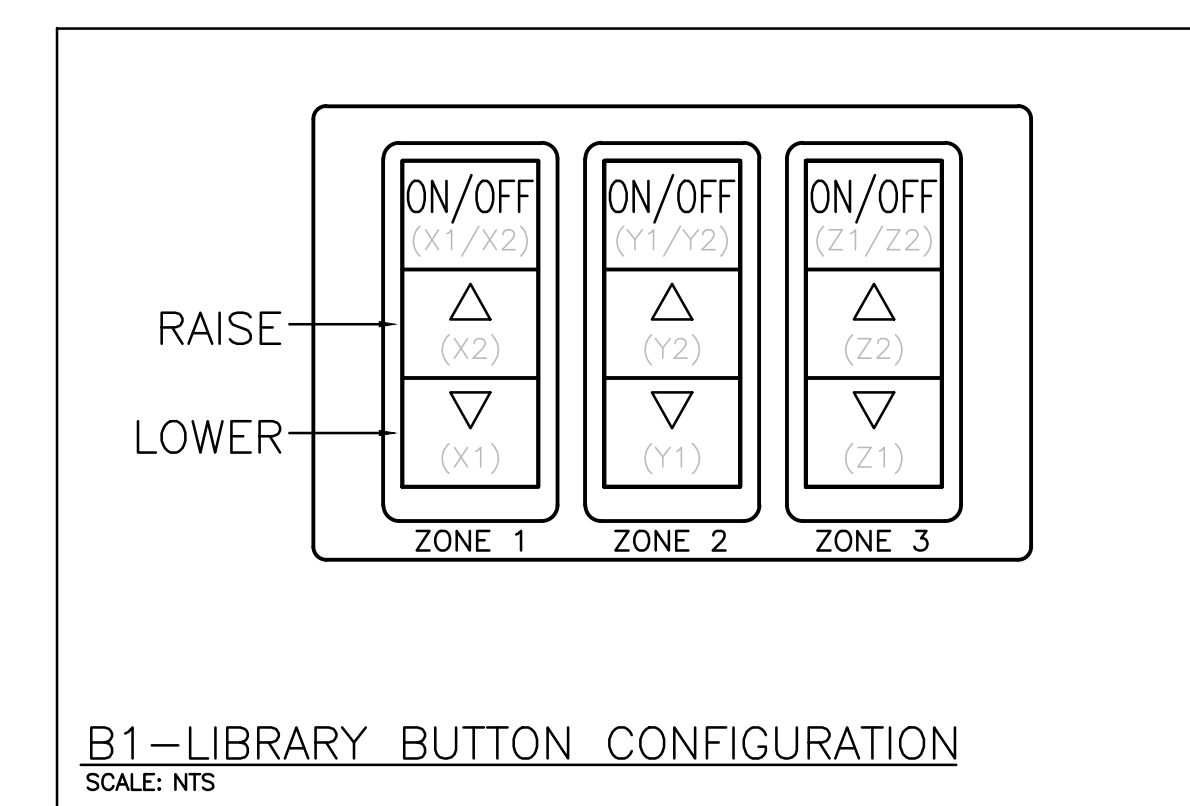
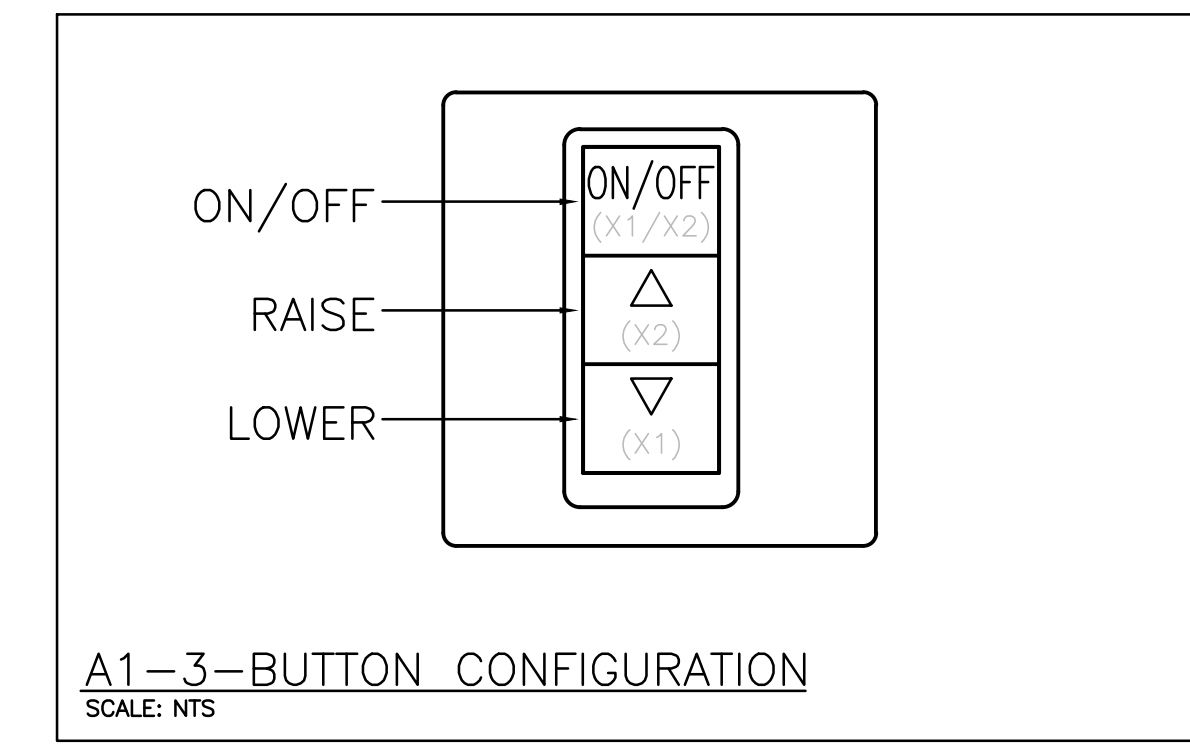
SYSTEM DESCRIPTIONS:

DIGITAL ROOM CONTROL (DLM) SYSTEM
DIGITAL ROOM CONTROL RELAY POWER PACKS C/W PLUG AND PLAY DIGITAL SENSORS AND WALL MOUNT CONTROL STATIONS. REFER TO SPECIFICATIONS SECTION 26 51 16.

LED LIGHT FIXTURE SCHEDULE

Item	Manufacturer/Catalog Number	Voltage	Lamp	Mounting	Description
A	COOPER CAT. #24GR-LD5-30-A-UNV-L835-CD1 LITHONIA CAT. #2GT14-30L-EZ1-LP835 SIGNIFY CAT. #2TGS2L835-4-FS-02F-UNV-DIM	120V	27W LED 3500m 3500K	RECESSED	2'x4' (610x1220mm) LED TROFFER C/W STEEL HOUSING, PATTERN 12 LENS, AND 0-10V DIMMING.
B	MARK LIGHTING CAT. #S4PD-LLP-XFT-MSL4-80CR-35K-400LMF-SCT-MIN1-FL-1-MVOLT-XX-ZT COOPER CAT. #S12ADIP-C-575D835-C4-XX-XF0-1-U-DD-XX LUMENWERX CAT. #W4P-D-HLO-FH-NA-80-500-35-XFT-UNV-D1-1C-XX	120V	3W/ft LED 400m/ft 3500K	SUSPENDED	LINEAR PENDANT FIXTURE C/W ACRYLIC LENS AND 0-10V DIMMING. FINISH TO SUIT ARCHITECT. REFER TO FLOOR PLANS FOR CONTINUOUS RUN LENGTH OF FIXTURES. CONFIRM T-GRID SIZE FOR MOUNTING KIT.
B1	MARK LIGHTING CAT. #SL4L-LOP-XFT-FLP-XX-80CRI-35K-600LMF-MIN1-120-ZT COOPER CAT. #S12ADIP-C-575D835-ETGXFD-1-U-DO-F-XX LUMENWERX CAT. #W4P-D-HLO-FH-SW-80-750-35-XFT-UNV-D1-1C-XX	120V	6W/ft LED 600m/ft 3500K	RECESSED	LINEAR RECESSED FIXTURE C/W ACRYLIC LENS AND 0-10V DIMMING. FINISH TO SUIT ARCHITECT. REFER TO FLOOR PLANS FOR CONTINUOUS RUN LENGTH OF FIXTURES. CONFIRM T-GRID SIZE FOR MOUNTING KIT.
C	COOPER CAT. #LD60-20-90-35-D010-W-1-L1 SIGNIFY CAT. #SRN-08L20835W210U-CGRDLCL GOTHAM CAT. #EVO6-35/20-AR-LSS-WD-MVOLT-G21	120V	21W LED 2000 LUMENS 3500K	RECESSED	6" (140mm) ROUND DOWNLIGHT C/W WIDE BEAM REFLECTOR, SEMI-SPECULAR FINISH AND 0-10V DIMMING.
F	COOPER CAT. #22GR-LD5-20-A-UNV-L835-CD1 LITHONIA CAT. #2GT12-20L-EZ1-LP835 SIGNIFY CAT. #2TGS2L835-4-FS-02F-UNV-DIM	120V	16W LED 2000m 3500K	RECESSED	2'x2' (610x610mm) LED TROFFER C/W STEEL HOUSING, PATTERN 12 LENS, AND 0-10V DIMMING.
G	COOPER CAT. #HC6-10-D010 C/W HM6-0525-835 C/W 61-WD-H LITHONIA CAT. #LDN6-35/10-L06-AR-LSS-MVOLT-G21 ELITE CAT. #H6-LED-1200L-DIM10-MVOLT-WD-35K-90-HH6-6501-XX	120V	9W LED 1000 LUMENS 3500K	RECESSED	6" (150mm) RECESSED LED POTLIGHT C/W 0-10V DIMMING DRIVER, SEMI-SPECULAR CLEAR REFLECTOR AND WHITE PAINTED FLANGE.
EXIT LIGHTS (SELF-POWERED)	STANPRO CAT. #RMXLOWHIB AIMLITE CAT. #RPALUMWHTBAT LUMACELL CAT. #LA SERIES	12V/120V	LED 2.5 WATT (MAX.JAC 2 WATT (MAX.JDC	SURFACE	LED EXTRUDED ALUMINUM PICTOGRAM FIXTURE C/W GREEN FACE AND WHITE LEGEND, UNIVERSAL MOUNTING TO SUIT WALL, END OR CEILING, MAXIMUM 63mm (2.5") THICKNESS AND 12V INTERNAL SEALED RECHARGABLE BATTERY PROVIDING MINIMUM 30 MINUTES OF EMERGENCY POWER
EMER. LIGHTS (SELF-POWERED)	BEGHELLI TEMPESTA SERIES: EM-3 #TA-LED-EM-120-TB-90SP (RECESSED TBAR MOUNT) OR APPROVED EQUALS BY: STANPRO AIMLITE CAT. #VP1 SERIES LUMACELL CAT. #LBI SERIES	12V/120V	N/A	RECESSED	VANDAL RESISTANT LONG LIFE, SEALED BATTERY, C/W 17W LED MODULES, POLYCARBONATE BODY AND 90 MINUTE BATTERY DURATION
COMBO UNIT	STANPRO CAT. EM-1#PRML12360254LR EM-2#PRML12720254LR AIMLITE CAT. EM-1#CARP1236U2MDWHT EM-2#CARP1272U2MDWHT LUMACELL CAT. EM-1#LACXW12502LD7ATN EM-2#LACXW12722LD7ATN	12V/120V	LED 4W MR16	SURFACE	LED EXTRUDED ALUMINUM PICTOGRAM FIXTURE C/W GREEN FACE AND WHITE LEGEND, UNIVERSAL MOUNTING TO SUIT WALL, END OR CEILING, MAXIMUM 63mm (2.5") THICKNESS AND 12V INTERNAL SEALED RECHARGABLE BATTERY PROVIDING MINIMUM EMERGENCY WATTAGE AS NOTED BY THE CATALOGUE NUMBER. INTEGRAL 12V LED HEADS TO HAVE COMPACT DESIGN WITH VARIABLE LIGHT PATTERN, WHITE COLOUR, AND 360° ROTATION. UNIT SHALL OPERATE ON 12V. WHERE NOTED UNIT SHALL BE C/W WIREGUARD.

- NOTES:
- LED LUMEN VALUES QUOTED FOR FIXTURES ARE TO BE CONSIDERED MINIMUM, AND AS ABSOLUTE OR DELIVERED LUMENS. LUMEN VALUES SHOULD NOT EXCEED MORE THAN 10% OF SPECIFIED OUTPUT.
 - EQUAL MANUFACTURERS/SUPPLIERS MUST CONFIRM THE PROPOSED FIXTURE BY EMAIL WITH CONSULTANTS OFFICE A MINIMUM OF 10 DAYS PRIOR TO TENDER CLOSE.
 - WHERE NOTED ABOVE THAT FIXTURES ARE TO HAVE FINISH TO SUIT ARCHITECT THE FINISH WILL BE SELECTED FROM MANUFACTURER'S OPTIONAL COLOUR CHART (i.e. RAL COLOURS OR EQUAL). PROVIDE THIS COLOUR CHART WITH SHOP DRAWING SUBMITTAL.
 - IF THERE ARE ANY DISCREPANCIES BETWEEN THE FIXTURE PART NUMBER AND DESCRIPTION, IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO BRING THESE TO THE ELECTRICAL CONSULTANT'S ATTENTION PRIOR TO TENDER CLOSE. NO EXTRAS WILL BE ENTERTAINED FOR FAILURE TO DO SO. FINAL FIXTURE CHARACTERISTICS AND DESCRIPTION WILL BE MARKED BY CONSULTANT AT TIME OF SHOP DRAWING REVIEW.
 - PROVIDE ALTERNATE PRICE (AP-01) TO CHANGE TYPE B LIGHT FIXTURE FROM SUSPENDED TO RECESSED. REFER TO ELECTRICAL SPECIFICATIONS SECTION FOR ALTERNATE PRICE INFORMATION AND FIXTURE SPECIFICATION.



