



## **Addendum #2**

**Bid Opportunity: 7251-RW-22**

### **Waterloo Oxford District Secondary School - Family Studies Renovation & HVAC Upgrades**

**Closing Date: Wednesday, April 6, 2022, 2:00 PM**

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The following issued by the Board shall form part of the Bid / Proposal Solicitation document. The revisions and additions noted herein along with any attachments shall be read in conjunction with all other related documents. This Addendum shall, take precedence over the previously issued documents where differences occur. Receipt of this addendum must be acknowledged in the Bidding System, bids&tenders.

If you have already submitted a Bid / Proposal, it will be automatically withdrawn as a result of this addendum. You must resubmit the Bid / Proposal acknowledging all addenda and revising your Bid / Proposal to comply with all addenda.

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#### Section 1 – Vendor Questions

##### **Question 1:**

Please refer to the Technical Data Sheet link (<https://www.gerflorusa.com/media/mipolam-affinity-tds-oct-2021.pdf>) for Gerflor Mipolam Affinity for consideration as an alternate for the Resilient Flooring and Base specified in Section 096516 for the WRDSS Family Studies Reno project. This homogeneous sheet vinyl is to ASTM F1913 Type 2 standard, 2.0mm thick, 2m wide rolls with the Evercare surface treatment – no wax, no finish for the life of the product, and ISO 22196 anti-bacterial and ISO 21702 anti-viral activity, inhibits the spread of bacteria and viruses at 99%.

##### **Answer 1:**

Please see below for clarification.

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## Section 2 – Clarification / Initiated by the Board

The information below, attachments and drawings provide additional clarification and does not change the Scope or intent of the bid document.

### 2.1 ARCHITECTURAL SPECIFICATIONS

1. Section 01 21 00 Cash Allowances
  1. REPLACE Section 01 21 00 with Section 01 21 00-R (3 pages) attached.
2. Section 09 65 16 Resilient Flooring and Base
  1. ADD Article 2.1.1.3 as follows:
    - .3 MIPOLAM AFFINITY, as manufactured by Gerflor

### 2.2 ARCHITECTURAL DRAWINGS

1. Drawing A0.0 OBC Matrix, General Notes, legends, Abbreviations, Drawing List
  1. **ADD DETAIL FOR GREASE INTERSEPTOR, AS SHOWN ON DRAWING ASK-001, ATTACHED.**
  2. **ADD FLOOR TYPE FOR INFILL OF SLAB-ON-GRADE, AS SHOWN ON DRAWING ASK-001, ATATCHED.**
2. Drawing A1.1 Partial Demolition Floor Plans
  1. **ENLARGED SECOND FLOOR DEMOLITION PLAN 2/A1.1 – PROVIDE OPENING FOR NEW LOUVRE AS SHOWN ON DRAWING ASK-002, ATTACHED.**
3. Drawing A1.2 Enlarged Demolition Plans & Partial Site Demolition Plan
  1. **REPLACE DRAWING A1.2 WITH DRAWING A1.2R, ATTACHED.**
    1. **1/A1.2 REVISED TO SHOW FLOOR CUTS REQUIRED FOR NEW SERVICES.**
    2. **1/A1.2 REVISED TO SHOW NEW OPENINGS FOR DUCTWORK.**

4. Drawing A2.1 Partial Floor Plans
  1. **PARTIAL SECOND FLOOR PLAN 2/A2.1 – ADD LOUVRE ON SOUTH WALL OF FAN ROOM 120A, AS SHOWN ON DRAWING ASK-003, ATTACHED.**
5. Drawing A2.2 Enlarged Floor Plans & Plan Details
  2. **REPLACE DRAWING A2.2 WITH DRAWING A2.2R, ATTACHED.**
    1. **1/A2.2 REVISED TO SHOW FLOOR INFILLS REQUIRED; NEW OPENINGS FOR DUCTWORK.**
6. Drawing A3.2 Partial and Enlarged Reflected Ceiling Plans
  1. **REPLACE DRAWING A3.2 WITH DRAWING A3.2R, ATTACHED.**
    1. **1/A3.2 REVISED TO SHOW ADDITIONAL BULKHEADS.**
7. Drawing A4.0 Roof Key Plan & Partial Roof Plan
  1. **PARTIAL ROOF PLAN 2/A4.0**
    1. **RELOCATE ROOF DRAIN AS SHOWN ON DRAWING ASK-004, ATTACHED**
    2. **REVISE LAYOUT OF ROOF PAVERS, AS SHOWN ON DRAWING ASK-004, ATTACHED.**
8. Drawing A5.0 Exterior Elevation, Frame Elevations, Door Elevation, Room Finish Schedule, Door Schedule
  1. **EAST EXTERIOR ELEVATION 1/A5.0 – PROVIDE LOUVRES AS SHOWN ON DRAWING ASK-005, ATTACHED.**
9. Drawing A7.0 Interior Elevations
  1. **REPLACE DRAWING A7.0 WITH DRAWING A7.0R ATTACHED.**
    1. **FAMILY STUDIES 103 INTERIOR ELEVATIONS – NORTH ELEVATION REVISED TO SHOW ADDITIONAL BULKHEAD.**
    2. **FAMILY STUDIES 103 INTERIOR ELEVATIONS – EAST ELEVATION REVISED TO SHOW ADDITIONAL BULKHEADS; REVISE HEIGHT OF TACK BOARDS.**

## 2.3 STRUCTURAL DRAWINGS

### 1. Drawing S1.01 Details and Schedules

1. **REPLACE DRAWING S1.01 WITH DRAWING S1.01 ATTACHED.**
  1. **DETAIL 3-M ADDED TO DRAWING FOR SLAB ON GRADE REPAIR DETAILS.**
  2. **SECTION 3 ADDED TO DRAWING TO DETAIL STRUCTURE FOR LOUVRE OPENING IN IN NORTHEAST CORNER OF FAMILY STUDIES 103 ROOM.**

### 2. Drawing S2.01 Framing Plans

1. **REPLACE DRAWING S2.01 WITH DRAWING S2.01 ATTACHED.**
  1. **SECOND FLOOR FRAMING PLAN – HSS 102X76X4.8 POST, C100X8 FLAT AND L89X89X6.4 BRICK LINTEL ADDED FOR LOUVRE OPENING IN NORTHEAST CORNER OF FAMILY STUDIES 103 ROOM.**
  2. **ROOF FRAMING PLAN –3-L89X89X6.4 LINTEL ADDED FOR NEW LOUVRE OPENING IN SOUTH WALL OF FAN ROOM 120A.**

- End of Addendum #2 –

+ Section 01 21 00-R (3 pages), Drawings A1.2R, A2.2R, A3.2R, A7.0R,  
Drawings ASK-001 – ASK-005, inclusive, Drawings S1.01, S2.01.



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## **SECTION 01 21 00 – ALLOWANCES**

### **1.0 GENERAL**

#### **1.1. RELATED SECTIONS**

- .1 Section 01 45 00 – Quality Control.
- .2 This section describes requirements applicable to all Sections within Divisions 02 to 49.

#### **1.2. GENERAL**

- .1 Allowances included herein are for items of Work which could not be fully quantified prior to Bidding.
- .2 Expend each allowance as directed by the Consultant. Work covered by allowances shall be performed for such amounts and by such persons as directed by Consultant.
- .3 Funds will be expended by means of Cash Allowance allocations and contingency allowance allocations.
- .4 Progress payments for Work and Products authorized under allowances will be made in accordance with the payment terms set out in the Conditions of the Contract.
- .5 The Contractor shall bid the work involved and submit the Bids received to the Consultant and the Board, for approval
- .6 The Contractor shall submit 3 bids unless directed by the Board.

