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**Halton District School Board**

**Addendum No. 3**

**RFT 23-007 Oakville # 3 Elementary School and Child Care Facility**

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**The following, issued by the Halton District School Board (HDSB) January 19, 2023, shall be incorporated into the specifications and shall form part of the proposal document for the above.**

**ATTACHED:**

Please see the attached addendum # 3 as drafted by Hossack & Architects as it relates to the questions asked and provides additional information and drawings as necessary (9 pages).

**RECEIPT OF ADDENDA MUST BE ACKNOWLEDGED ON THE FORM OF TENDER.**

PAGE 1 OF 10  
END OF ADDENDUM 3

PROJECT NO. 22104  
HOSSACK & ASSOCIATES ARCHITECTS

**ADDENDUM NO. 3** (HAA Addendum #1)

**Issued January 19, 2023**

The following additions, deletions, modifications and clarifications issued herein are hereby an integral part of the Tender and Contract Documents. Minor Typographic or spelling mistakes in the Contract Documents which do not significantly affect the meaning of the sentence or phrase in which they occur may not necessarily be corrected by Addenda.

**GENERAL**

1. Ensure that all parties submitting bids are aware of this **Addendum No. 3** and its contents.
2. **Contents:** Addendum No. 3 - in its entirety consists of the following:
  - .1 Five (5) typed page of instructions and two (2) SKA drawings 8.5" x 11".
  - .2 Electrical Addendum No. 1 – one (1) typed page of instructions and one (1) AD drawing 8.5" x 11".

**QUESTIONS & ANSWERS**

QUESTION 1: Shanahan's is listed as an approved alternative for toilet partitions under section 10 21 20.2.3.12 (as per below). Hadrian acquired Shanahan's several years ago. Can Hadrian be listed as an acceptable alternative?

ANSWER 1: Yes.

QUESTION 2: Under section 10 11 25.2.1.7 Metal Lockers, Hadrian Emperor lockers are listed but components are not available as described in the specifications. Would Hadrian's Emperor locker be acceptable at 16 ga door, 22 ga interior shelves, 20ga slope/fillers/end panels, 24 ga sides/back?

ANSWER 2: Yes.

QUESTION 3: Can you please provide total quantities of plants required on LP1 drawing? The provided plant list does not show any quantities.

ANSWER 3: Contractor to total the quantities for each species from each quantity provided with the species label on the plan.

QUESTION 4: Please confirm if Communication, Security and AV by GCS or owner?

ANSWER 4: Communication and Security is in base Contract price, refer to electrical specifications. AV rough-in only is in base contract, as noted in the electrical documents.

QUESTION 5: Please confirm that AD 214 & 215 are included under the Cash allowance

ANSWER 5: No, the sign described on these drawings is to be in the base contract price, not Cash Allowance.

QUESTION 6: Please confirm if the precast floor slab required a 50mm Concrete topping?

ANSWER 6: Refer to structural drawing S0.0 Slab & Deck Legend for slabs requiring topping.

QUESTION 7: Please confirm if AD 652 is included in the interior signage cash allowance?

ANSWER 7: No, this item is not a cash allowance, but is in base contract price, as described in specification section 06 40 00 Item 2.12.

**PROJECT NO. 22104**  
**HOSSACK & ASSOCIATES ARCHITECTS**

**ADDENDUM NO. 3** (HAA Addendum #1)

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QUESTION 8: On drawing SP1 shows wood fence along the east side of the property next to the “future park” Drawing LP.1 does not note wood fence only this side – please provide clarification

ANSWER 8: The linetype should be denoting chain link fencing per the notation on the drawing. The fence along the east side of the property next to the “future park” is chain link fence and is addressed in this addendum below.

QUESTION 9: Please confirm where our construction entrance will be drawing E1 and SG1 Shows the mud mats to two difference locations?

ANSWER 9: At the onset of construction the stone mudmat as illustrated on Drawing SG 1 of 2 is to be constructed. As surrounding development progresses, contractor to relocate mudmat as per Drawing E1.

QUESTION 10: Please confirm all appliances are provided by the owner?

ANSWER 10: Yes.

QUESTION 11: Detail 11,12,13 & 14 on Drawing A18 note a “Metal Perforated Acoustical panels Typ. Ref. Specs” Please confirm which spec section this is referring?

ANSWER 11: Panels to be perforated wood acoustic panels as per Specification Section 09 84 10, as updated in this addendum below.

QUESTION 12: Elevation 1/ A09 notes: “Sunshades refer to specs”, I could not find a spec on these, please advise?

ANSWER 12: Refer to Specification update in this addendum below.