Revision Schedule

Particular	Date	No.
ISSUED FOR PERMIT AND TENDER	2023.03.05	1

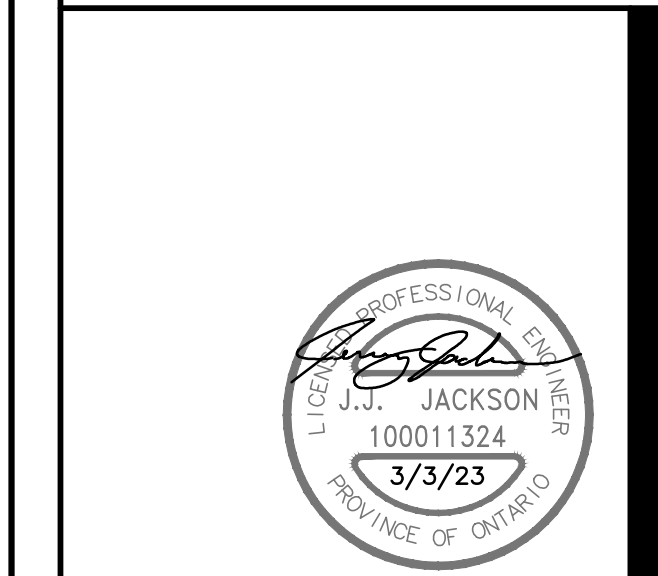
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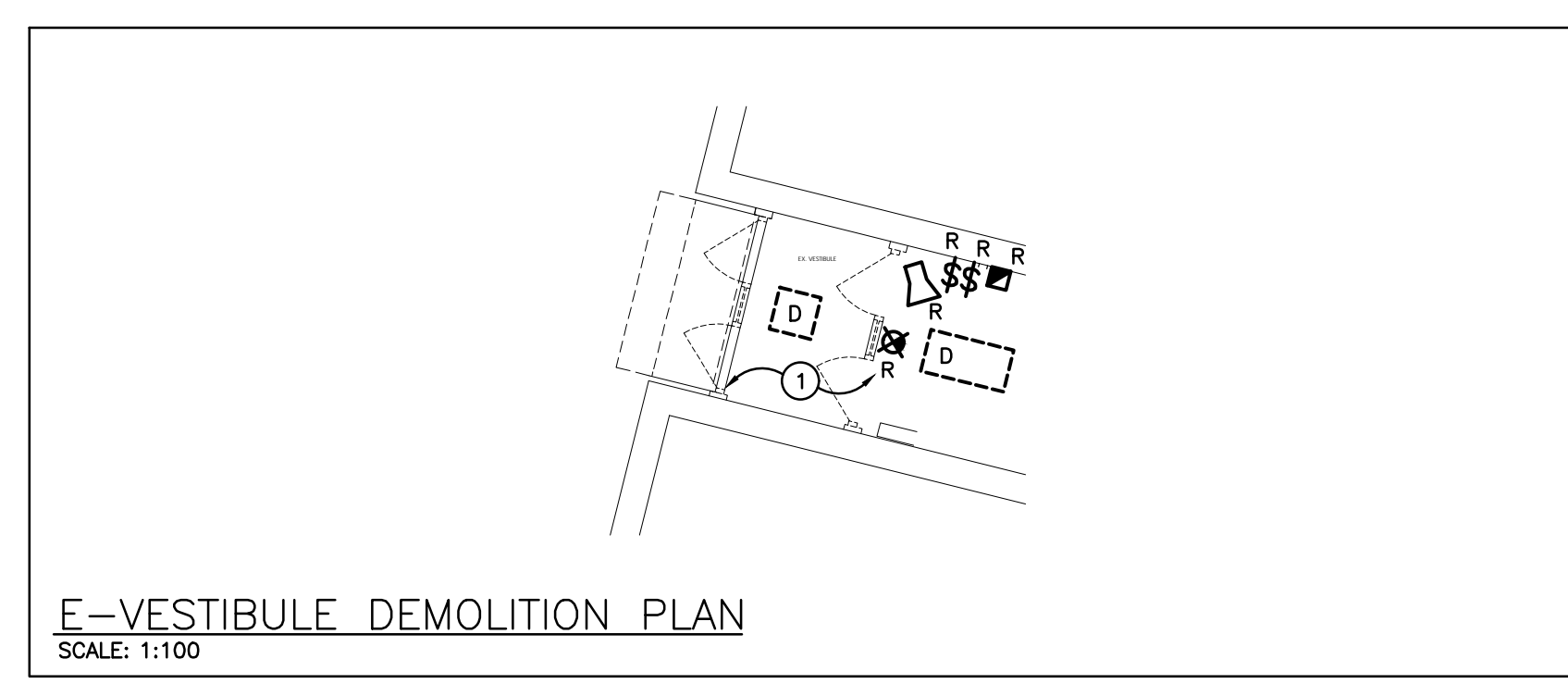
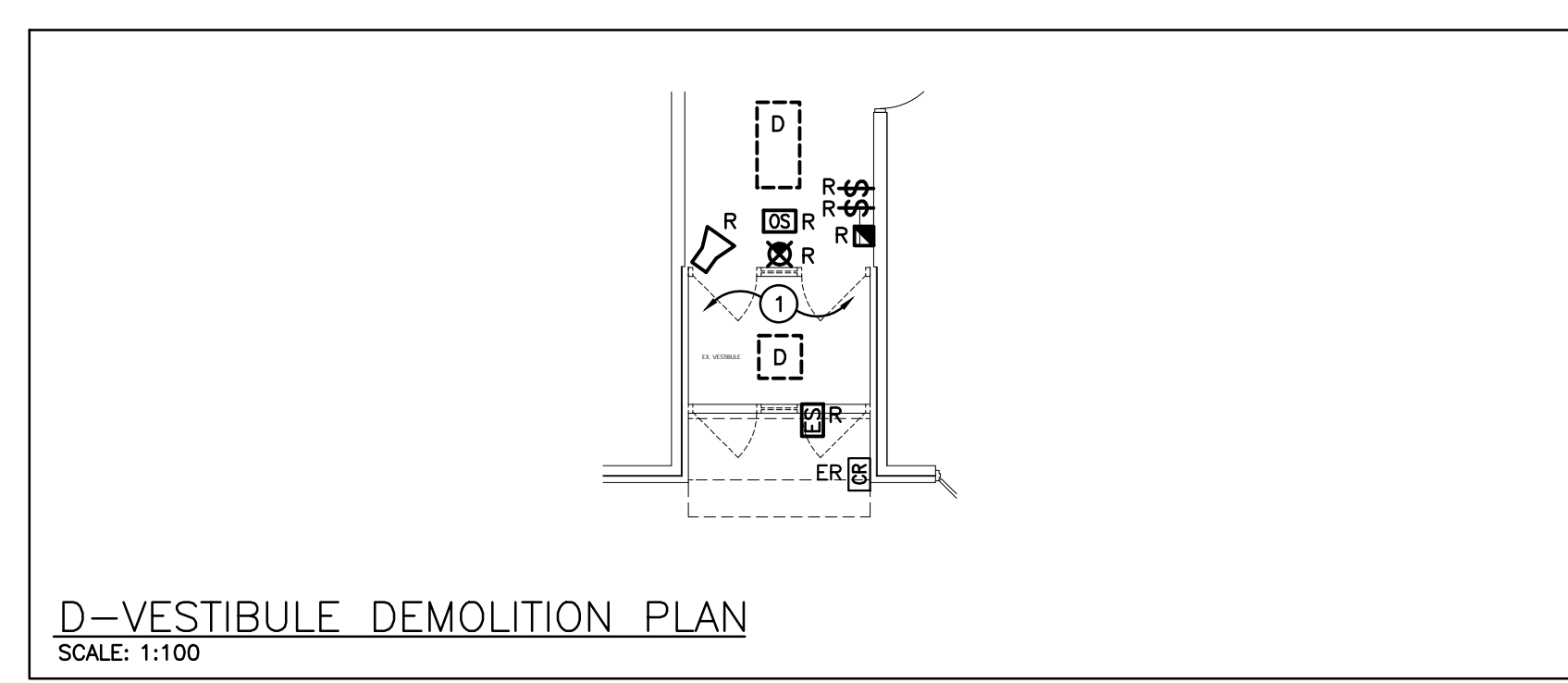
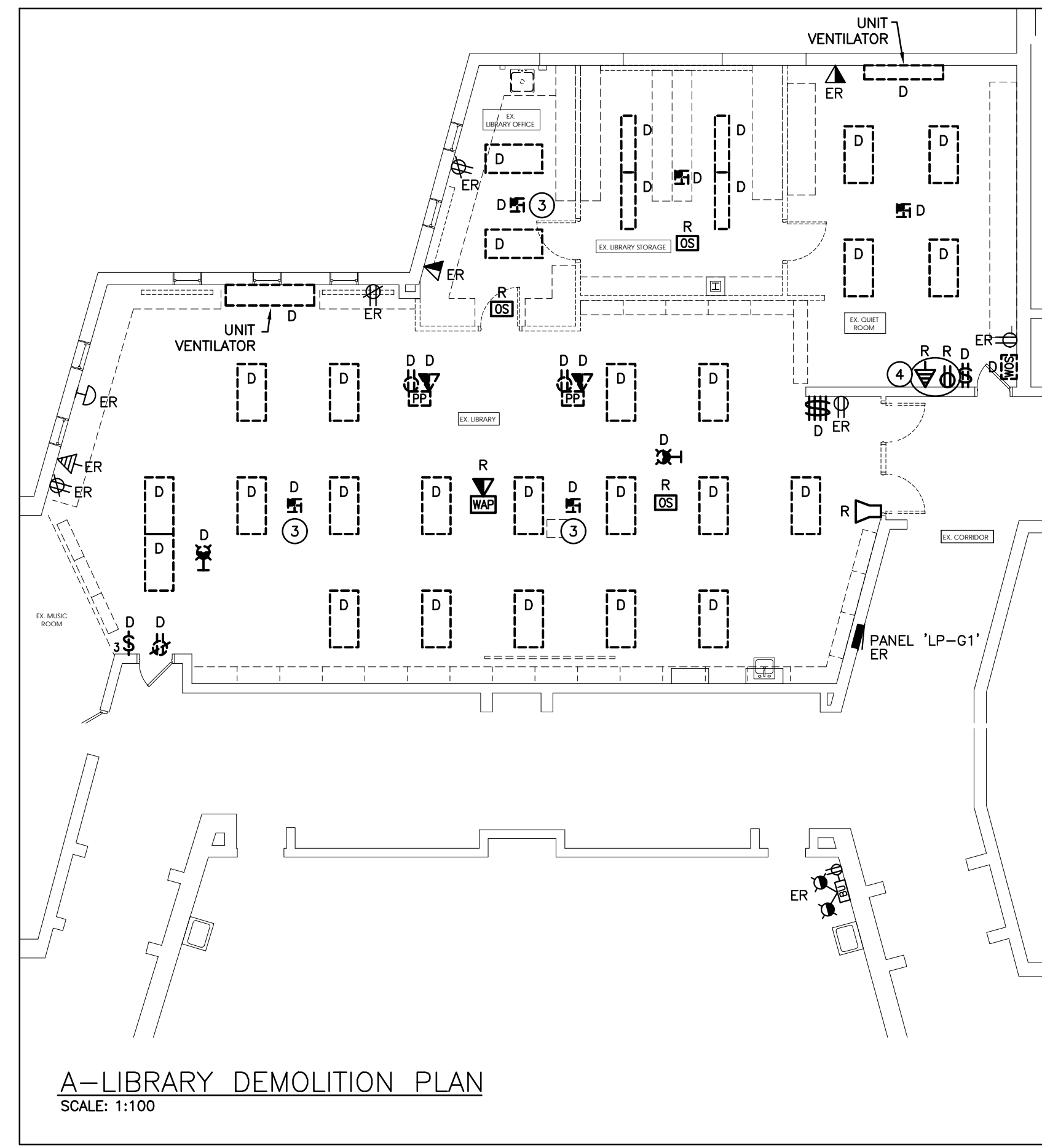
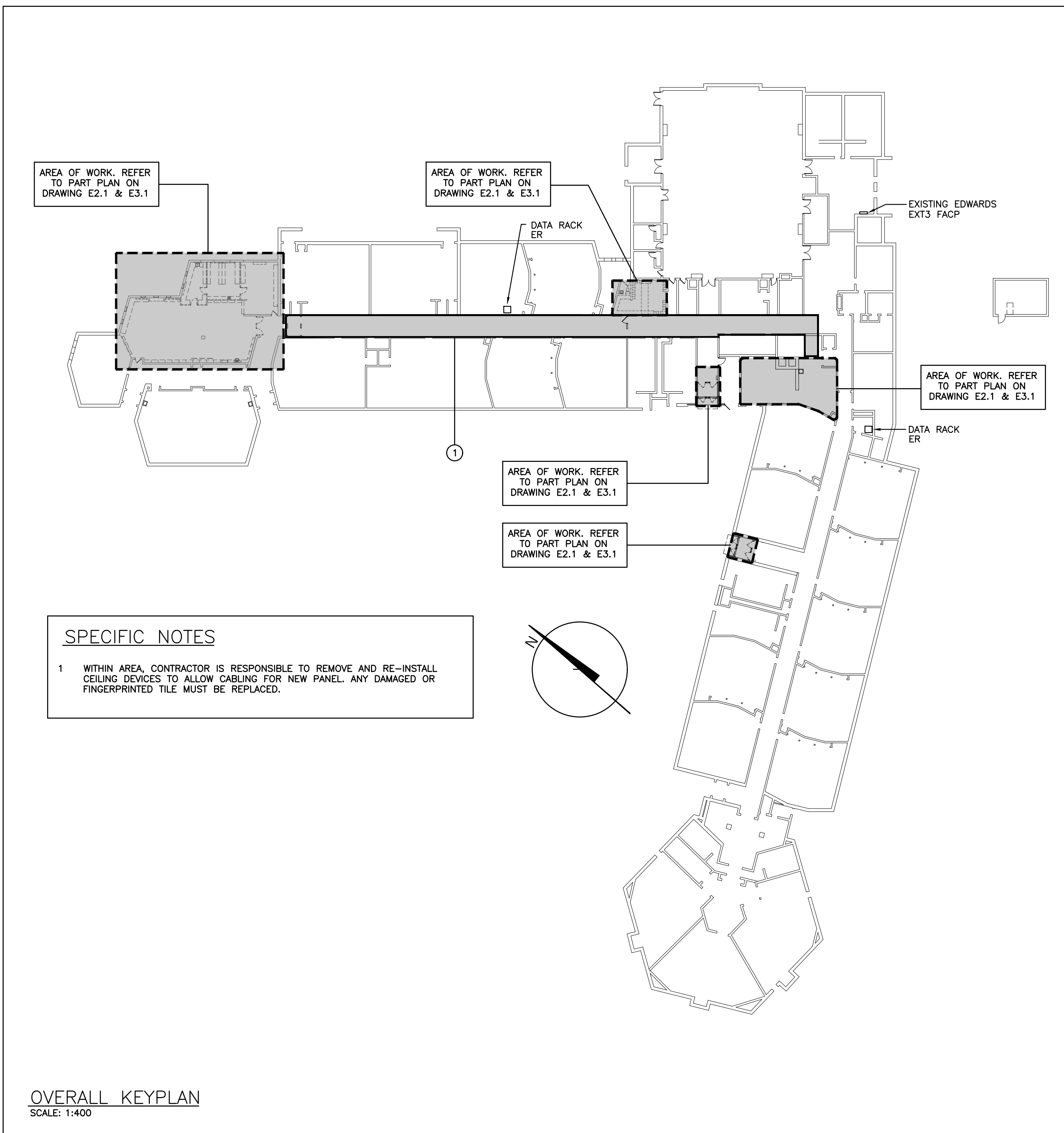
Project Name: **CRESTVIEW P.S. RENOVATION**
Project Location: **153 MONTCALM DRIVE KITCHENER, ON N2B 2R6**
Project Number: **20298**