#### **1.3. CASH ALLOWANCES**

- .1 Cash allowances, cover the net cost to the Contractor of services, products, construction machinery and equipment, freight, handling, unloading, storage, installation where indicated, and other authorized expenses incurred in performing the Work. Cash allowances shall not be included by a subcontractor in the amount for their subcontract work.
- .2 Supply only allowances shall include:
  - .1 Net cost of Products.
  - .2 Delivery to Site.
  - .3 Applicable taxes and duties, excluding HST.
- .3 Supply and install allowances shall include:
  - .1 Net cost of Products.
  - .2 Delivery to Site.
  - .3 Unloading, storing, handling or products on site.
  - .4 Installation, finishing and commissioning of products.
  - .5 Applicable taxes and duties, excluding HST.
- .4 Inspection and testing allowances shall include:
  - .1 Net cost of inspection and testing services.
  - .2 Applicable taxes and duties, excluding HST.
- .5 Other costs related to work covered by cash allowances are not covered by the allowance, but shall be included in the Contract Price.

- .6 Where costs under a cash allowance exceed the amount of the allowance, the Contractor will be compensated for any excess incurred and substantiated plus an allowance for overhead and profit as set out in the Contract Documents.
- .7 Progress payments on accounts of work authorized under cash allowances shall be included in the monthly certificate for payment.
- .8 Submit, before application for final payment, copies of all invoices and statements from suppliers and subcontractors for work which has been paid from cash allowances.

**1.4. ALLOWANCES SCHEDULE**

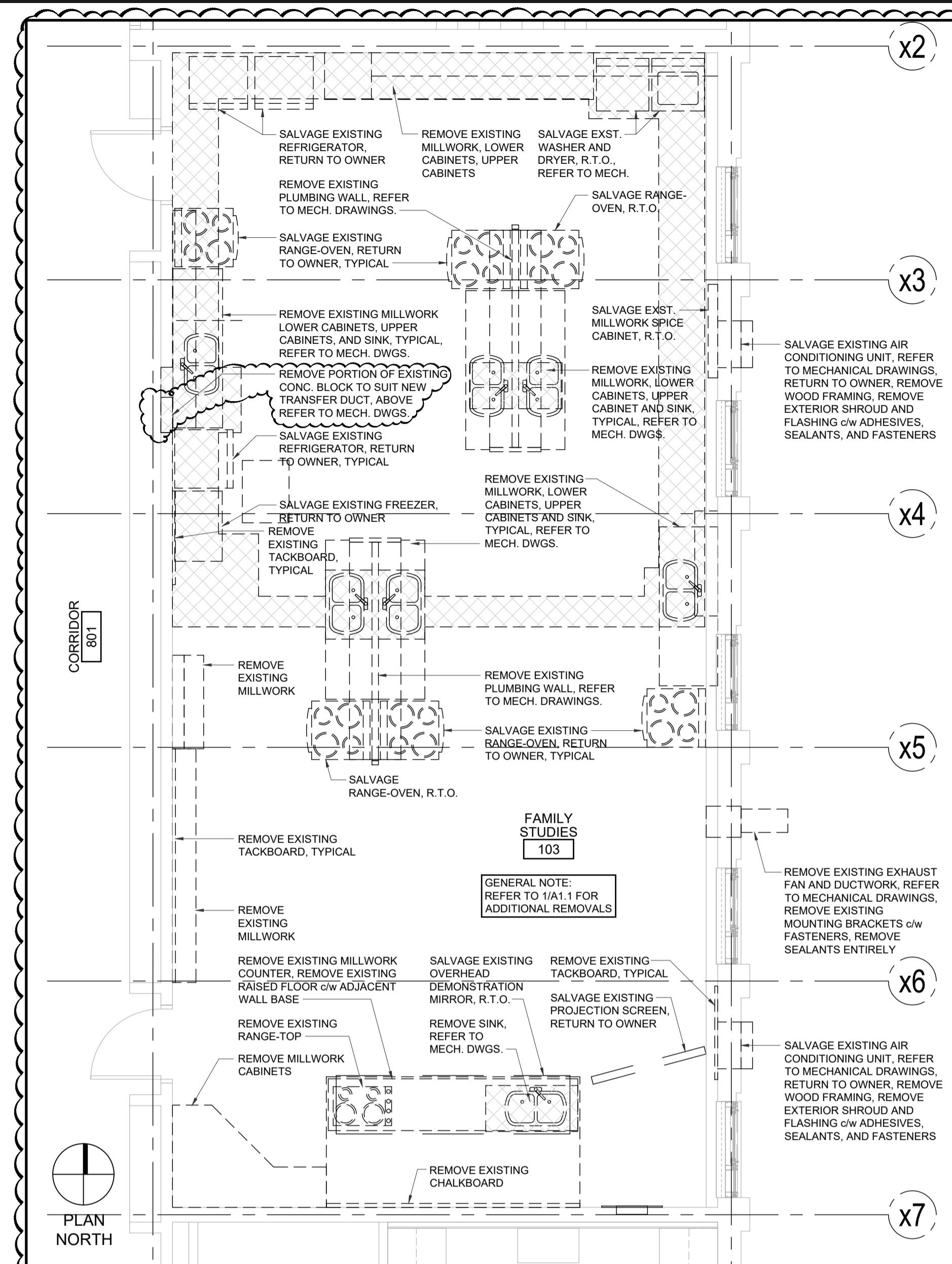
Include in the Bid Price a cash allowance of to address the cost of the following items:

- .1 Designated Substance Removal.  
\$ 10,000.00  
(Additional removal not already identified in the ACM Summary report)
- .2 Independent Testing & Inspection (soil, structural steel, paving, painting)  
\$ 2,500.00  
(As directed by the Consultant)
- .3 Roof Tie-ins at New Mechanical Equipment:  
\$ 20,000.00  
(As directed by the Consultant)
- .4 Repair of Existing Fire Separations:  
\$ 7,500.00  
(Not created by new mechanical/ electrical penetrations)
- .5 Supply and Installation of Finishing Hardware:  
\$ 5,000.00  
(As directed by the Consultant)
- .6 Supply of Furniture and Equipment:  
\$ 25,000.00  
(As directed by the Consultant)
- .7 Replacement of Washroom Exhaust Fan  
\$ 10,000.00  
(As directed by the Consultant)
- .8 Building Controls Systems Scope of Work:  
\$ 70,000.00  
(As directed by the Consultant)