QUESTION 13: In order to determine temporary power and water measurement, please confirm if both hydro and water will be brought to the roadway prior to commencement of construction? If not, is there a hydro connection or water services within the vicinity of the job site that we can connect to until final connections are available?

ANSWER 13: As per section 01 51 00 temporary utilities, Contractor is responsible for all temporary utilities which include hydro and water. It is not expected for these services to be available at the onset of construction.

QUESTION 14: There are 2 sections of 05-50-00 with possible duplications. Is one of these to be deleted?

ANSWER 14: Both sections are required. Refer to addendum clarification herein.

QUESTION 15: Could you provide a cementitious waterproofing specification for the elevator?

ANSWER 15: Refer to Specification Section 07 11 13 Item 2.1.1. for waterproofing at elevator.

QUESTION 16: Could you provide a Intumescent specification? as there is some required.

ANSWER 16: Refer to Specification Section 07 81 00 Applied Fireproofing.

QUESTION 17: For section 10-11-25, item 21, could you provide a quantity of science Room Tables required?

ANSWER 17: Refer to drawings for quantity required in Science Room 317.

PROJECT NO. 22104  
HOSSACK & ASSOCIATES ARCHITECTS

**ADDENDUM NO. 3** (HAA Addendum #1)

**Issued January 19, 2023**

QUESTION 18: On the 1st and 2nd floor of the sprinkler drawings, there is a reference to smoke baffles. Are these smoke baffles to be carried by the sprinkler contractor? Or by another trade? If we are to carry the cost of smoke baffles then what are the exact specs of the smoke baffles to be able to price it accordingly (i.e. length, width, height, type of material, shape, etc.)

ANSWER 18: Smoke baffles and draft stops are to be provided by Contractor as per update in addendum below.

QUESTION 19: We would like to request that our MEL-ROL LM system (which includes MEL-DRAIN and required accessories) please be reviewed for alternate approval for bituminous waterproofing Section 07 11 13 Item 2.1.2.

ANSWER 19: Yes. Refer to update in addendum below.

### **AMENDMENTS TO SPECIFICATIONS – BINDER A**

#### **Item 01: Section 00 00 10 Table of Contents:**

- .1 ADD Specification Section title under Division 5 – Metals to read: “**05 50 00 Miscellaneous Metal**”.
- .1 REVISE Specification Section title under Division 5 – Metals to read as follows: “**05 50 10 Metal Fabrications**”.

#### **Item 02: Section 01 11 00 Summary of Work:**

- .1 DELETE Item 1.36.8.14.: “~~Temporary Site Construction Sign~~” (this is to be in base contract price).

#### **Item 03: Section 07 11 23 Bituminous Waterproofing:**

- .1 REVISE Item 2.1.2. to read: “...as manufactured by Poly-Tuff Systems International, or MEL-ROL LM system as manufactured by W.R. Meadows.”.

#### **Item 04: Section 05 50 00 Metal Fabrications:**

- .1 REVISE header on all pages of this Section to read: “**05 50 10 Metal Fabrications**”.

#### **Item 05: Section 08 11 15 Door Schedule:**

- .1 REVISE schedule line item for door 401A to read “**ALUM**” for Frame Material and “**ANNO**” for Frame Finish.

#### **Item 06: Section 08 80 50 Glazing:**

- .1 REVISE Item 2.1.5.3. to read: “Firelite ~~NT~~ **PLUS** (for ¾ hour rating)”.
- .2 ADD Item 2.1.16. to read:
  - “.16 Glazing for Smoke Baffles:
    - .1 12mm tempered-laminated glass, 200mm deep x 400mm long (refer to floor plans).
    - .2 Quantity: Refer to drawings.
    - .3 Locations: Stair A at u/s of landing at ground and second floors.
    - .4 Construction shall conform to NFPA 13.
    - .5 Refer to Section 10 11 25 for required mounting shoe.”

PROJECT NO. 22104  
HOSSACK & ASSOCIATES ARCHITECTS

**ADDENDUM NO. 3** (HAA Addendum #1)

**Issued January 19, 2023**

.3 ADD Item 2.1.17. to read:

“.16 Glazing for Draft Stops:

- .1 12mm tempered-laminated glass, 460mm deep x length required for stair landing (refer to floor plans).
- .2 Quantity: Refer to drawings.
- .3 Locations: Stair A at u/s of landing at ground and second floors.
- .4 Construction shall conform to NFPA 13.
- .5 Refer to Section 10 11 25 for required mounting shoe.”