Client: **CRESTVIEW PUBLIC SCHOOL**



E1.2

Drawn by: CP Checked by: RL Scale: As noted

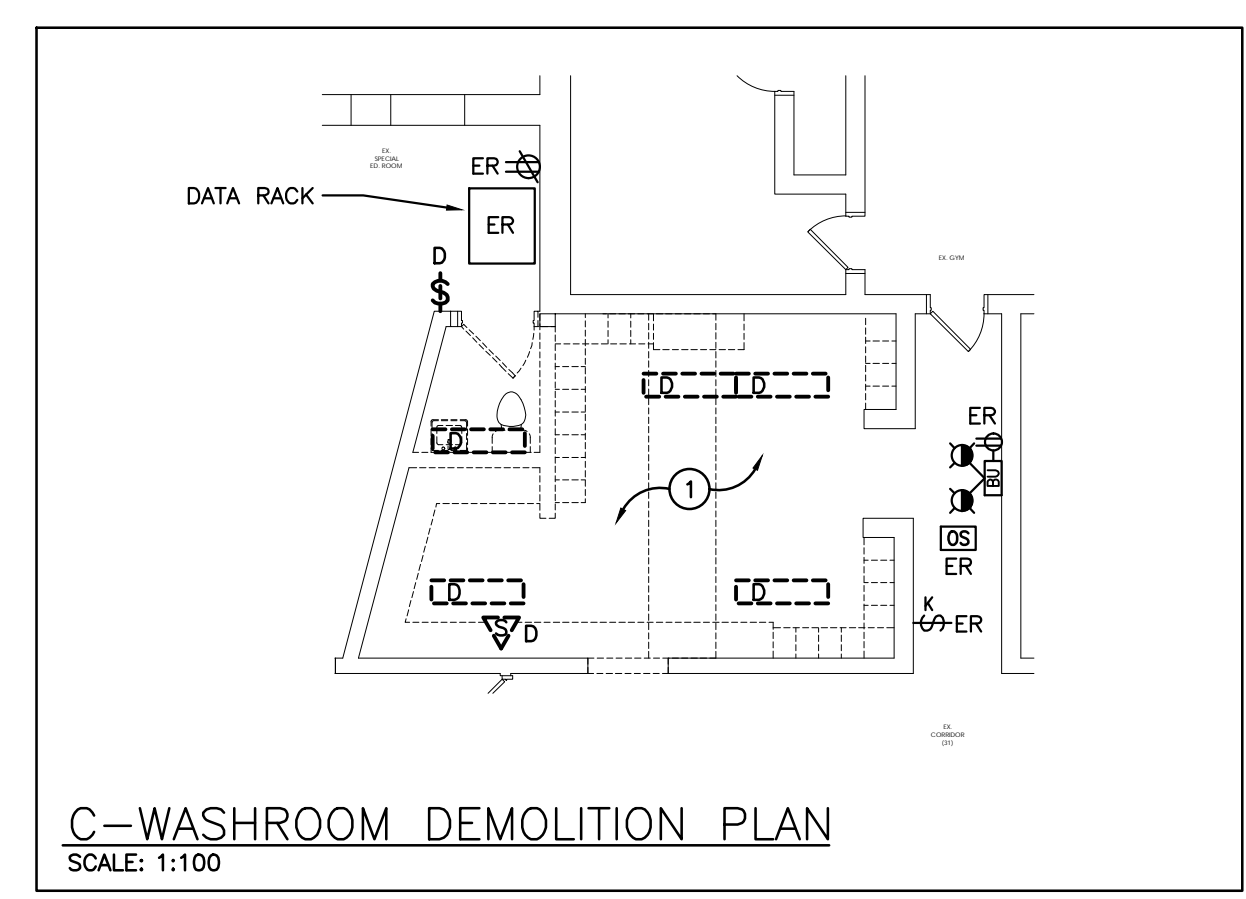
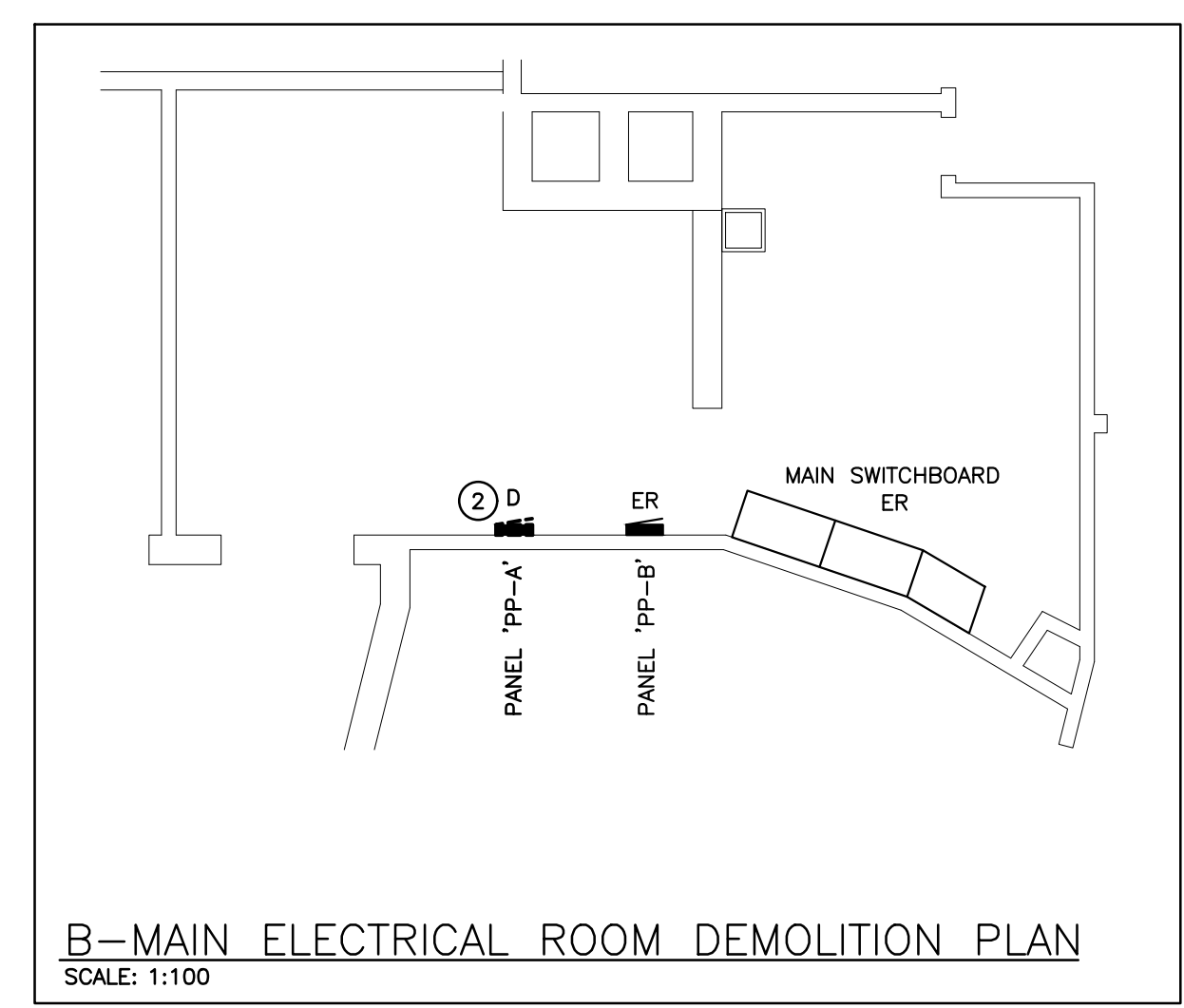


GENERAL DEMOLITION NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT. UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.
- ALL LIGHTING FIXTURES BEING RELOCATED SHALL BE CLEANED AND CHECKED PRIOR TO BEING REINSTALLED.

SPECIFIC DEMOLITION NOTES

- 1 MAINTAIN EXISTING LIGHTING CIRCUIT WITHIN AREA FOR INSTALLATION OF NEW LIGHT FIXTURES AS SHOWN ON RENOVATION PLAN.
- 2 INDICATES EXISTING DISTRIBUTION EQUIPMENT TO BE DISCONNECTED AND REMOVED. MAINTAIN EXISTING BRANCH CIRCUITS AND PANEL FEEDS FOR CONNECTION TO REPLACEMENT EQUIPMENT, REFER TO RENOVATION PLANS AND RISER DIAGRAMS.
- 3 INDICATED DEVICE TO BE REMOVED. MAINTAIN EXISTING WIRING FOR RECONNECTION TO NEW DEVICE AS SHOWN ON RENOVATION PLAN.
- 4 INDICATED DEVICES TO BE REMOVED AND RE-INSTALLED AS NECESSARY TO ALLOW FOR WALL WORK REQUIRED FOR NEW PANEL.