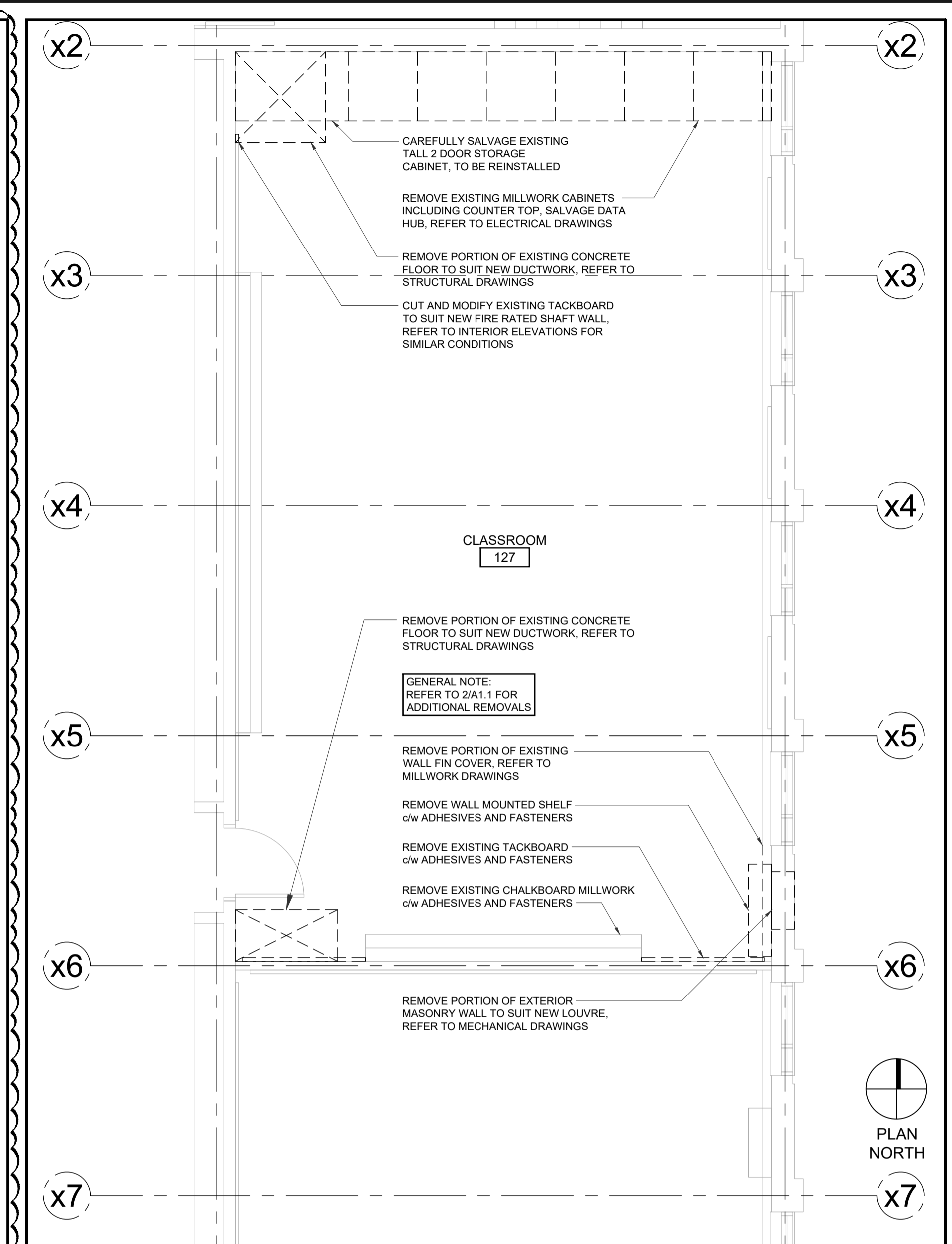
- .9 Electrical Work associated with the Building Control Cabinet in Room 300A,  
not already In Contract:  
\$ 34,000.00  
(As directed by the Consultant)
  
- .10 Structured cabling (voice/ data) installation and network equipment, including  
terminations:  
\$ 18,000.00  
(As directed by the Consultant)
  
- .11 Public Address (PA) systems, including and cabling and hardware.  
\$ 4,500.00  
(As directed by the Consultant)
  
- .12 Site Servicing Work and Asphalt Repairs:  
\$ 250,000.00  
(As directed by the Consultant)

**Total of All Allowances:**  
**\$ 456,500.00**

**END OF SECTION**



1 A1.2 ENLARGED GROUND FLOOR DEMOLITION PLAN



2 A1.2 ENLARGED SECOND FLOOR DEMOLITION PLAN

DEMOLITION PLAN LEGEND	
APPLICABLE TO ALL DRAWINGS	
	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED - REFER TO GENERAL NOTES
	REMOVE EXISTING DOOR & FRAME REMOVE ALL DOOR HARDWARE (HINGES, LOCKSETS & CLOSURES)
	REMOVE, RELOCATE OR SALVAGE EXISTING MILLWORK, COMPLETE WITH SINKS, FITTINGS & ACCESSORIES AS INDICATED
	INDICATES REMOVAL OF FLOOR FINISH TO TOP OF CONCRETE SLAB INCLUDING ALL BASE c/w ALL ADHESIVES UNLESS NOTED OTHERWISE
	REMOVE, RELOCATE OR SALVAGE EXISTING ELECTRICAL PANEL AS INDICATED (REFER TO ELEC. DWGS.)
	INDICATES REMOVAL AREA OF FLOOR SLAB TO SUIT MECHANICAL INSTALLATION, COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS

- | DEMOLITION NOTES |  |
|------------------|--|
| 1.               | THESE NOTES ARE APPLICABLE TO ALL DRAWINGS.  |
| 2.               | CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.   |
| 3.               | CONTRACTOR TO COORDINATE DEMOLITION WITH ASBESTOS AUDIT REPORT, REFER TO SPECIFICATIONS.   |
| 4.               | CONFIRM THE REMOVAL OF ALL MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS.  |
| 5.               | CONFIRM THE REMOVAL OF ALL ELECTRICAL EQUIPMENT WITH ELECTRICAL DRAWINGS.  |
| 6.               | CONFIRM THE EXTENT AND DIMENSION OF ALL AREAS TO BE REMOVED WITH FLOOR PLANS.  |
| 7.               | WORK TO BE PERFORMED BY THE FOLLOWING TERMS:<br>'REMOVE' - ITEM SHALL BE REMOVED & DEMOLISHED<br>'RELOCATE' - ITEM SHALL BE CAREFULLY REMOVED & RELOCATED AS INDICATED.<br>'R.T.O.' - ITEM SHALL BE CAREFULLY REMOVED & TURNED OVER TO OWNER.<br>'SALVAGE' - ITEM SHALL BE CAREFULLY REMOVED & PROTECTED/ STORED FOR INSTALLATION. |
| 8.               | WHERE EXISTING FLOOR FINISHES ARE TO BE REMOVED INCLUDE THE REMOVAL ADHESIVES OF EXISTING WALL BASE INCLUDING ALL ADHESIVES.   |
| 9.               | ALL EXISTING PLUMBING FIXTURES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION.   |
| 10.              | CONTRACTOR TO SALVAGE ALL WHITE BOARDS, TACK BOARDS, SMARTBOARDS, PROJECTORS AND ELECTRONIC DEVICES PRIOR TO ANY WORK COMMENCING AND RETURN TO OWNER, UNLESS NOTED OTHERWISE.  |
| 11.              | SALVAGE ALL KITCHEN EQUIPMENT, REFRIGERATOR, FREEZER, WASHER, DRYER, RANGE-OVENS AND RETURN TO OWNER.  |
| 12.              | SALVAGE AND REINSTALL SUSPENDED, LAY-IN ACOUSTIC CEILING TILE AFTER INSTALLATION OF MECHANICAL/ ELECTRICAL WORK AS REQUIRED, REFER TO MECHANICAL/ ELECTRICAL DRAWINGS FOR LOCATIONS.   |