**Item 07: Section 08 92 00 Louvres:**

.1 ADD Item 2.1.5. to read:

“.5 Sunshades:

- .1 Outrigger sunshade by CRL, comprised of:
  - .1 Square profile outrigger
  - .2 Flat bar or rectangular tube blades
  - .3 Wall mount bracket
  - .4 C Channel Fascia
  - .5 Finish: anodized aluminium
  - .6 102mm (4”) high x 900mm (36”) outrigger x length noted on drawings
- .2 Locations: South Elevation, refer to drawings.”

**Item 08: Section 09 65 16 Resilient Tile Flooring:**

- .1 REVISE Item 2.1.1.1. to read: “Uptown”.
- .2 REVISE Item 2.1.1.2. to read: “Mirra”.
- .3 REVISE Item 2.1.1.3. to read: “Urban Textures, Creek Street”.
- .4 ADD Item 2.1.1.4. to read: “ID Inspiration 70”.
- .5 ADD Item 2.1.1.5. to read: “Creation 70”.

**Item 09: Section 09 65 19 Resilient Sheet Flooring:**

- .1 REVISE Item 2.1.2.1.1. to read: “Gerflor, ~~Taraflex Multi-Use Recreation 45~~”.

**Item 10: Section 09 97 24 Concrete Floor Sealer System:**

- .1 REVISE Item 2.1.1.1. to read: “...Stonhard Ltd., Euclid, **Mapei** or other approved...”.

**Item 11: Section 10 11 25 Manufactured Specialties:**

- .1 REVISE Item 2.1.21. to read: “Science Room Movable Tables (**ST**):”

.2 ADD Item 2.1.22. to read:

“.22 Smoke baffles and Draft Stops:

- .1 Smoke Baffle / Draft stop shoe by CR Laurence:
  - .1 Catalog Number: B5B10
  - .2 Finish: Mill Aluminium
  - .3 Refer to Glazing Section for glass required.
  - .4 Custom Length to suit locations required c/w end caps.

PROJECT NO. 22104  
HOSSACK & ASSOCIATES ARCHITECTS

**ADDENDUM NO. 3** (HAA Addendum #1)

**Issued January 19, 2023**

- .5 Include all accessories required to fasten to gypsum board on steel stud bulkhead.
- .2 Locations: Stair A at u/s of landing at ground and second floors.
- .3 Construction shall conform to NFPA 13.”

**Item 12: Section 10 21 20 Laminated Plastic Toilet Partitions:**

- .1 REVISE Item 2.3.12 to read: “...Metpar Corp., **Hadrian**, or others meeting...”.

**AMENDMENTS TO ARCHITECTURAL DRAWINGS**

**Item 13: Drawing SP1 Site Plan:**

- .1 REVISE: fencing linetype along east property line bordering “future park” to be ----x----x---- to denote ‘black vinyl chain link fencing’ per Legend.

**Item 14: Drawing A06 Reflected Ceiling Plan Ground Floor:**

- .1 ADD to Stair A Landing: Smoke baffles and draft stops as per letter size drawing SKA-1, attached herein. Location of smoke baffles and draft stops to be coordinated with sprinkler head locations and lighting shown on electrical drawings. Construction of smoke baffles and draft stops must conform to NFPA 13.

**Item 15: Drawing A07 Reflected Ceiling Plan Second Floor:**

- .1 ADD to Stair A Landing: Smoke baffles and draft stops as per letter size drawing SKA-1, attached herein. Location of smoke baffles and draft stops to be coordinated with sprinkler head locations and lighting shown on electrical drawings. Construction of smoke baffles and draft stops must conform to NFPA 13.

**Item 16: Drawing A18 Interior Elevations:**

- .1 REVISE: Note for Details 11 – 14/A18 to read: “PERFORATED METAL **WOOD** ACOUSTICAL PANELS TYP. (**PWP**). REFER TO SPECS.”