Revision Schedule		
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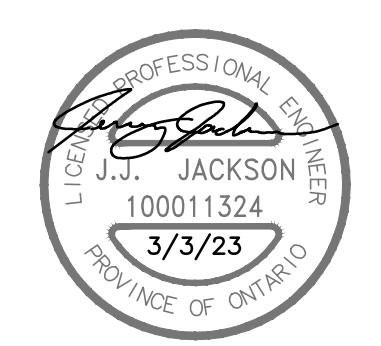
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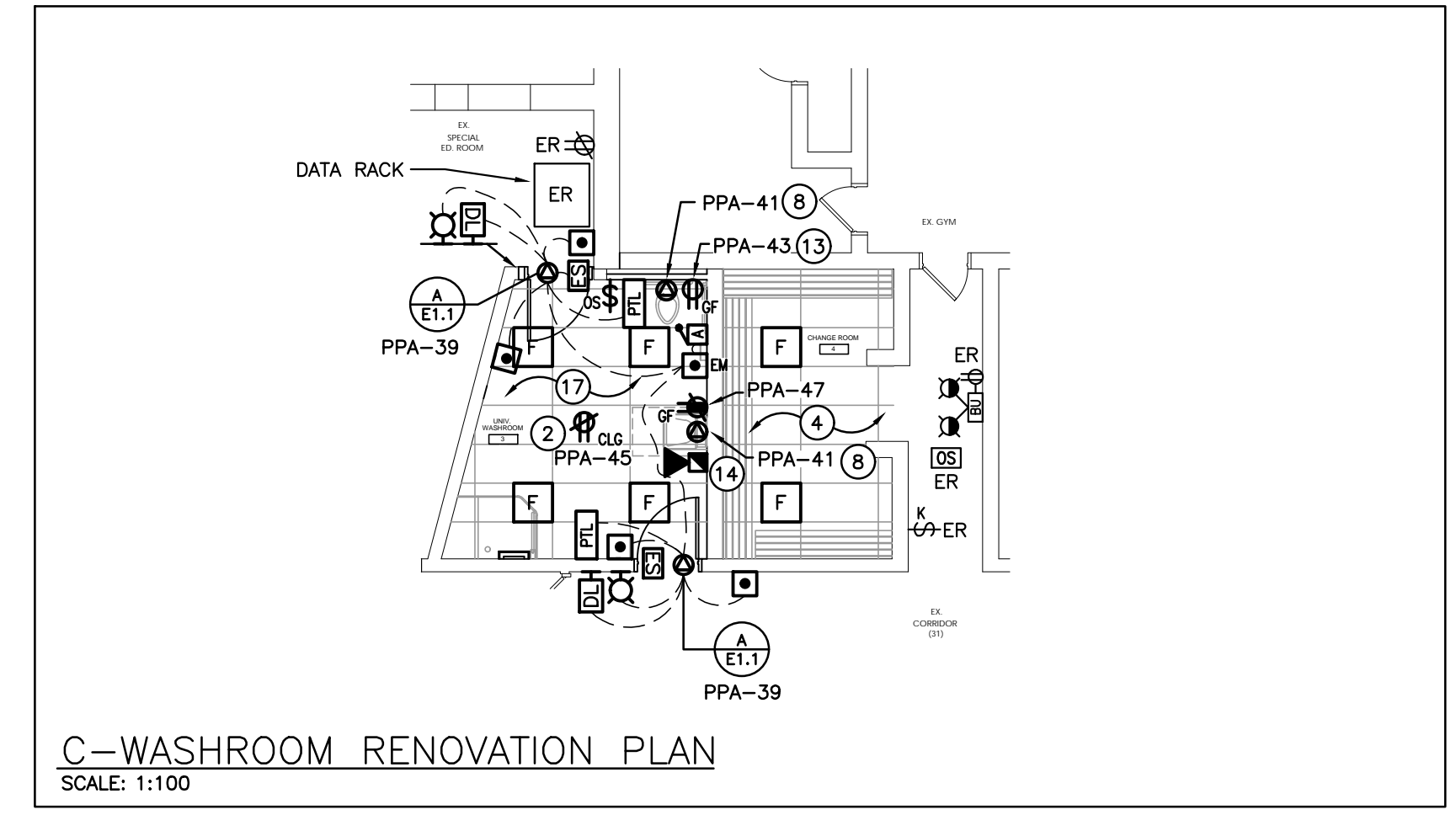
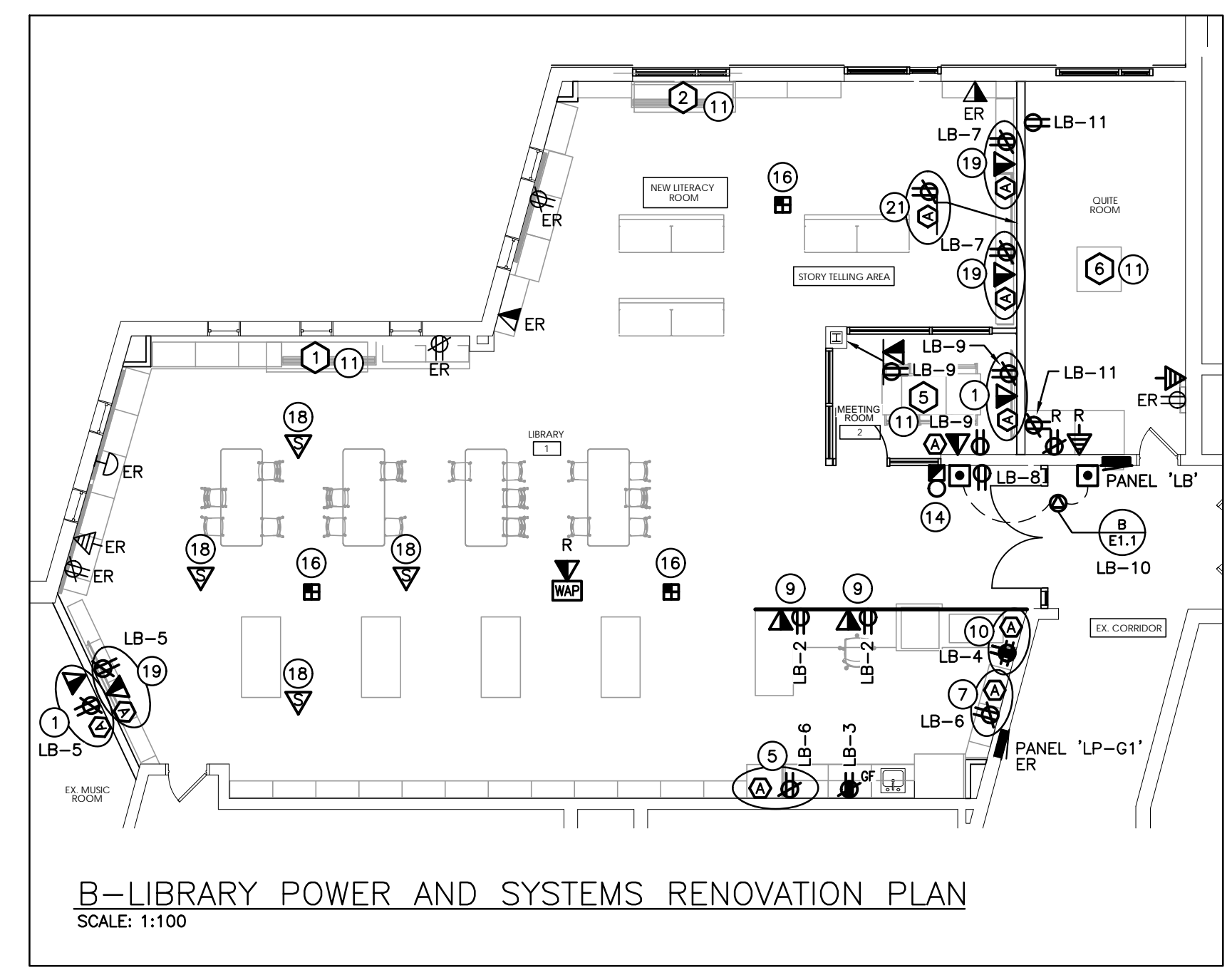
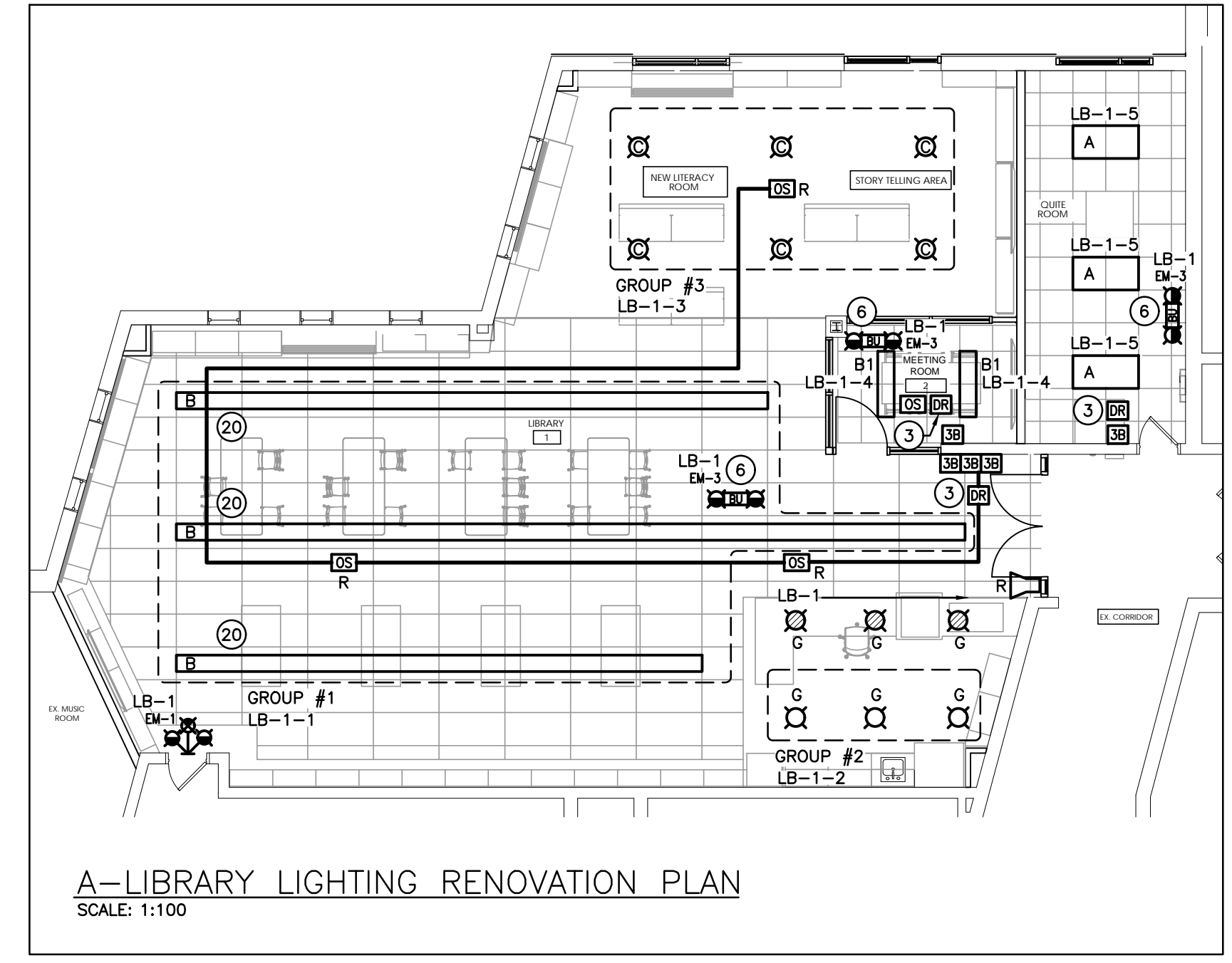
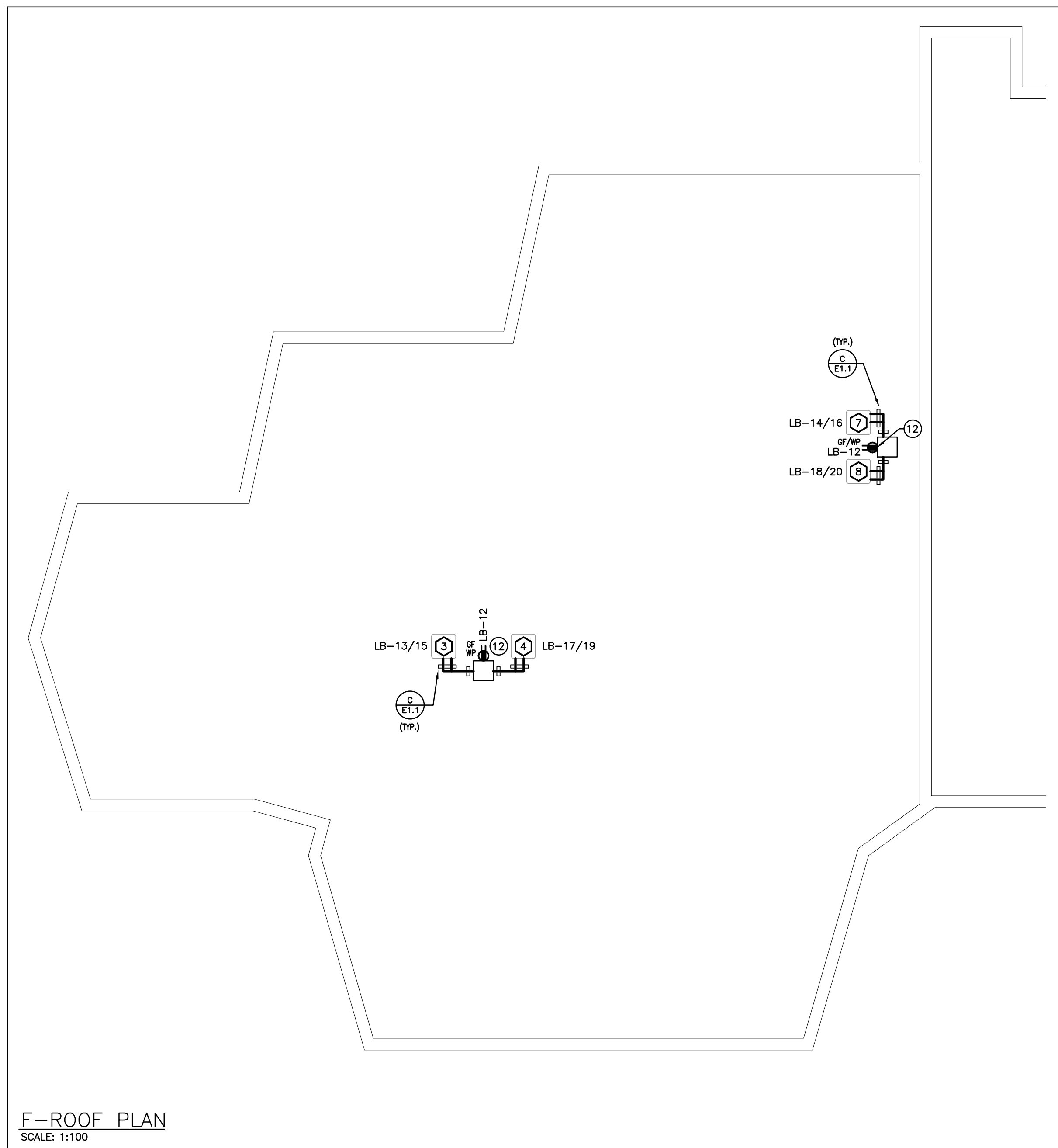
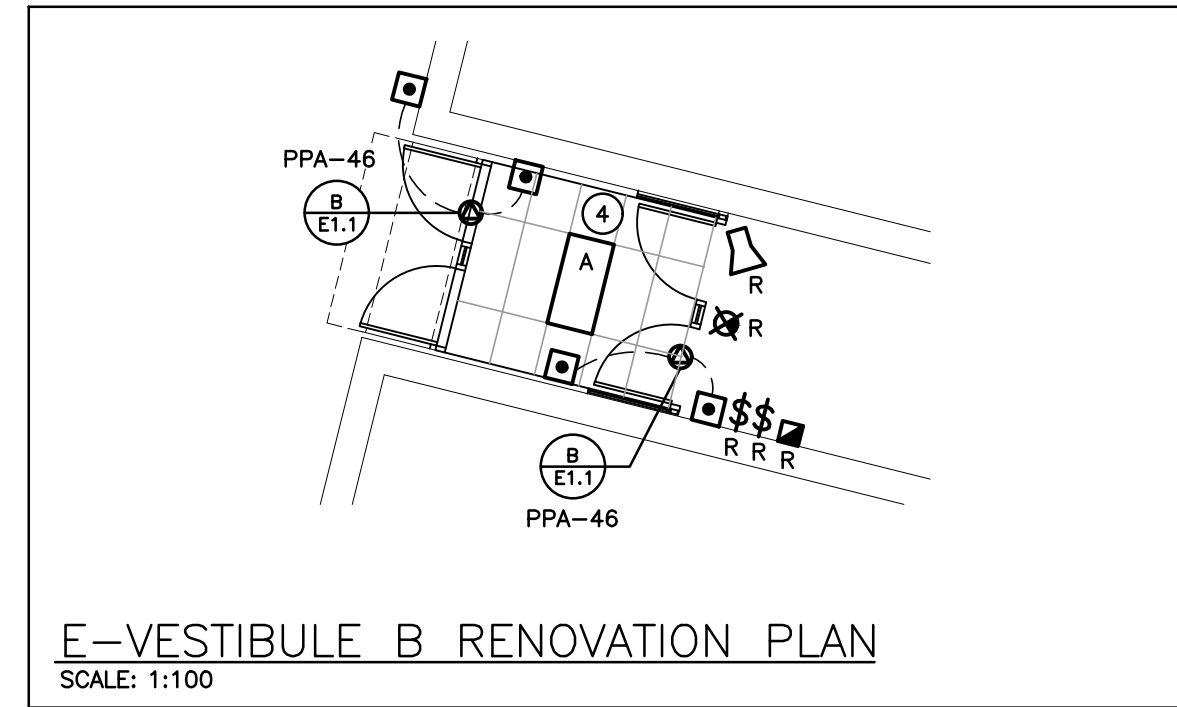
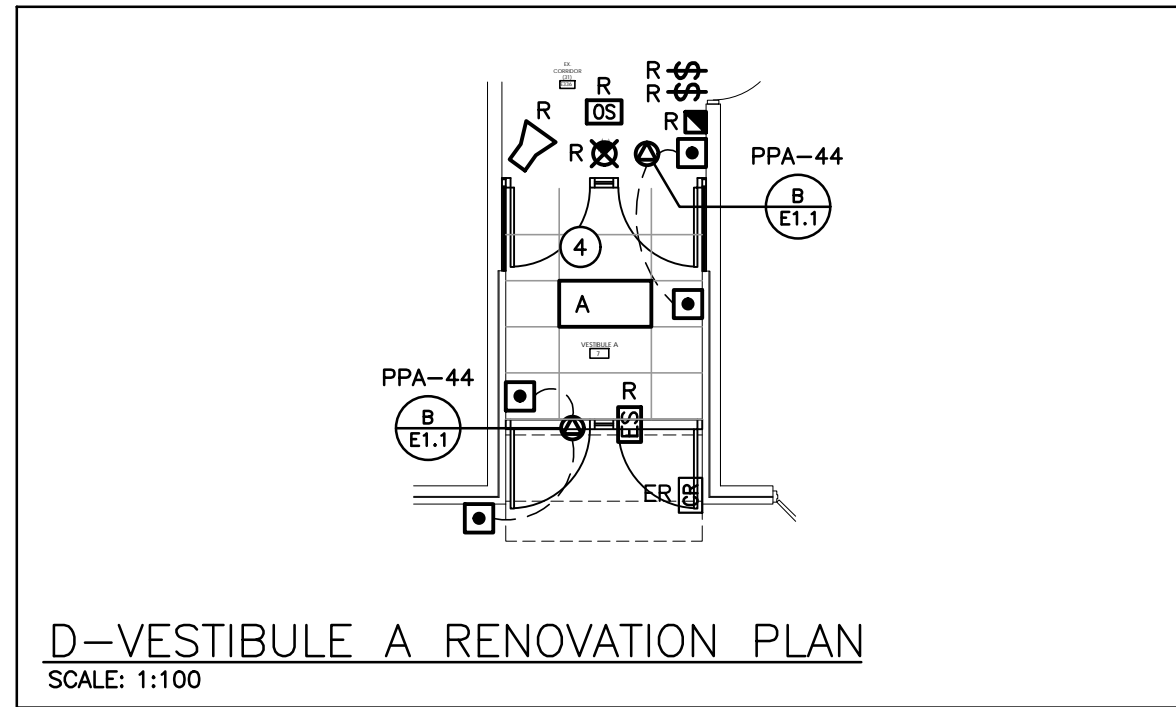
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Project Location: 153 MONTCALM DRIVE KITCHENER, ON N2B 2R6
Project Number: 20298

Client:
CRESTVIEW PUBLIC SCHOOL





GENERAL RENOVATION NOTES

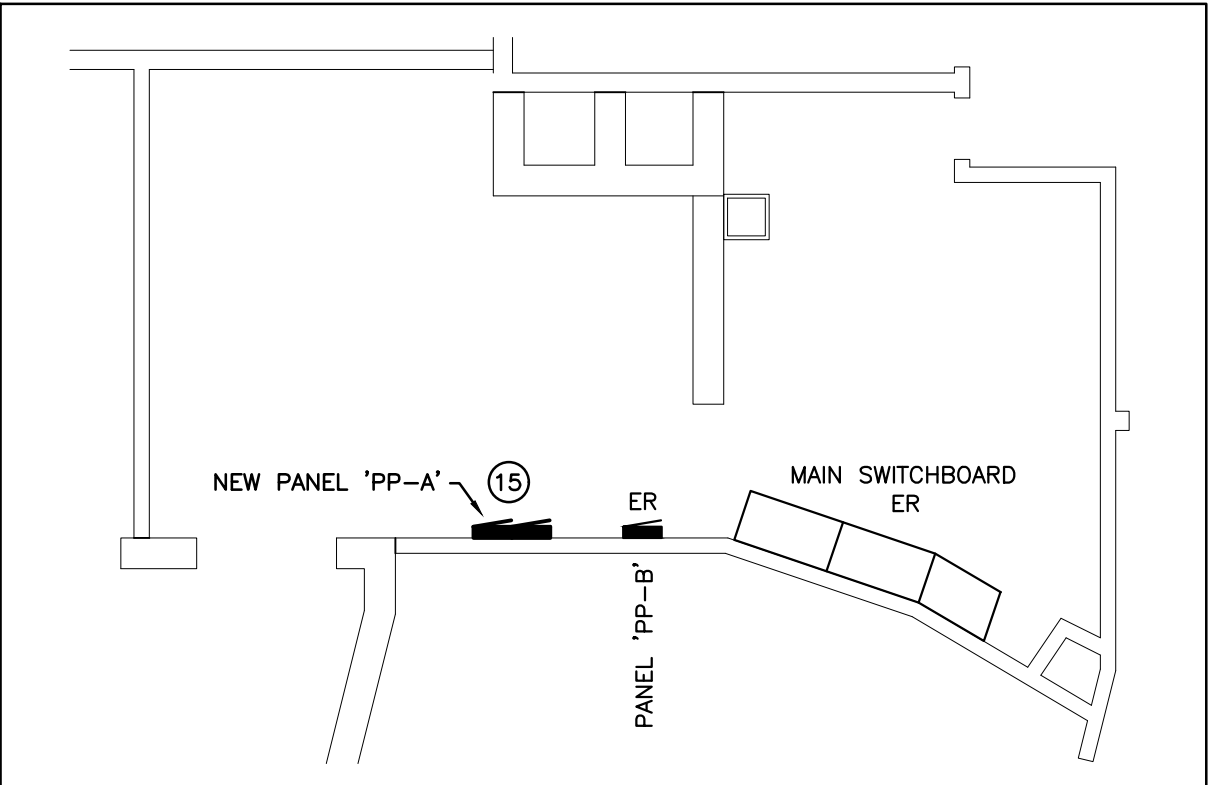
- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