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 2022-03-21

ISSUED FOR ADDENDUM #02  
 2022-04-01



**Waterloo-Oxford District Secondary School**

FAMILY STUDIES RENOVATION & HVAC UPGRADES

ENLARGED DEMOLITION PLANS & PARTIAL SITE DEMOLITION PLAN

1208 Snyder's Road West, Berlin, ON N3A 4N2

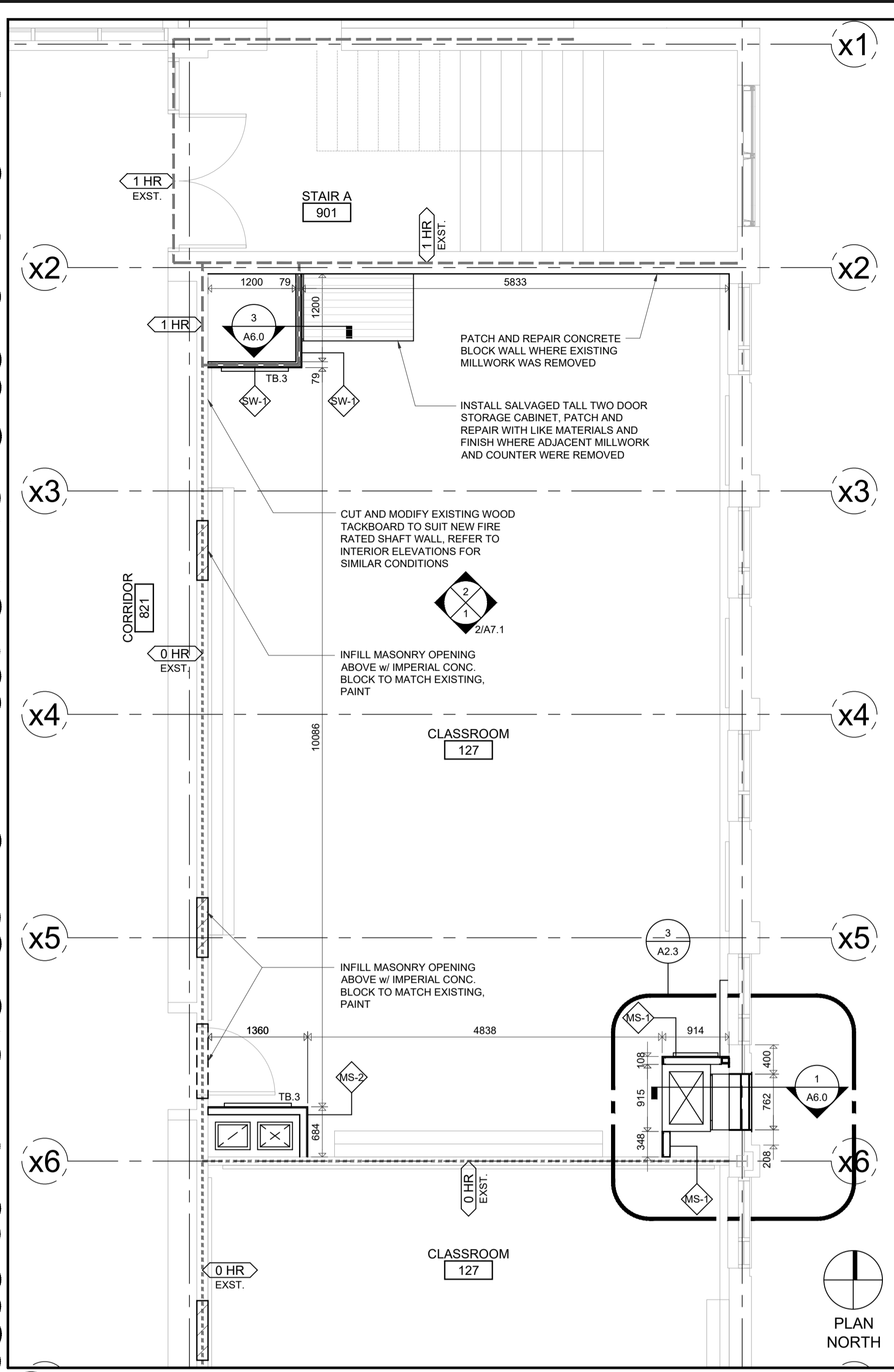
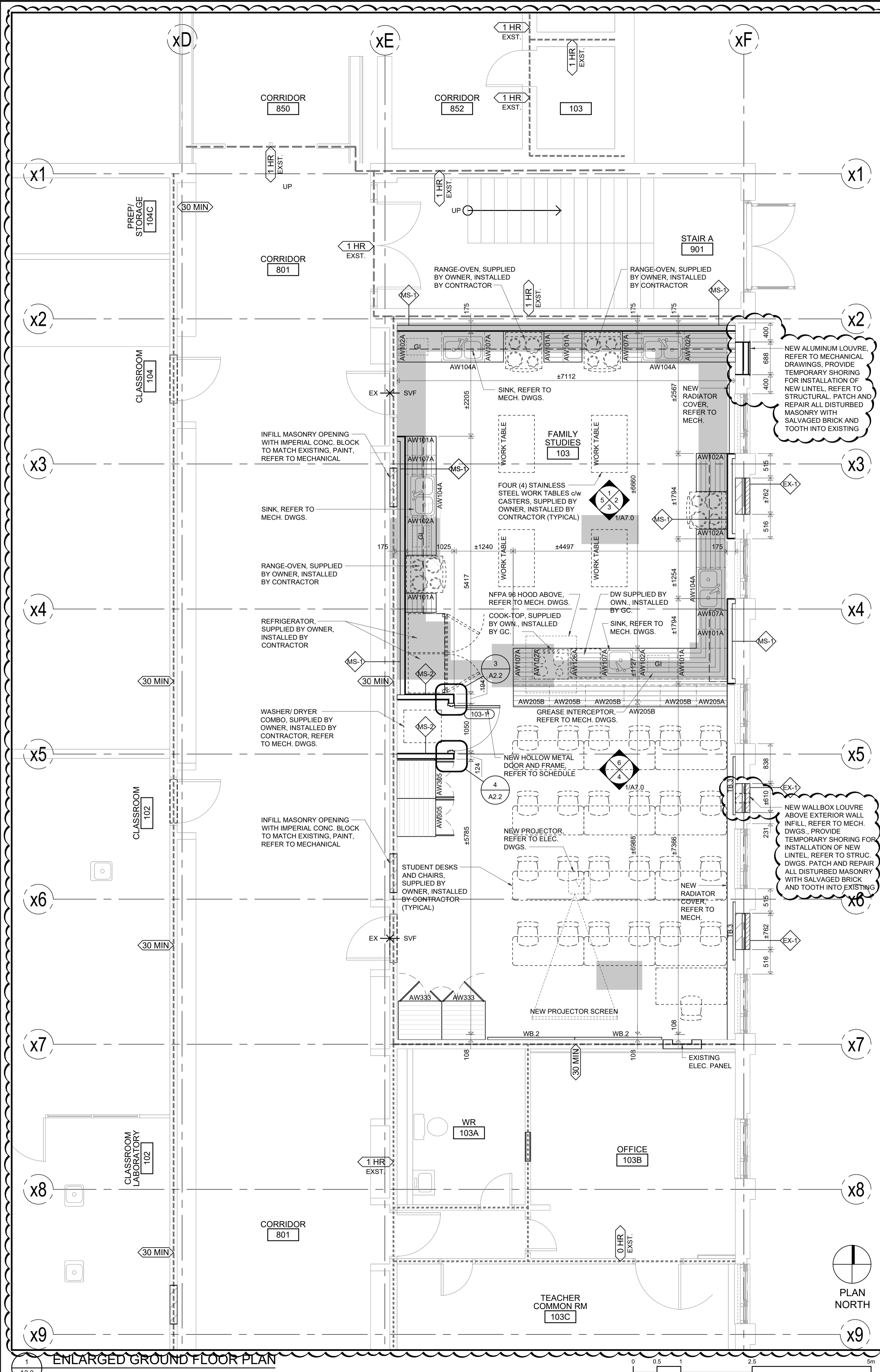
Project No.: 1036B