**Item 17: Drawing A22 Stair Details:**

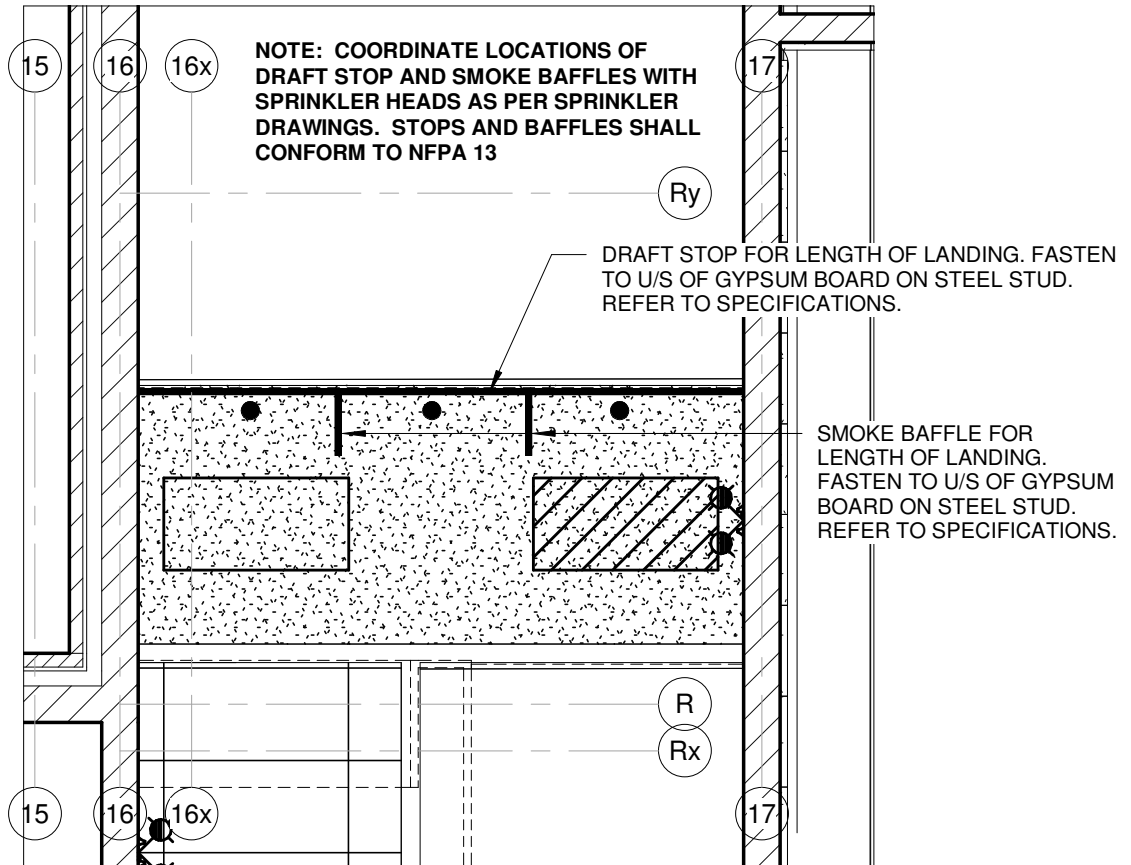
- .1 REPLACE: Detail A24/A22 with A24/A22 as shown on letter size drawing SKA-2, attached herein.

**ELECTRICAL**

**Item 18: ELECTRICAL**

- .1 Electrical Addendum No. 1 – one (1) typed page of instructions and one (1) AD drawing 8.5” x 11”.

**End of Addendum No. 3**



**SMOKE BAFFLES AND DRAFT STOPS FOR STAIR A (typical for Ground and Second Floor u/s Landings)**

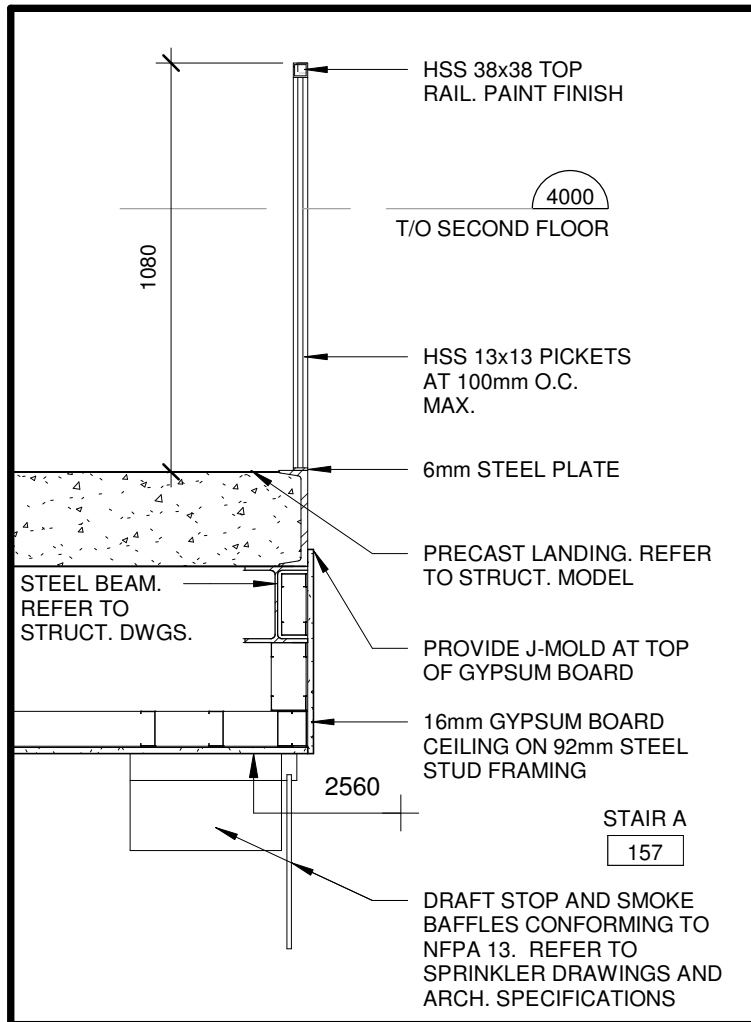
PROJ: 22104  
 SCALE: 1 : 50  
 DRAWN: CC  
 DATE: 230118