SPECIFIC RENOVATION NOTES

- 1 INDICATES DEVICES FOR T.V. COORDINATE EXACT HEIGHT AND LOCATION ON SITE.
- 2 INDICATES RECEPTACLE FOR CONNECTION TO BARRIER FREE LIFT. COORDINATE EXACT LOCATION ON SITE.
- 3 INDICATES POWER PACK(S)/DIGITAL ROOM CONTROLLER(S) INSTALLED WITHIN ACCESSIBLE CEILING SPACE FOR CONTROL OF NOTED OCCUPANCY SENSOR(S).
- 4 WITHIN INDICATED AREA, CONNECT NEW LIGHTING FIXTURES TO EXISTING LIGHTING BRANCH CIRCUIT WIRING AND CONTROLS MADE AVAILABLE DURING DEMOLITION.
- 5 INDICATES DEVICES FOR TV AND AUDIO INPUTS, COORDINATE EXACT LOCATION AND HEIGHT ON SITE. PROVIDE 41mmC UP IN CEILING SPACE AND BACK TO HEAD END UNIT WITHIN CIRCULATION DESK. COORDINATE EXACT ROUTING ON SITE. RECEPTACLE TO BE REPLACED WITH TAMPER RESISTANT TYPE, REFER TO ELECTRICAL SPECIFICATIONS.
- 6 INDICATED DEVICE IS TO BE CEILING MOUNTED. PROVIDE ADEQUATE SUPPORT.
- 7 PROVIDE 3-GANG LOW VOLTAGE BACK BOX RECESSED COMPLETE WITH 1.5" EMPTY CONDUIT UP TO ACCESSIBLE CEILING SPACE FOR AV SOUND SYSTEM.
- 8 INDICATES CONNECTION FOR AUTOMATIC PLUMBING FIXTURE. PROVIDE WIRING FOR CENTRALLY MOUNTED JUNCTION BOX LOCATED WITHIN CEILING SPACE TO FEED SENSOR. COORDINATE EXACT REQUIREMENTS WITH OTHER TRADES PRIOR TO ROUGH-IN.
- 9 INDICATED DEVICES ARE TO BE MOUNTED IN MILLWORK. BRANCH CIRCUITRY FEED SHALL RUN HORIZONTALLY THROUGH MILLWORK. CONFIRM EXACT LOCATIONS ON SITE WITH MILLWORK TRADE PRIOR TO ROUGH-IN.
- 10 PROVIDE 2-GANG LOW VOLTAGE BACK BOX RECESSED COMPLETE WITH 1.5" EMPTY CONDUIT UP TO ACCESSIBLE CEILING SPACE FOR AV SOUND SYSTEM HEAD UNIT.
- 11 INDICATED MECHANICAL EQUIPMENT TO BE INTERLOCKED AND CIRCUITED THROUGH CONDENSING UNIT ON ROOF. REFER TO EQUIPMENT WIRING SCHEDULE FOR ADDITIONAL INFORMATION.
- 12 PROVIDE T-SLOT GROUND FAULT RECEPTACLE COMPLETE WITH "HEAVY DUTY IN-USE" WEATHER-PROOF COVER. COORDINATE PLACEMENT WITH MECHANICAL TRADE. INDICATED DEVICE IS TO BE MOUNTED 4-900mm ABOVE FINISHED ROOF LEVEL. REFER TO DETAIL D/ET.1 FOR ADDITIONAL INFORMATION.
- 13 INDICATES RECEPTACLE FOR CONNECTION TO BIDET. COORDINATE EXACT LOCATION ON SITE.
- 14 CONNECT INDICATED DEVICE TO THE LOCAL SIGNAL CIRCUIT. ALL WIRING MUST BE SUPERVISED.
- 15 ELECTRICAL CONTRACTOR TO RECONNECT TO CIRCUITS MADE AVAILABLE DURING DEMOLITION PHASE. REFER TO PANEL SCHEDULES FOR FURTHER INFORMATION. EXTEND FEEDS AS REQUIRED TO SUIT NEW PANELS. REFER TO DISTRIBUTION RISER DIAGRAM.
- 16 INDICATES NEW FIRE ALARM DETECTION DEVICE CONNECTED TO EXISTING WIRING MADE AVAILABLE DURING DEMOLITION. ALL NEW DEVICES ARE TO BE VERIFIED PER SPECIFICATIONS. REPLACEMENT DEVICE SHALL BE EDWARDS 280FL SERIES.
- 17 WITHIN INDICATED AREA, CONNECT NEW LIGHTING FIXTURES TO EXISTING LIGHTING BRANCH CIRCUIT WIRING MADE AVAILABLE DURING DEMOLITION WITH NEW LIGHTING CONTROLS.
- 18 INDICATES SOUND SYSTEM SPEAKERS TO BE CEILING MOUNTED. COORDINATE EXACT LOCATION ON SITE WITH BOARD REPRESENTATIVE.
- 19 INDICATES DEVICES FOR T.V. COORDINATE EXACT HEIGHT AND LOCATION ON SITE. PROVIDE 41mmC UP IN CEILING SPACE AND BACK TO HEAD END UNIT WITHIN CIRCULATION DESK. COORDINATE EXACT ROUTING ON SITE.
- 20 PROVIDE ALTERNATE PRICE (AP-01) TO CHANGE TYPE B LIGHT FIXTURE FROM SUSPENDED TYPE TO RECESSED. REFER TO ELECTRICAL SPECIFICATIONS SECTION FOR ALTERNATE PRICE INFORMATION AND FIXTURE SPECIFICATION.
- 21 INDICATES SINGLE GANG LOW VOLTAGE BACK BOX FOR TV INPUTS. PROVIDE 41mmC UP TO CEILING SPACE TO CONNECT TO CONDUIT IN CEILING ROUTING DOWN TO BEHIND TV AUXILIARY LOW VOLTAGE BACKBOX.

ALL RECEPTACLES OF CSA CONFIGURATION 5-15R AND 5-20R SHALL BE TAMPER-RESISTANT RECEPTACLES AND SO SHALL BE MARKED.

WHERE DEVICES ARE TO BE INSTALLED ON EXISTING WALLS IN FINISHED AREA, WHICH CANNOT BE "FISHED", INSTALL FEEDS IN A SURFACE METAL RACEWAY EQUAL TO WIREMOLD V700 SERIES. COORDINATE SURFACE INSTALLATIONS WITH CONSULTANT PRIOR TO ROUGH-IN.



G-Main Electrical Room Renovation Plan
SCALE: 1:100

Revision Schedule		
Particular	Date	No.
ISSUED FOR PERMIT AND TENDER	2023.03.05	1

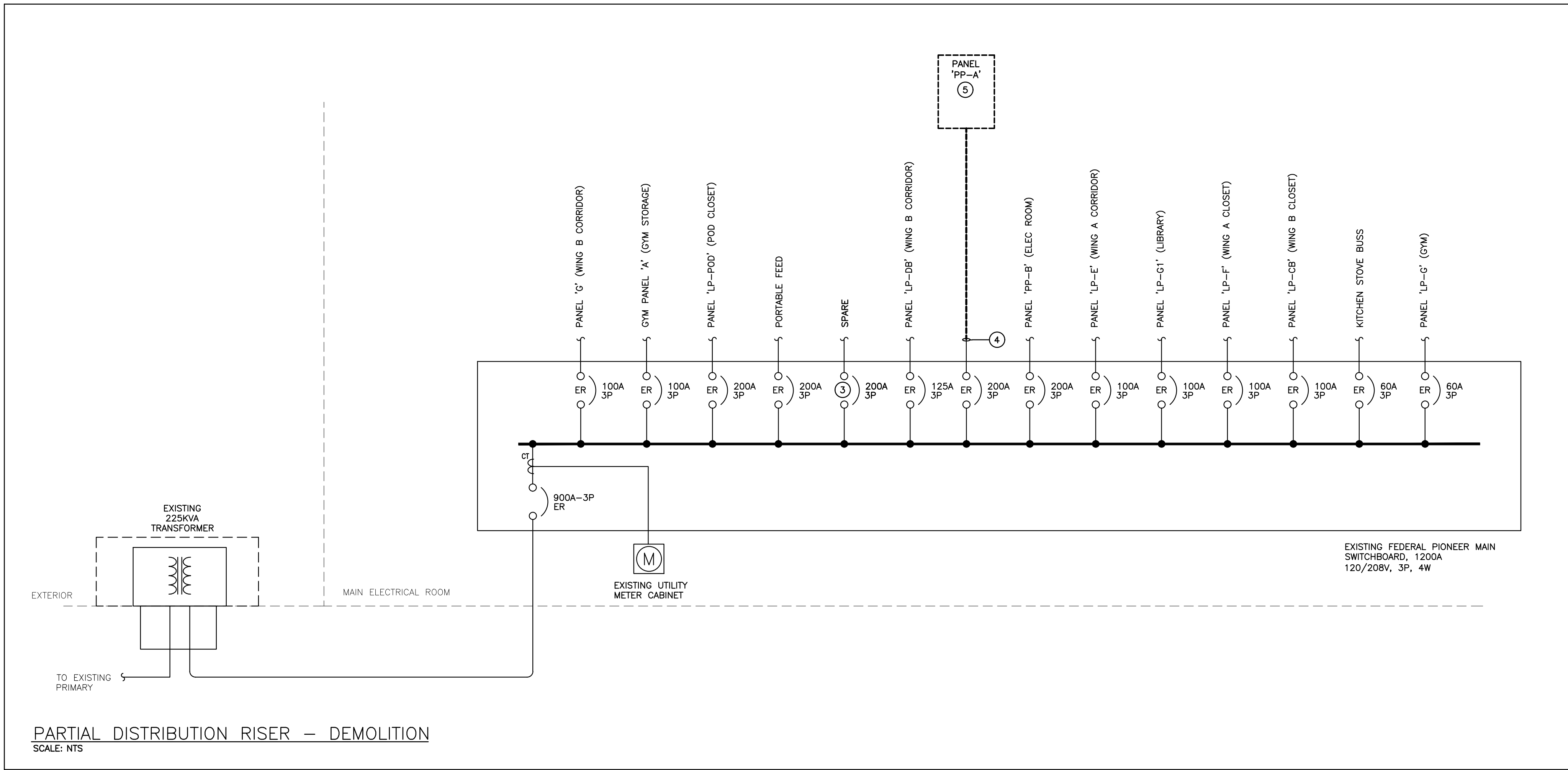


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Project Name: CRESTVIEW P.S. RENOVATION
Project Location: 153 MONTCALM DRIVE KITCHENER, ON N2B 2R6
Project Number: 20298

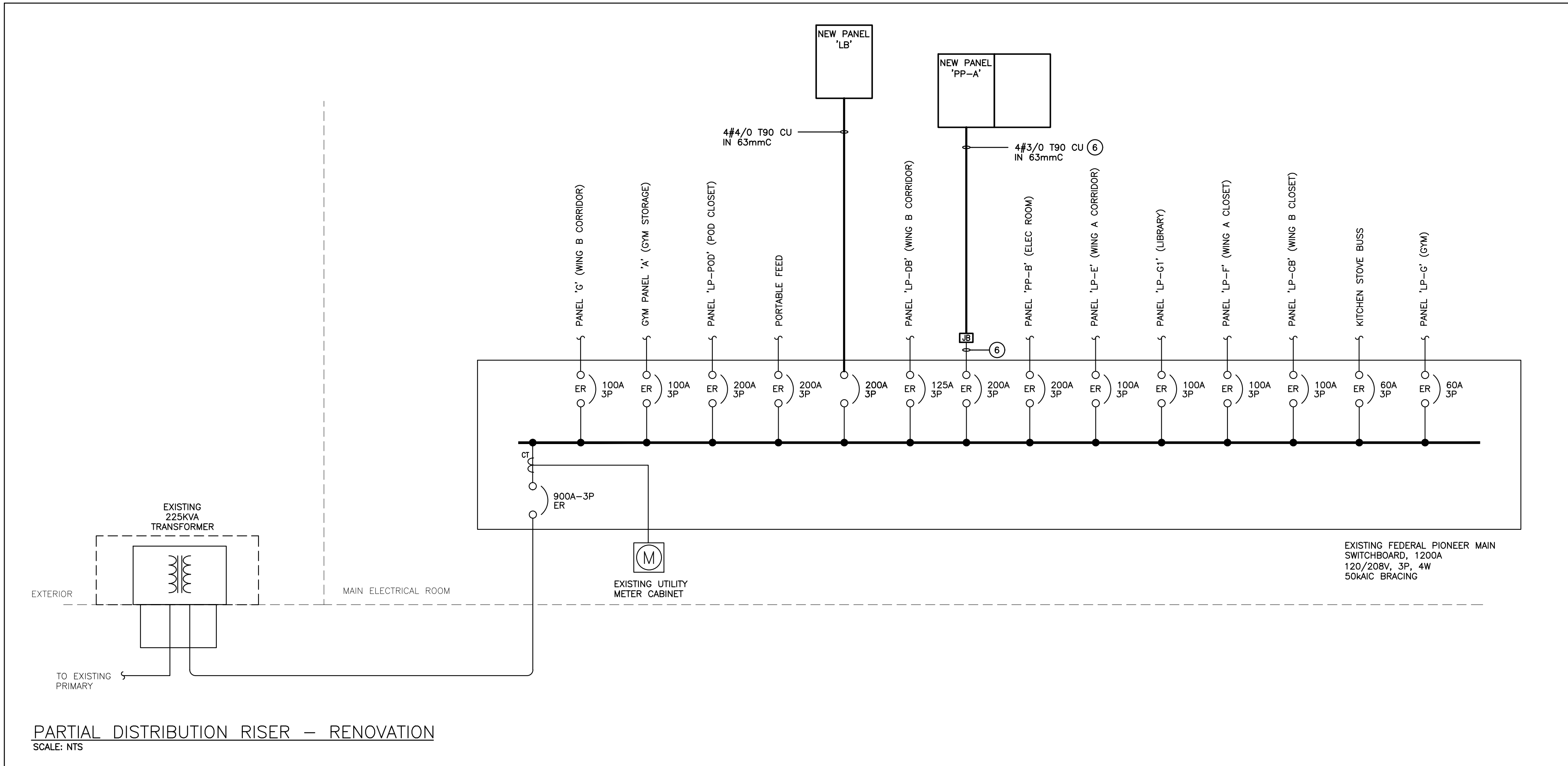
Client: CRESTVIEW PUBLIC SCHOOL





SPECIFIC NOTES

- 1 ALL DISTRIBUTION EQUIPMENT ARE TO BE PROVIDED WITH WARNING LABELS CONFORMING TO THE ONTARIO ELECTRICAL SAFETY CODE RULE #2-306(1),(2)
- 2 INSTALL GROUND WIRE TO SUIT THE ELECTRICAL SAFETY CODE IN ALL CONDUIT.
- 3 UTILIZE EXISTING SPARE BREAKER TO FEED NEW PANEL AS SHOWN ON RENOVATION RISER.
- 4 INDICATES EXISTING BRANCH FEED TO BE MAINTAINED FOR CONNECTION TO REPLACEMENT EQUIPMENT.
- 5 INDICATES EXISTING PANEL TO BE REPLACED. DISCONNECT AND MAINTAIN ALL FEEDERS AND BRANCH WIRING FOR RECONNECTION AS PER THE RENOVATION DRAWINGS.
- 6 INDICATES EXISTING BRANCH FEED TO BE MAINTAINED FOR CONNECTION TO REPLACEMENT EQUIPMENT. PROVIDE JUNCTION BOX AND CONDUITS FOR FEEDS TO BE EXTENDED AS REQUIRED.



Revision Schedule		
Particular	Date	No.
ISSUED FOR PERMIT AND TENDER	2023.03.05	1



The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
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Project Location: 153 MONTCALM DRIVE KITCHENER, ON N2B 2R6
Project Number: 20298

Client: CRESTVIEW PUBLIC SCHOOL



DISTRIBUTION RISER DIAGRAMS

NEW PANEL 'PP-A'

VOLTAGE: 120/208 VOLTS
 PHASE: 3P, 4W
 MAINS: 225A
 NEUTRAL BUS: FULL
 MOUNTING: SURFACE
 NOTES: C/W SPRINKLER HOOD

* INDICATES 33mA GROUND FAULT STYLE BREAKER

CONTRACTOR IS CONFIRM BREAKER SIZE WITHIN DEMOLISHED PANEL BEFORE ORDERING NEW BREAKER
 THE CONTRACTOR IS TO COORDINATE ROOM NAMES AND NUMBERS NOTED WITH THE FINAL ROOM INFORMATION ISSUED DURING CONSTRUCTION AND ADJUST DIRECTORIES TO SUIT.