Drawn By: JNL

Revised: 2022-04-01

A1.2R



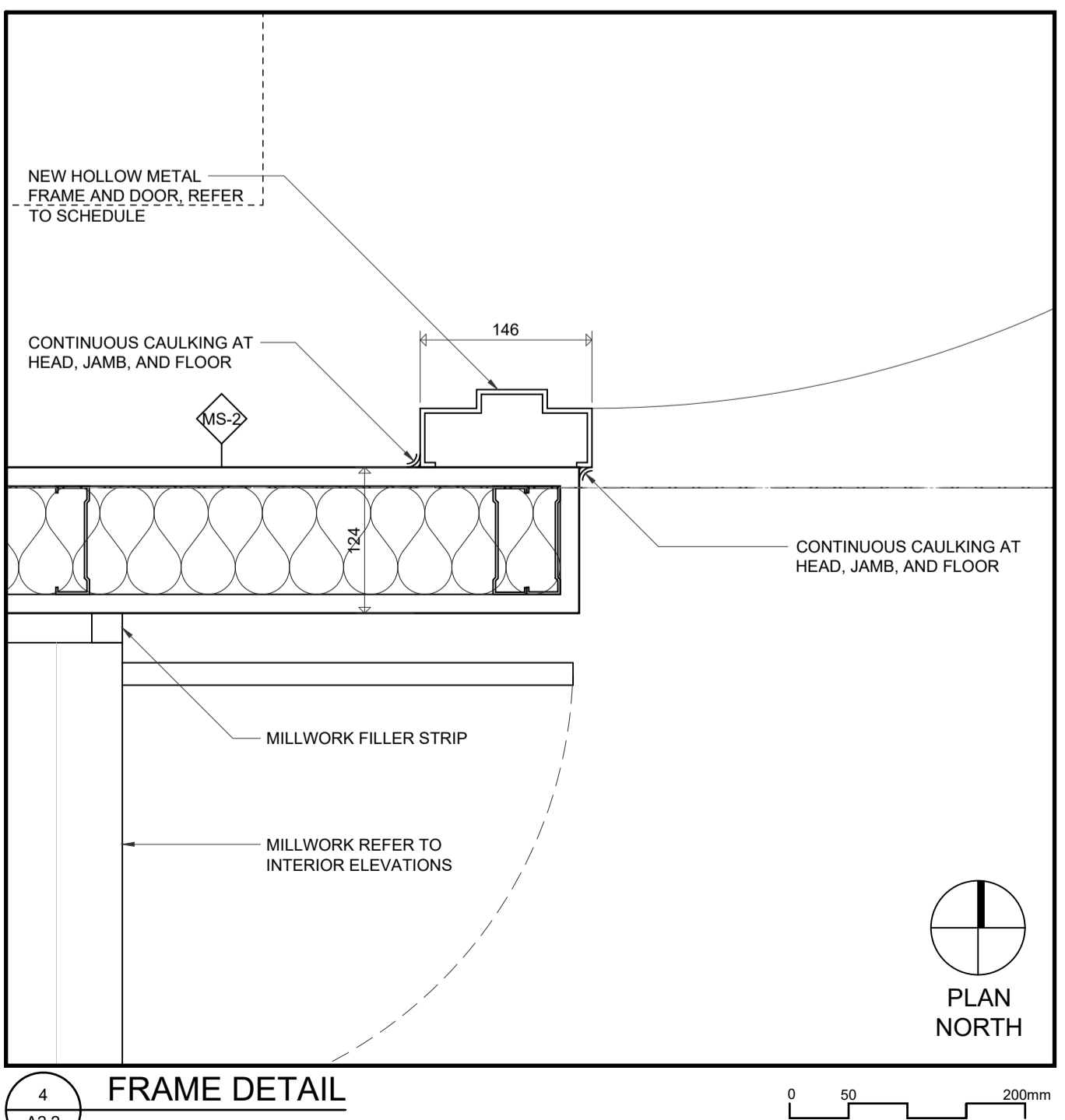
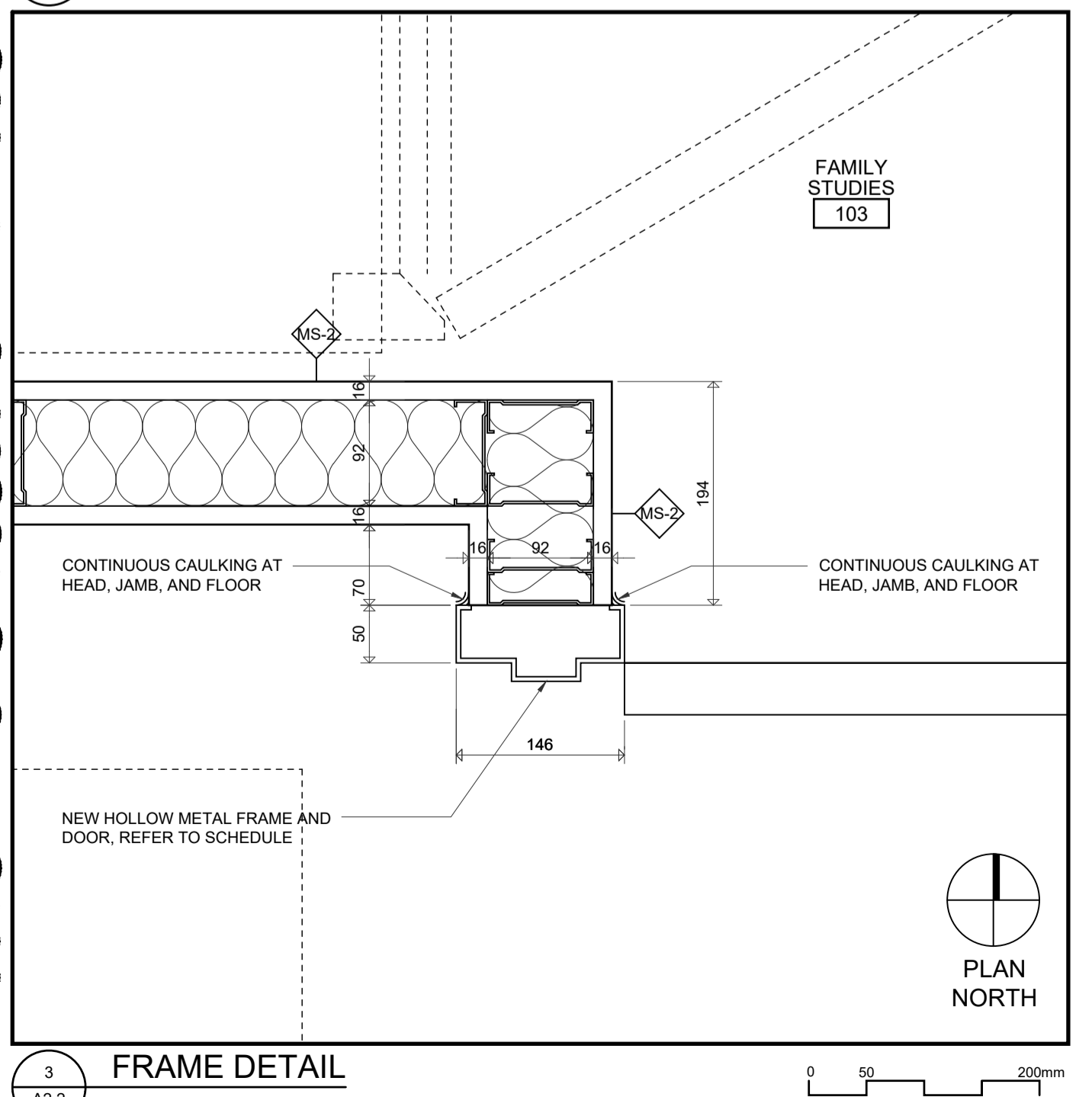