**HOSSACK & ASSOCIATES ARCHITECTS**



ISSUE/REV. ADD #3

**SKA .SKA-1**



Detail 24/A22 SECTION DETAIL @  
EXPOSED STAIR A LANDING (TYP)

PROJ: 22104  
SCALE: 1 : 20  
DRAWN: Author  
DATE: 230118

**HOSSACK  
& ASSOCIATES  
ARCHITECTS**

ISSUE/REV.

SKA  
.SKA-2



January 18, 2023

Client: Hossack & Associates Architects  
2150 Dunwin Drive, Unit #4,  
Mississauga, ON L5L 5M8

RE: Oakville #3 Public School  
Oakville, Ontario

Job #: 22070

Attn: Priscilla Ladouceur, B.E.S, B. Arch, OAA, MRAIC /Steve Terra, B. Arch.Sci., M.Arch., OAA,  
MRAIC/Jonathan Knight, B.Arch.Sci., M.Arch.

## ADDENDUM 01

### MECHANICAL

#### Item 1

1.0 No Mechanical Content

### ELECTRICAL

#### Item 1

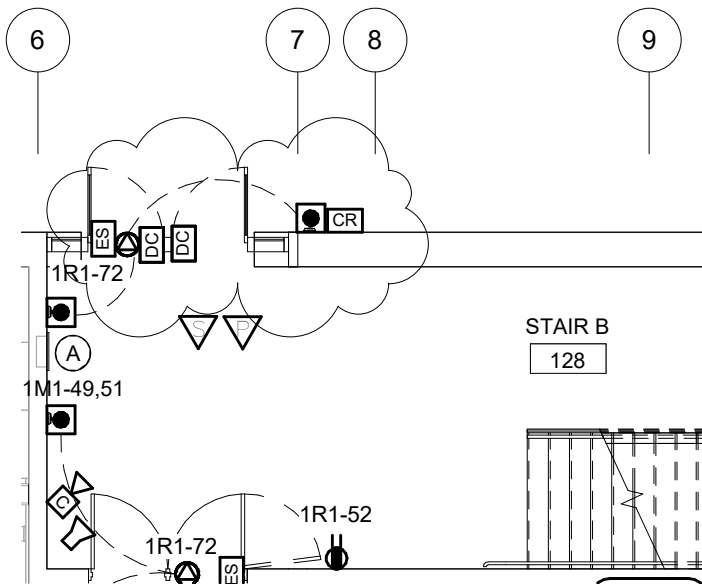
1.0 Door Card Readers

- .1 Electrical contractor to provide card readers for Doors 128B and 157B, at 100mm AFF complete with 13mmC to electric strike in adjacent door frame. Confirm rough-in with door hardware. Refer to attached sketch AD01-E01 and drawing E2.1.



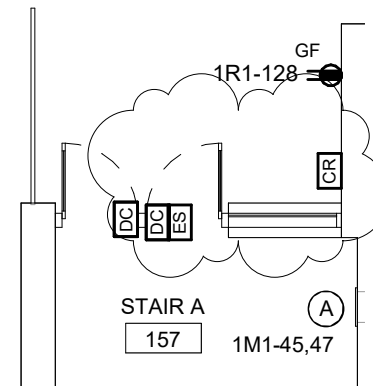
Dustin McConkey, Senior Electrical Designer,  
Associate

22070 Addendum 01 (E-Card Readers)(AD01-E01) Jan 18 23  
tm/ma



### 1 - DOOR 127B POWER PLAN

SCALE: 1 : 100



### 2 - DOOR 157B POWER PLAN

SCALE: 1 : 100