PUMP-4	20A	1	2	15A	PUMP-1
		3	4		
	3P	5	6	3P	
E/L	15A	7	8	15A	PUMP-2
F/A	15A	9	10		
EXIT LTG	15A	11	12	3P	
PUMP-5	20A	13	14	15A	PUMP-3
		15	16		
	3P	17	18	3P	
REC WORKSHOP	15A	19	20	20A	PHOTOCOPIER
MICROWAVE REC STAFF RM	15A	21	22	15A	CHUBB SECURITY
EXISTING LOAD	15A	23	24	20A	PHOTOCOPIER OFFICE
ROOF DRAIN HEATER	15A	25	26	20A	PHOTOCOPIER OFFICE
A/C V.P. OFFICE	15A	27	28	15A	SAFE WELCOME PANEL
A/C PRINCIPAL OFFICE	15A	29	30	15A	NEW UPS
A/C OFFICE MAIN	15A	31	32	15A	PUMP-6
A/C STAFF ROOM	15A	33	34	15A	PUMP-7
	2P	35	36	15A	T-SLOT/MOP SINK
DRYER	15A	37	38	15A	BOILER 1
UNIV WR 3 DOOR OPERATORS	15A	39	40	15A	BOILER 2
UNIV WR 3 PLUMBING FIXTURES	15A	41	42	15A	BOILER 3

UNIV WR 3 BIDET REC	15A	43	44	15A	VESTIBULE A DOOR OPERATORS
UNIV WR 3 LIFT REC	15A	45	46	15A	VESTIBULE B DOOR OPERATORS
UNIV WR 3 SINK REC	20A	47	48	20A	SPACE
SPACE	15A	49	50	20A	SPACE
SPACE	15A	51	52		SPACE
SPACE		53	54		SPACE
SPACE		55	56		SPACE
SPACE		57	58		SPACE
SPACE		59	60		SPACE
SPACE		61	62		SPACE
SPACE		63	64		SPACE
SPACE		65	66		SPACE
SPACE		67	68		SPACE
SPACE		69	70		SPACE
SPACE		71	72		SPACE
SPACE		73	74		SPACE
SPACE		75	76		SPACE
SPACE		77	78		SPACE
SPACE		79	80		SPACE
SPACE		81	82		SPACE
SPACE		83	84		SPACE

NOTE: THE INDICATED PANEL ASSEMBLY MUST HAVE AN INTERRUPTING CAPACITY TO MATCH EXISTING. ASSUME 22kAIC FOR BIDDING PURPOSES. PROVIDE BY EITHER FULLY RATED BREAKERS OR INTEGRATED EQUIPMENT RATING WITH THE UPSTREAM BREAKER.

PANEL 'LB'

VOLTAGE: 120/208 VOLTS
 PHASE: 3P, 4W
 MAINS: 225A
 NEUTRAL BUS: FULL
 MOUNTING: RECESSED
 NOTES:

* INDICATES 33mA GROUND FAULT STYLE BREAKER

THE CONTRACTOR IS TO COORDINATE ROOM NAMES AND NUMBERS NOTED WITH THE FINAL ROOM INFORMATION ISSUED DURING CONSTRUCTION AND ADJUST DIRECTORIES TO SUIT.

LIBRARY LIGHTING	15A	1	2	15A	LIBRARY CIRCULATION DESK REC
LIBRARY COUNTER REC	20A	3	4	20A	LIBRARY SOUND SYSTEM REC
LIBRARY/MUSIC RM TV REC	15A	5	6	15A	LIBRARY SOUND SYSTEM REC
LIBRARY TV REC	15A	7	8	15A	LIBRARY GENERAL REC
MEETING ROOM REC	15A	9	10	15A	LIBRARY DOOR OPERATOR
QUITTE ROOM REC	15A	11	12	20A	ROOFTOP MAINTENANCE REC
CONDENSING UNIT CU-1	35A	13	14	30A	CONDENSING UNIT CU-3
	2P	15	16	2P	
CONDENSING UNIT CU-2	35A	17	18	30A	CONDENSING UNIT CU-4
	2P	19	20	2P	
SPARE	15A	21	22	20A	SPARE
SPARE	15A	23	24	20A	SPARE
SPACE		25	26		SPACE
SPACE		27	28		SPACE
SPACE		29	30		SPACE
SPACE		31	32		SPACE
SPACE		33	34		SPACE
SPACE		35	36		SPACE
SPACE		37	38		SPACE
SPACE		39	40		SPACE
SPACE		41	42		SPACE

NOTE: THE INDICATED PANEL ASSEMBLY MUST HAVE AN INTERRUPTING CAPACITY OF 22000 A. PROVIDE BY EITHER FULLY RATED BREAKERS OR INTEGRATED EQUIPMENT RATING WITH THE UPSTREAM BREAKER.

Particular	Date	No.
ISSUED FOR PERMIT AND TENDER	2023.03.05	1



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Project Name: CRESTVIEW P.S. RENOVATION
Project Location: 153 MONTCALM DRIVE KITCHENER, ON N2B 2R6
Project Number: 20298

Client: CRESTVIEW PUBLIC SCHOOL



GENERAL

- 1. DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH THE ONTARIO BUILDING CODE LATEST EDITION AND NATIONAL BUILDING CODE LATEST EDITION.
2. CONTRACTOR SHALL CHECK ALL DIMENSIONS ON WORKING DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
3. THESE DESIGN DOCUMENTS ARE PREPARED SOLELY FOR THE USE BY THE PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS ENTERED INTO A CONTRACT AND THERE ARE NO REPRESENTATIONS OF ANY KIND MADE BY THE DESIGN PROFESSIONAL TO ANY PARTY WITH WHOM THE DESIGN PROFESSIONAL HAS NOT ENTERED INTO A CONTRACT.

MASONRY

- 1. ALL MASONRY WALLS SHALL BE REINFORCED WITH DUR-O-WALL LADDER DESIGN (OR APPROVED EQUAL) HOT DIPPED GALVANIZED CONTINUOUS REINFORCEMENT AT EVERY SECOND COURSE 400mm.
2. TYPE S MORTAR SHALL BE USED THROUGHOUT FOR ALL LOAD BEARING WALLS.
3. MORTAR COMPRESSIVE STRENGTHS: (JOB PREPARED MIX)
TYPE S: MINIMUM 28 DAY STRENGTH = 8.5MPa, MAXIMUM 28 DAY STRENGTH = 12.5MPa

STRUCTURAL STEEL

- 1. STRUCTURAL STEEL SHALL CONFORM TO CSA G40.21 WITH ONE SHOP COAT AND FIELD TOUCH-UP OF ZINC CHROMATE PRIMER.
2. FABRICATION AND ERECTION SHALL CONFORM TO LATEST EDITION OF CSA STANDARD S16:19.
3. DESIGN AND INSTALLATION OF ALL BRIDGING SHALL BE IN ACCORDANCE WITH LATEST EDITION OF CSA STANDARD S16:19.

INSPECTIONS AND TESTING

THE FOLLOWING ITEMS SHALL BE INSPECTED OR TESTED BY INDEPENDENT INSPECTION/TESTING AGENCIES DESIGNATED BY THE CLIENT. MATERIALS AND WORKMANSHIP NOT CONFORMING TO THE SPECIFICATIONS SHALL BE REJECTED BY THE CONTRACTOR.

STRUCTURAL STEEL

VISUAL INSPECTION OF ALL WELDS, TESTING OF BOLTED CONNECTIONS AND CHECK ON BEARING, PLUMBNESS AND ALIGNMENT OF STEEL STRUCTURES. INSPECTIONS SHALL CONFORM TO CSA STANDARD S16:19.

NON-DESTRUCTIVE TESTING TO VERIFY THE QUALITY OF WELDING, WHERE DEEMED QUESTIONABLE BY VISIBLE DEFECTS OR WHERE REQUIRED BY THE ENGINEER.

SHOP DRAWINGS AND SUBMITTALS

GENERAL

- 1. SHOP DRAWINGS SHALL BE SUBMITTED, THE ERECTION DRAWINGS SHALL BE DRAWN USING THE MINIMUM SCALE THAT WAS USED FOR THE TENDER DRAWINGS.
2. PRIOR TO SUBMITTING TO CONSULTANTS, CONTRACTOR'S REVIEW STAMP TO BE ON ALL SHOP DRAWINGS.
3. SHOP DRAWINGS TO BE SUBMITTED AT LEAST 10 WORKING DAYS PRIOR TO START OF WORK.

STRUCTURAL STEEL

- 1. SUBMIT FOR REVIEW ERECTION DRAWINGS FOR ALL STRUCTURAL STEEL ELEMENTS.
2. SHOP DRAWING SUBMITTALS SHALL INCLUDE STEEL BEAM CONNECTIONS, SHALL BE SIGNED AND STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ONTARIO.

CLADDING

SUBMIT FOR REVIEW THE PROPOSED INSERT LOADS TRANSMITTED BY PREFABRICATED EXTERIOR CLADDING SYSTEM TO THE STRUCTURE.

RECORD DRAWINGS

GENERAL CONTRACTOR SHALL MAINTAIN TWO SETS OF RECORD DRAWINGS WHICH SHOW AS-BUILT DETAILS OF ALL ASPECTS OF THE STRUCTURE, FOR REVIEW DURING CONSTRUCTION AND FOR SUBMISSION AT THE END OF THE PROJECT.

STEEL STUDS LIGHTWEIGHT, COLD-FORMED GALVANIZED STRUCTURAL STEEL STUDS

- 1. SHOP DRAWINGS FOR STRUCTURAL STEEL STUDS SHALL BE SUBMITTED TO PROJECT ENGINEER FOR REVIEW PRIOR TO FABRICATION IN ACCORDANCE WITH DETAILS PROVIDED ON ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
2. MINIMUM DEPTH OF STUD IS AS DETAILED ON THE ARCHITECTURAL DRAWINGS.
3. MINIMUM THICKNESS OF LOAD BEARING STUD SHALL NOT BE LESS THAN 0.8788mm, 0.0346", 33mil 20GAUGE, 50kd OR 1.1455mm, 0.0451", 43mil 18GAUGE, 33kd.

TEMPORARY SHORING & BRACING

GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE PROPER TEMPORARY SHORING & BRACING FOR NEW OR EXISTING MASONRY WALLS AND ALL OTHER STRUCTURAL ELEMENTS IN ACCORDANCE WITH RECOGNIZED CONSTRUCTION PRACTICE.

- 1. BRACING IS REQUIRED UNTIL FLOOR SLAB AND/OR ROOF DECK ARE IN PLACE AND PROPERLY SECURED TO BEAMS AND/OR JOISTS.
2. SHORING IS REQUIRED UNTIL PROPOSED STRUCTURE IS PROPERLY IN PLACE.

MASONRY CONNECTORS FOR INTERIOR BLOCK

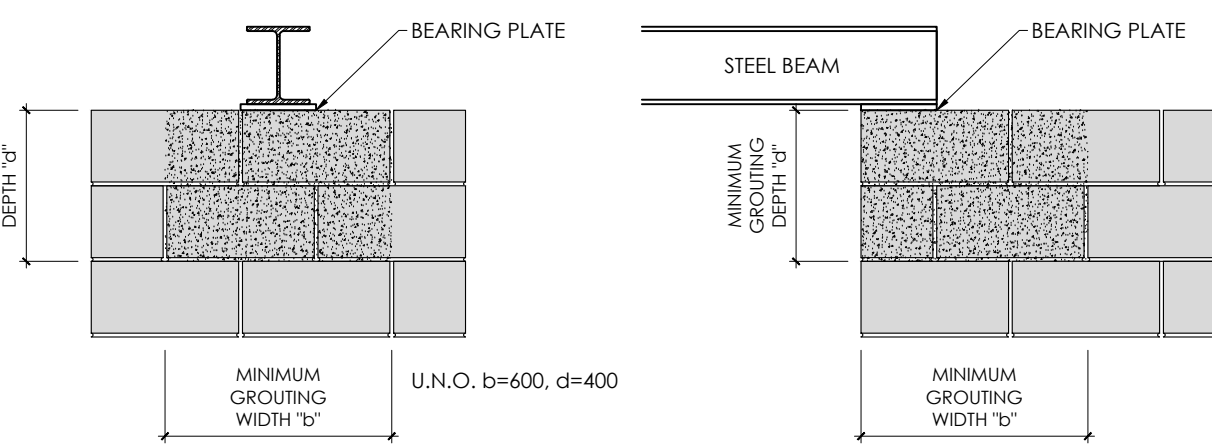
Table with 2 columns: BACK-UP WALL, DESCRIPTION. Row 1: EXISTING BLOCK WALL, 90mm BLOCK TO BE TIED TO BACK-UP WALL USING HOT-DIP GALVANIZED FERRO HEAVY DUTY HOLED RAP-TIE WITH 4.76mm DIAMETER V-TIE (OR APPROVED EQUAL CONNECTORS) SPACED AT 800mm HORIZONTAL x 400mm VERTICAL.

NOTE: MAXIMUM SPACING AND MINIMUM EMBEDMENT SHALL PER MANUFACTURER'S RECOMMENDATION AS WELL THE MORE STRINGENT SHALL APPLY. CONTRACTOR TO SELECT PROPER TIES TO SUIT CAVITIES SHOWN IN ARCHITECTURAL DETAILS.

CONCRETE BLOCK WALL REINFORCING SCHEDULE

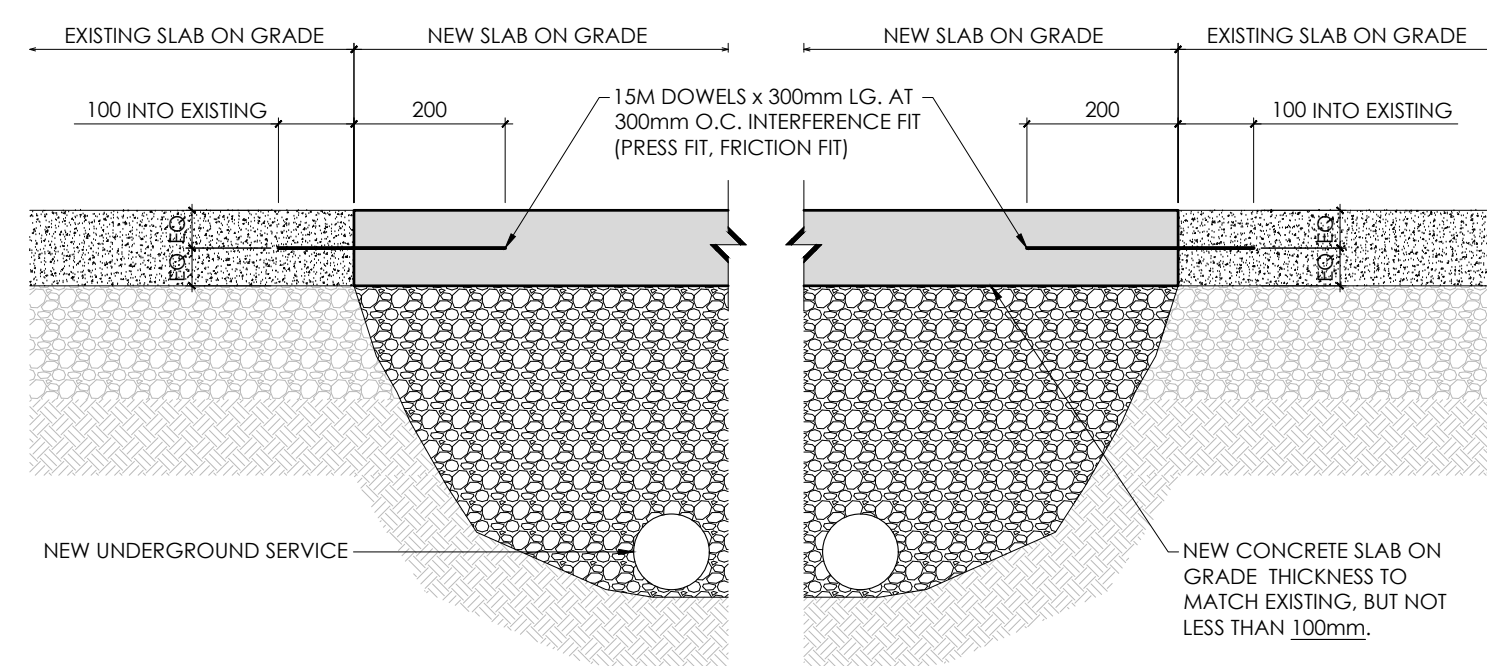
Table with 3 columns: WALL TYPE, HORIZONTAL, VERTICAL. Rows for 140 BLOCK, 190 BLOCK, 240 BLOCK.

NOTES: 1. ALL BOND BEAMS TO HAVE 20MPa GROUT FILL. ALL VERTICAL BARS ARE TO BE FULL HEIGHT, DOWELED 100mm INTO FOUNDATION WALL OR FLOOR SLAB.
2. AT CHANGE TABLE LOCATION REINFORCE BLOCK USING 15M@400 O/C.