### FLOOR PLAN LEGEND

APPLICABLE TO ALL DRAWINGS

NAME ###	ROOM NAME/ NUMBER, REFER TO ROOM FINISH SCHEDULE
XXXX	OPENING NUMBER, REFER TO DOOR SCHEDULE
MS-1	ASSEMBLY TYPE, REFER TO A0.0
(W1) (CW1)	DENOTES GLAZING, REFER TO EXTERIOR ELEVATIONS A5.0
# AR.#	EXTERIOR ELEVATION, REFER TO A5.0
X AX.X	REFERENCE BUBBLE: DRAWING NUMBER PAGE NUMBER
1 2	DENOTES INTERIOR ELEVATION, REFER TO A7.0
0 HR 30 MIN 1 HR	FIRE SEPARATION: FIRESTOP ALL PENETRATIONS TO SUIT REQUIRED RATING. 0 HOUR SEPARATION TO BE SMOKE SEALED ONLY. "EXIST" INDICATES EXISTING FIRE SEPARATION. ALL NEW PENETRATIONS IN EXISTING WALLS TO SUIT EXISTING REQUIRED RATING.
(Symbol)	NEW MILLWORK (REFER TO MILLWORK DRAWINGS IN SPECIFICATION)
WB.1	1830x1220mm WHITEBOARD
TB.1	1830x1220mm TACKBOARD
TB.2	1220x1220mm TACKBOARD
TB.3	915x1220mm TACKBOARD
(Symbol)	PATCH AND REPAIR OF FLOOR SLAB TO MATCH EXISTING TO SUIT MECHANICAL INSTALLATION. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS