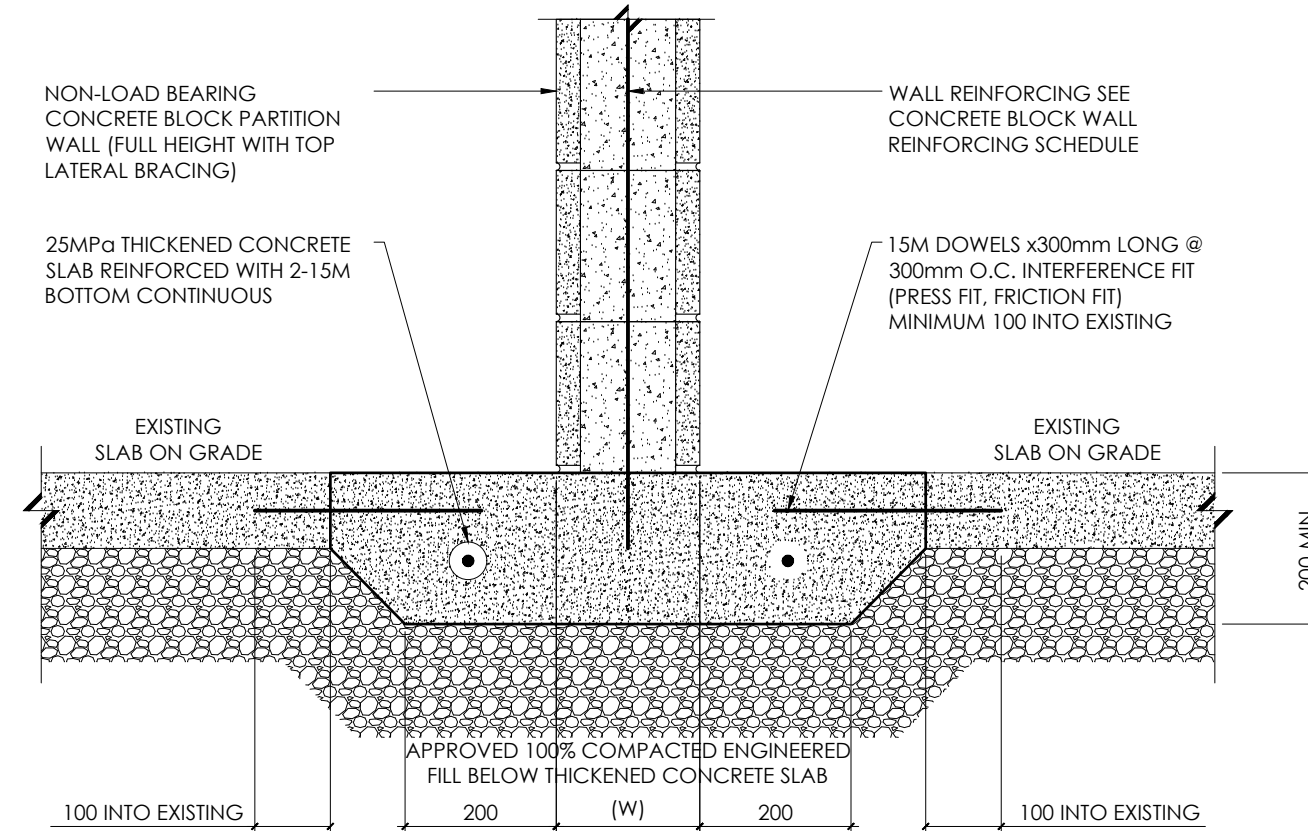


100 S1.1 MINIMUM GROUTING WIDTH x DEPTH (b x d) N.T.S.

NOTE: WHERE EXISTING INTERIOR CONCRETE SLAB ON GRADE IS REMOVED FOR UNDERGROUND PLUMBING AND DRAINAGE REPLACE EXISTING CONCRETE SLAB ON GRADE WITH 25MPa NEW CONCRETE SLAB ON APPROVED GRANULAR FILL.



101 S1.1 TYPICAL DETAIL FOR NEW CONCRETE SLAB ON GRADE ADJACENT EXISTING FOR NEW UNDERGROUND SERVICE INSTALLATION OR NEW BUILDING ADDITION JOINT N.T.S.



102 S1.1 TYPICAL THICKENED CONCRETE SLAB AT EXISTING SLAB ON GRADE UNDER NON-LOAD BEARING CONCRETE BLOCK PARTITION WALL N.T.S. (W) DENOTES THICKNESS OF NON-LOAD BEARING CONCRETE BLOCK PARTITION WALL ABOVE

TYPICAL NOTES FOR LINTEL SCHEDULE:

- 1. ALL EXTERIOR LINTELS TO BE HOT DIPPED GALVANIZED.
2. BACK TO BACK ANGLES SHALL BE STITCH WELDED OR BOLTED @ 600 O/C MAXIMUM.
3. BOTTOM PLATE SHALL BE SHOP WELDED TO UNDERSIDE OF BEAM USING MINIMUM WELD SIZE 6mm FILLET WELD x50mm LONG AT 600mm O.C. BOTH SIDES.

LINTEL SCHEDULE

Table with 4 columns: MARK, DESCRIPTION, DETAIL, WALL TYPE. Rows L1 through L5.

TYPICAL NOTES FOR LINTEL INSTALLATIONS IN EXISTING MASONRY WALLS

- 1. GENERAL CONTRACTOR SHALL SITE VERIFY EACH EXISTING MASONRY WALL THICKNESS AT LINTEL LOCATION AND NOTIFY PROJECT ENGINEER OF ANY DISCREPANCIES FOR REVISIONS IF ITS REQUIRED PRIOR TO LINTEL FABRICATION.
2. CONTRACTOR IS RESPONSIBLE TO PROVIDE PROPER TEMPORARY SHORING FOR EXISTING MASONRY WALL.

REVISIONS

Table with 3 columns: NO, DATE, PARTICULAR. Row 1: 1, 2023.03.06, ISSUED FOR PERMIT AND TENDER.

NOTES:

KEY PLAN:



CLIENT:

WATERLOO REGION DISTRICT SCHOOL BOARD (WRDSB)

PROJECT:

22057

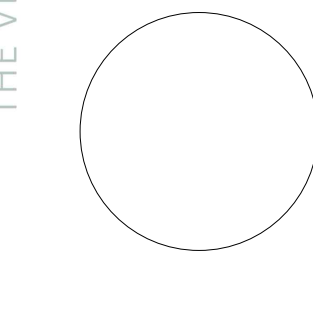
CRESTVIEW PUBLIC SCHOOL RENOVATION

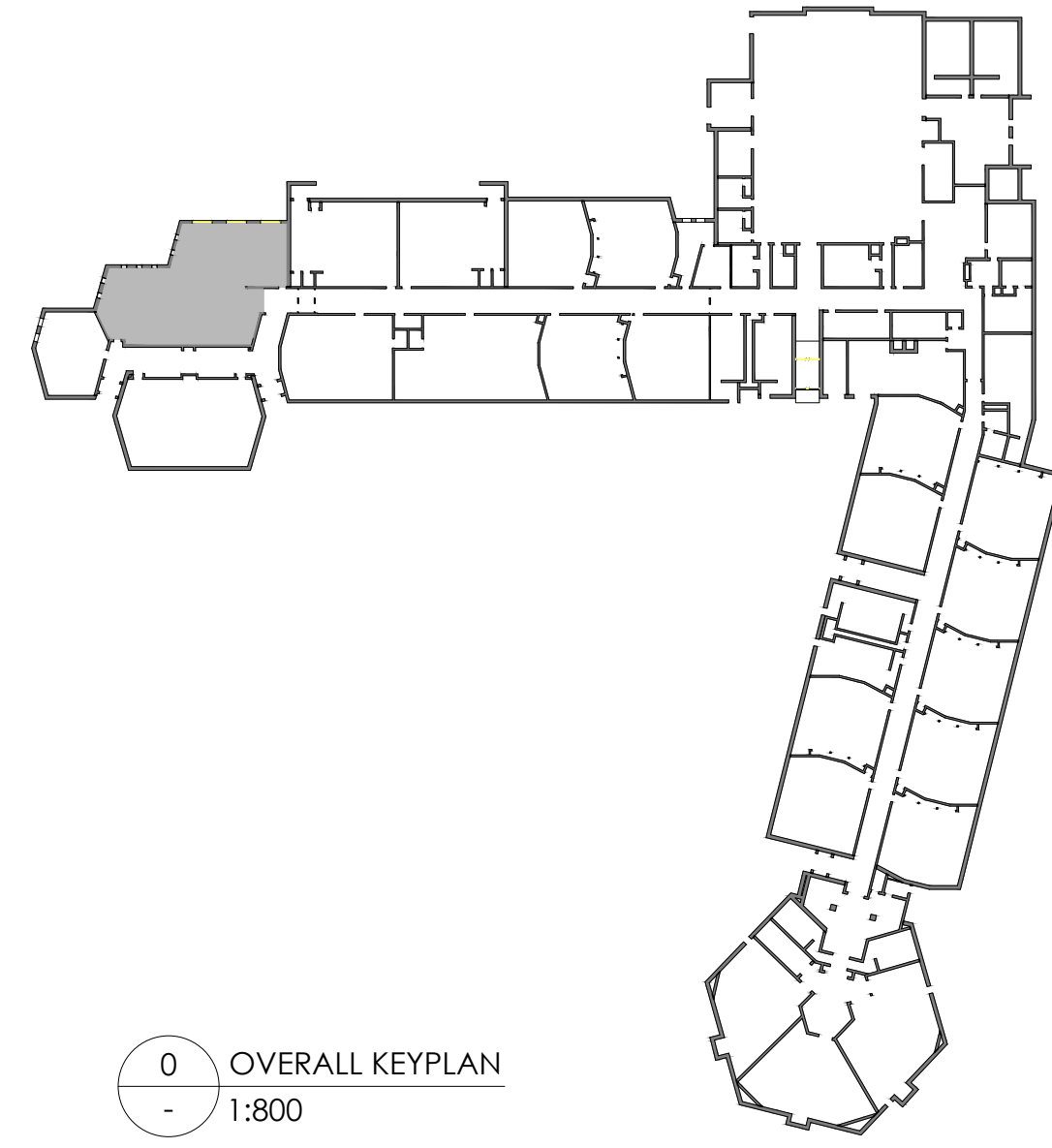
153 MONTCALM DRIVE, KITCHENER, ON N2B 2R6

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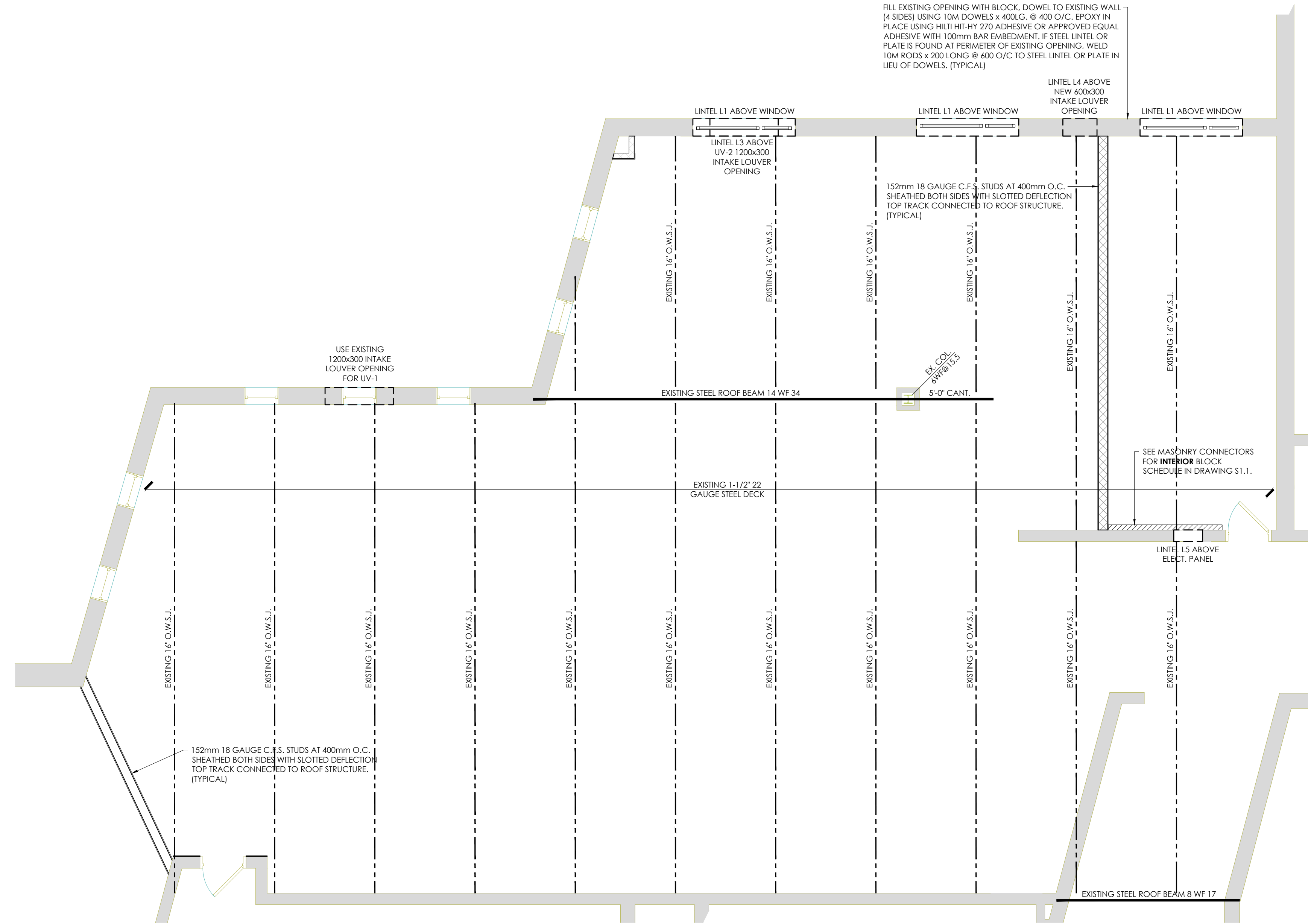
KEY TO DETAIL LOCATION:

A - DETAIL NO. B - DETAIL NO. ORIGIN





0 OVERALL KEYPLAN
1:800



1 LIBRARY RENOVATION FLOOR PLAN
S2.1
0 500 1000 2.5m

REVISIONS		
NO.	DATE	PARTICULAR
1	2023.03.06	ISSUED FOR PERMIT AND TENDER

NOTES:

KEY PLAN:

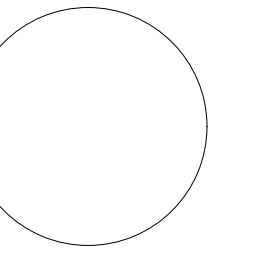


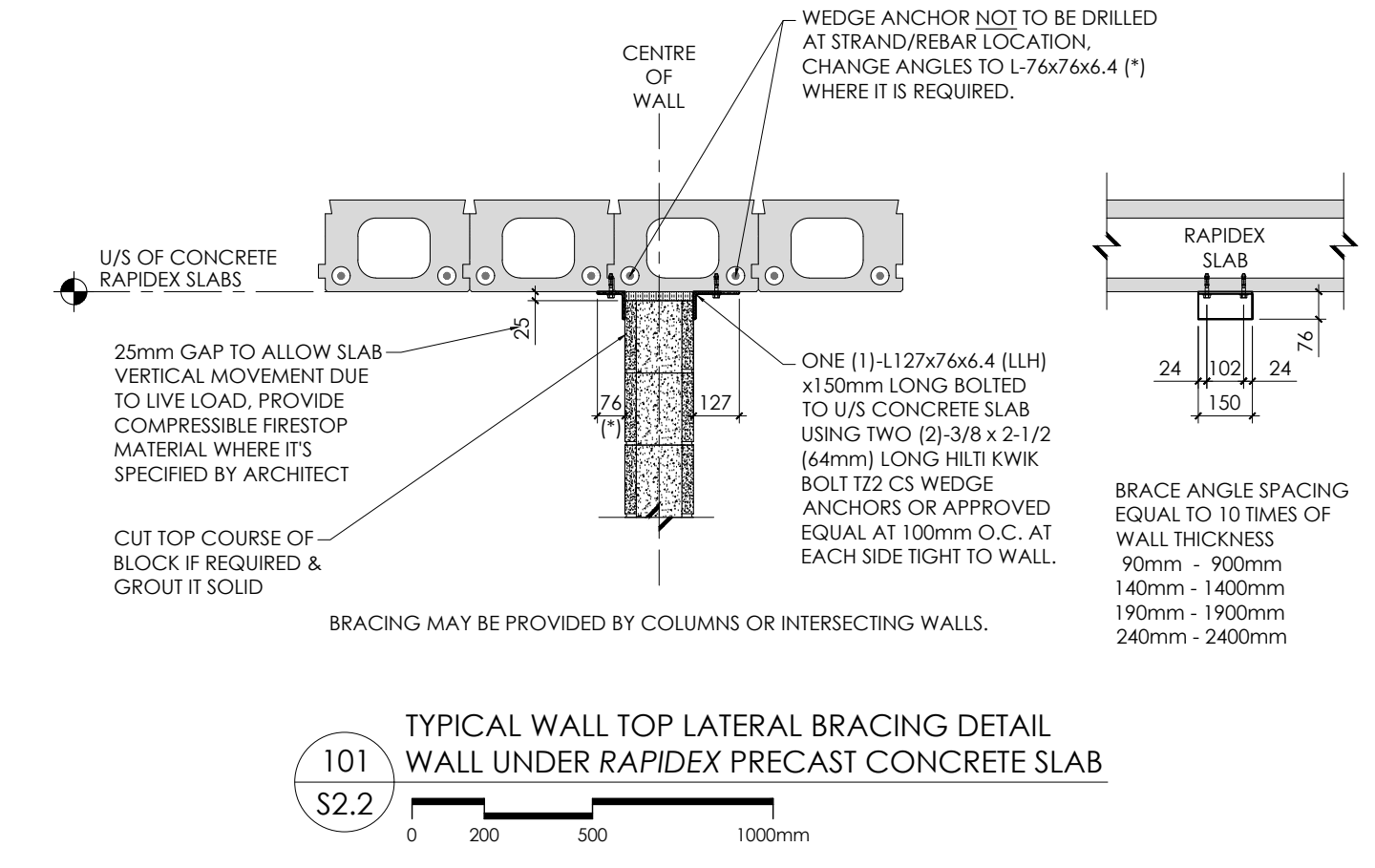
CLIENT:
WATERLOO REGION DISTRICT SCHOOL BOARD (WRDSB)

PROJECT:
22057
CRESTVIEW PUBLIC SCHOOL RENOVATION
153 MONTCALM DRIVE,
KITCHENER, ON N2B 2R6

ORIGINAL PAGE SIZE ARCH D - 24" x 36"
KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

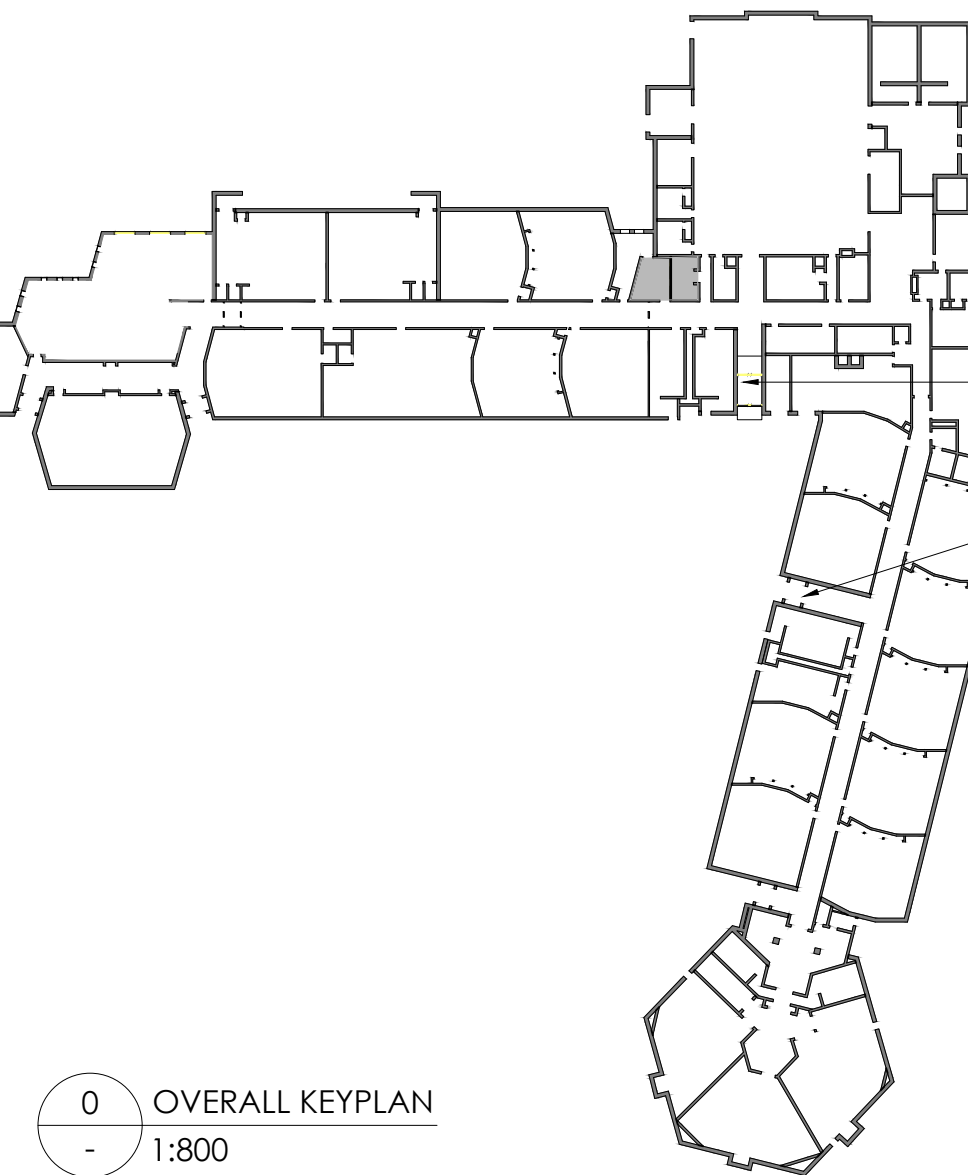
STRUCTURES+VG
THE VENTIN GROUP LTD.





TWO NEW STEEL HSS BEAMS AT TOP OF NEW ALUM. DOORS IN VESTIBULES 1 AND 2:

PROVIDE STEEL BEAM HSS-89x89x9.5 INSIDE C.F.S. STUD WALL AT BOTTOM OF WALL, AT TOP OF NEW DOORS, HSS TO BEAR ON EXISTING BLOCK WALL MINIMUM 100mm AT EACH END, BEAM POCKETS TO BE GROUTED SOLID USING NON-SHRINK GROUT, THE HSS BEAM IS DESIGNED FOR C.F.S. STUD WALL SUPPORT AND FOR DOOR TOP LATERAL BRACING USE. REFER TO PLAN 4/A2.3 AND SECTION 1/A4.3 FOR HSS BEAM LOCATIONS.



0 OVERALL KEYPLAN
1:800

REVISIONS

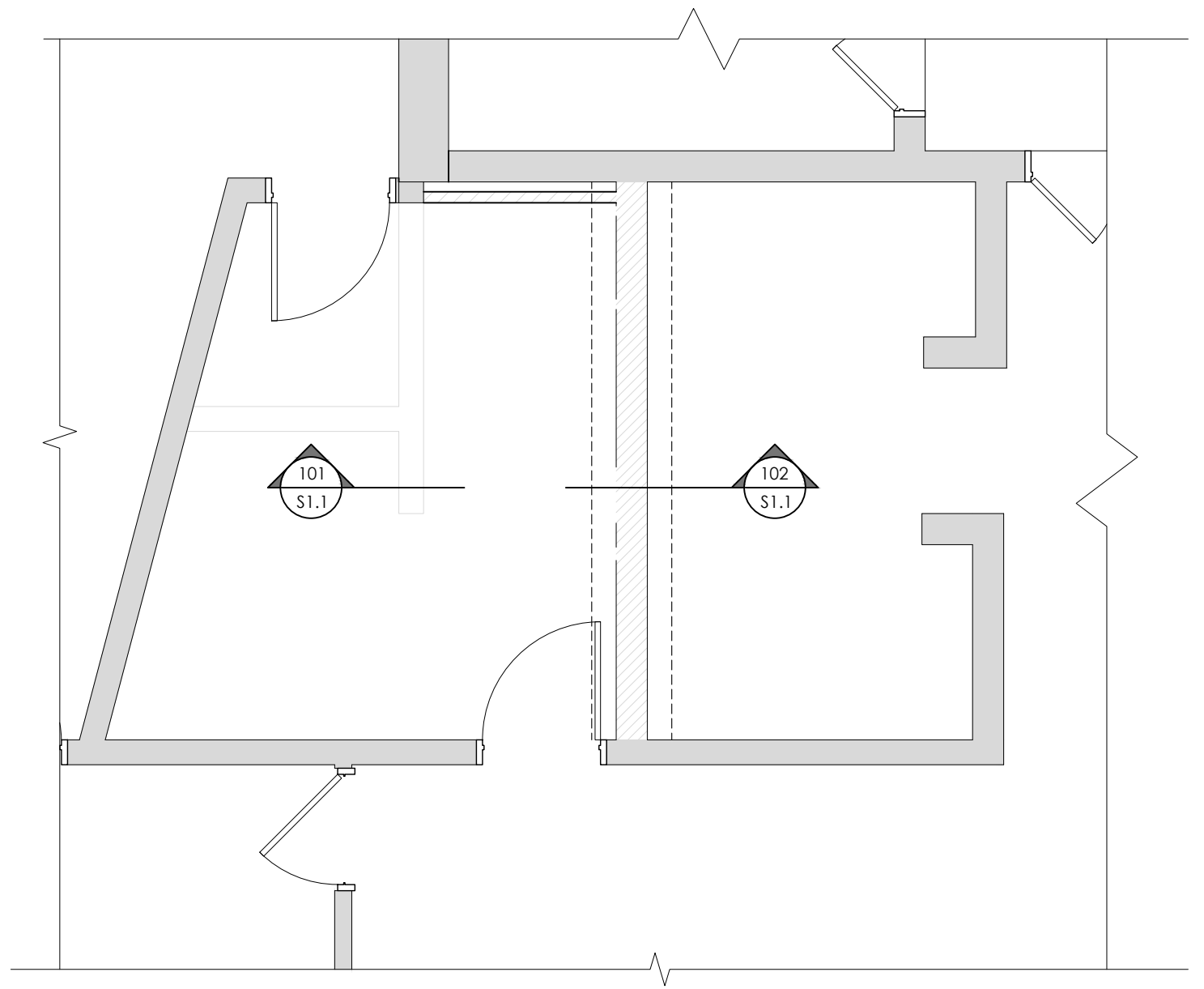
NO.	DATE	PARTICULAR
1	2023.03.06	ISSUED FOR PERMIT AND TENDER

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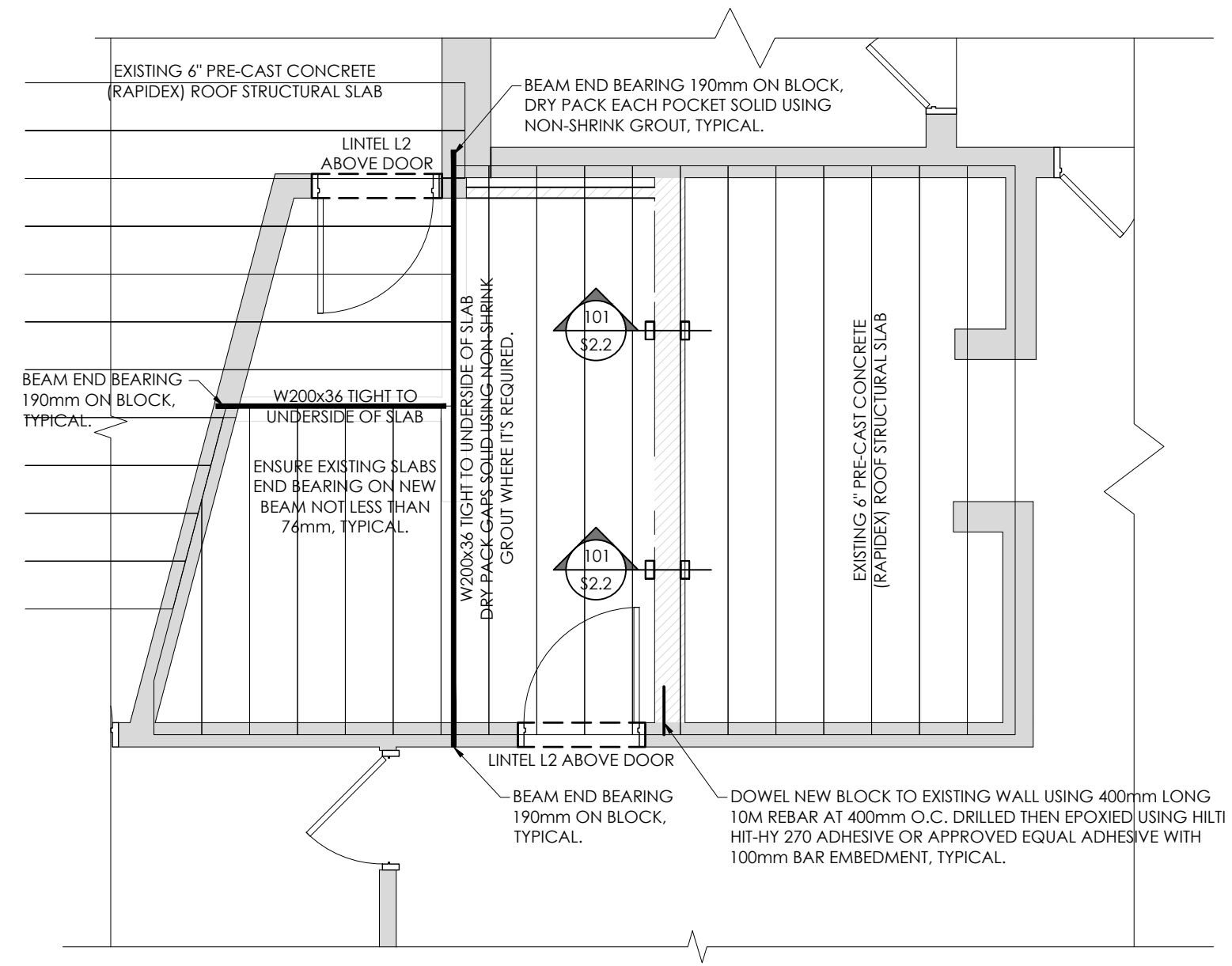
KEY PLAN:

CLIENT:
WATERLOO REGION DISTRICT SCHOOL BOARD (WRDSB)

PROJECT:
22057
CRESTVIEW PUBLIC SCHOOL RENOVATION
153 MONTCALM DRIVE,
KITCHENER, ON N2B 2R6



1 LEVEL 1 BF WASHROOM RENOVATION FLOOR PLAN
S2.2



2 LEVEL 1 BF WASHROOM RENOVATION ROOF FRAMING PLAN
S2.2

ORIGINAL PAGE SIZE ARCH D - 24" x 36"

KEY TO DETAIL LOCATION:
A - DETAIL NO.
B - DETAIL NO. ORIGIN

STRUCTURES+VG
THE VENTIN GROUP LTD.

LICENSED PROFESSIONAL ENGINEER
M. W. LIN
100150441
PROVINCE OF ONTARIO

S2.2

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WASHROOM RENOVATION FLOOR PLAN