2 ENLARGED SECOND FLOOR PLAN



3 FRAME DETAIL

4 FRAME DETAIL

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2022-03-21

ISSUED FOR ADDENDUM #2  
2022-04-01



## Waterloo-Oxford District Secondary School

FAMILY STUDIES RENOVATION & HVAC UPGRADES

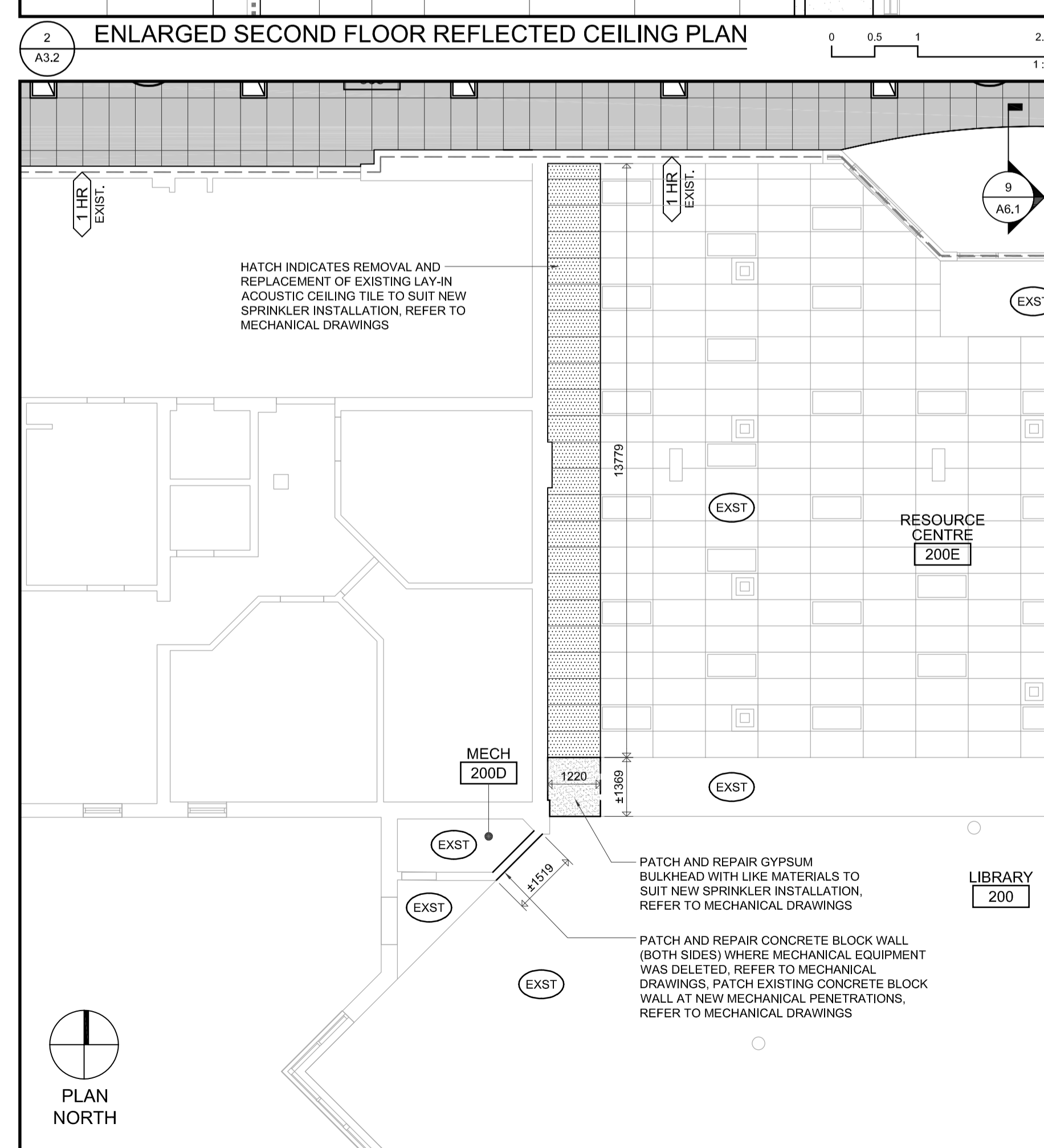
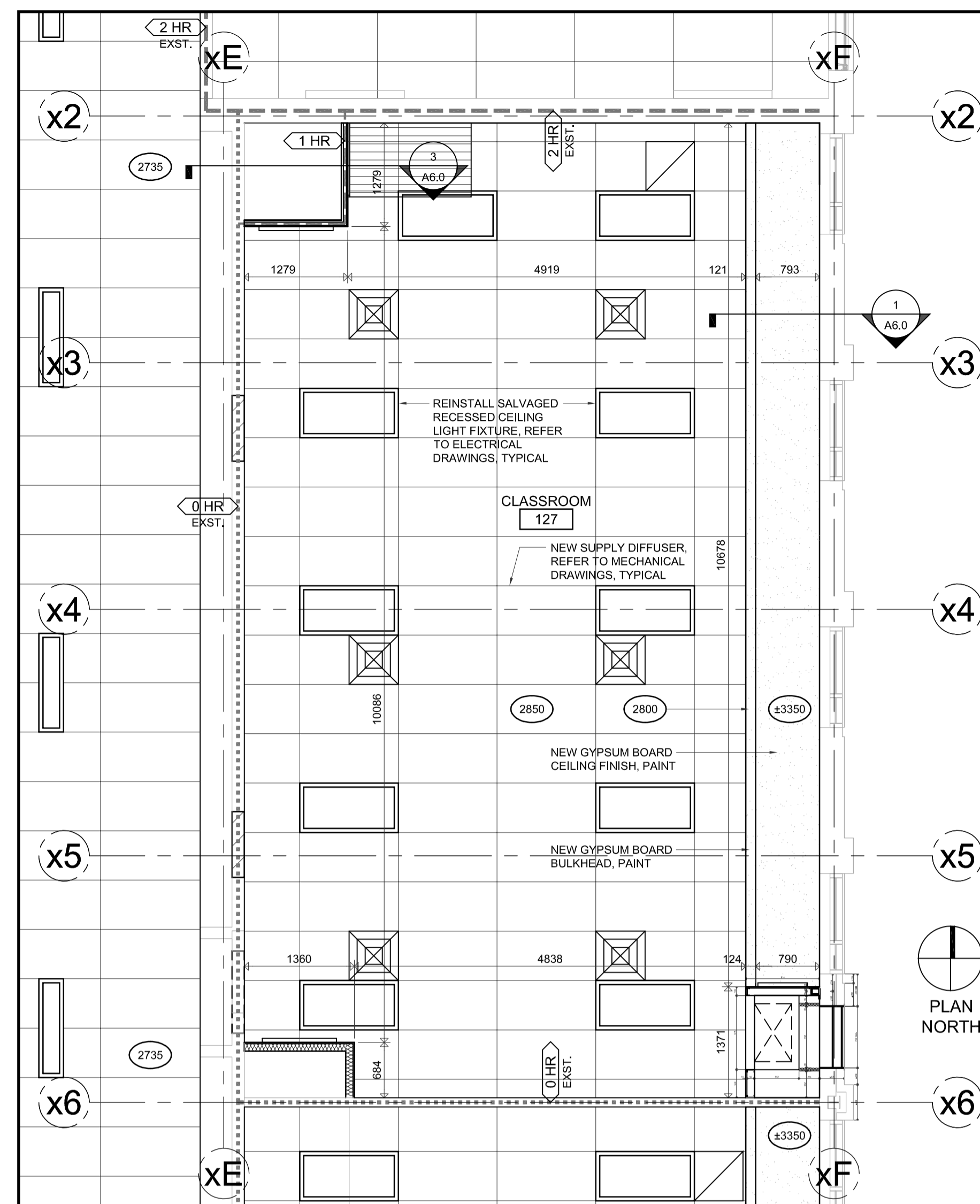
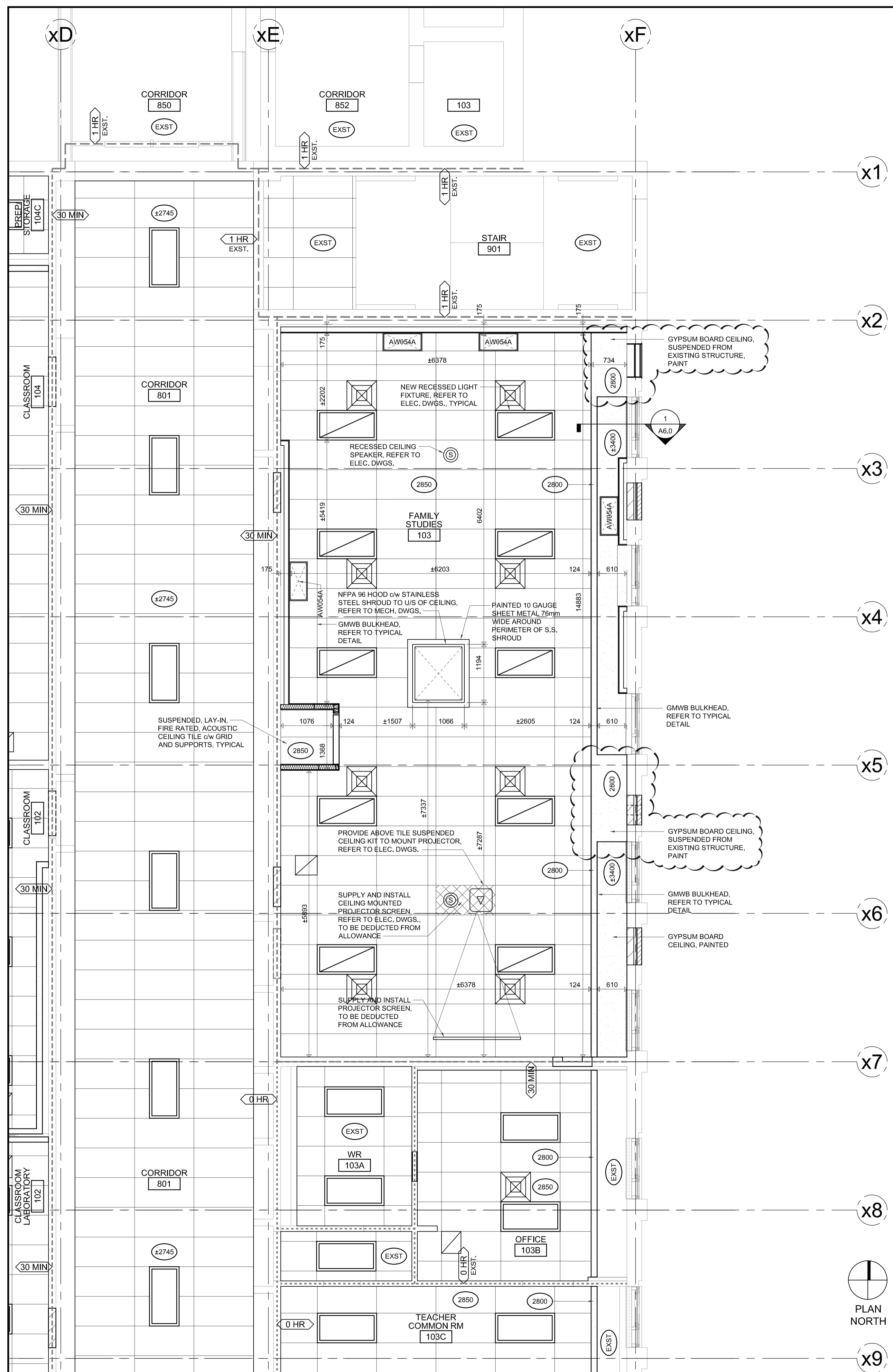
1208 Snyder's Road West, Baden, ON N3A 4N2

Project No.: 1036B  
Drawn By: JNL  
Revised: 2022-04-01

### ENLARGED FLOOR PLANS & PLAN DETAILS

A2.2R





REFLECTED CEILING PLAN LEGEND	
APPLICABLE TO ALL DRAWINGS	
	NEW RECESSED LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
	NEW RECESSED LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
	NEW SURFACE MOUNTED LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
	INSTALL SALVAGED LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
	INSTALL SALVAGED LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
	INSTALL SALVAGED LIGHT FIXTURE, REFER TO ELECTRICAL DRAWINGS
	EXISTING LIGHT FIXTURE TO REMAIN, REFER TO ELECTRICAL DRAWINGS
	EXISTING LIGHT FIXTURE TO REMAIN, REFER TO ELECTRICAL DRAWINGS
	EXISTING LIGHT FIXTURE TO REMAIN, REFER TO ELECTRICAL DRAWINGS
	EXISTING LIGHT FIXTURE TO REMAIN, REFER TO ELECTRICAL DRAWINGS
	SUPPLY AIR GRILLE, REFER TO MECHANICAL DRAWINGS
	RETURN AIR GRILLE, REFER TO MECHANICAL DRAWINGS
	ADDRESSABLE SMOKE DETECTOR, REFER TO ELECTRICAL DRAWINGS
	RECESSED CEILING SPEAKER, REFER TO ELECTRICAL DRAWINGS
	FINISHED CEILING HEIGHT
	UNDERSIDE OF SECOND FLOOR TO RECEIVE SPRAY-APPLIED FIRE RESISTIVE MATERIAL (A/D TYPE FP) ON STRUCTURE (ULC DESIGN NO. F817 - 1.5 HR FIRE RESISTIVE RATING) REFER TO TYPICAL DETAIL
	NEW SUSPENDED 610x1220mm LAY-IN, FIRE RATED ACOUSTIC CEILING TILE c/w FIRE RATED GRID AND SUPPORTS, REFER TO SPECIFICATIONS
	EXISTING SUSPENDED 610x610mm LAY-IN, FIRE RATED ACOUSTIC CEILING TILE AND GRID, c/w SUPPORTS
	EXISTING 610x1220mm LAY-IN, FIRE RATED ACOUSTIC CEILING TILE AND GRID, c/w SUPPORTS
	NEW SUSPENDED 610x1220mm LAY-IN, FIRE RATED ACOUSTIC CEILING TILE AND GRID, c/w SUPPORTS
	PATCH AND REPAIR EXISTING CEILING TILE AND GRID TO SUIT NEW CONSTRUCTION
	NEW 16mm IMPACT RESISTANT GYPSUM BOARD CEILING FINISH, PAINT, COORDINATE WITH ROOM FINISH SCHEDULE

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ISSUED FOR ADDENDUM #2: 2022-04-01

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FAMILY STUDIES RENOVATION & HVAC UPGRADES

**Waterloo-Oxford District Secondary School**

PARTIAL AND ENLARGED REFLECTED CEILING PLANS

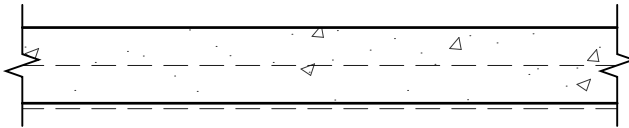
Project No.: 1036B  
Drawn By: JNL  
Revised: 2022-04-01

**A3.2R**



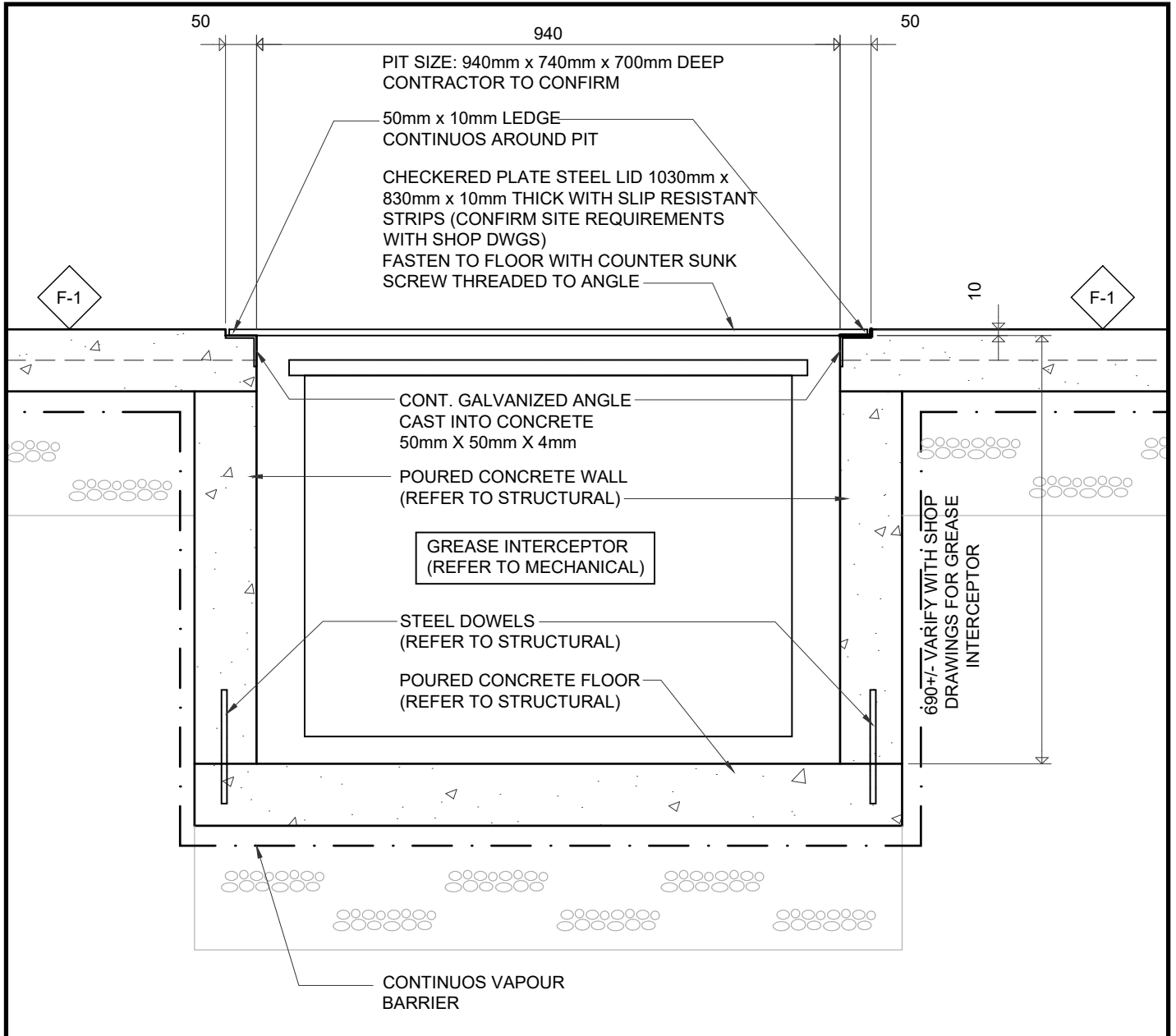






**TYPICAL CONCRETE SLAB ON GRADE CONSTRUCTION**

- FLOOR FINISH (REFER TO ROOM FINISH SCHEDULE)
- 100mm POURED CONCRETE SLAB W/ WELDED WIRE MESH
- CONTINUOUS VAPOUR RETARDER
- 200mm CLEAR STONE OR GRANULAR 'A' (REFER TO STRUCTURAL)

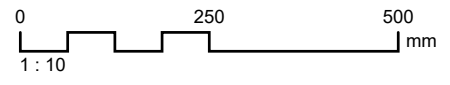


F-1

F-1

1  
ASK-001

**GREASE INTERCEPTOR DETAIL**



**Waterloo-Oxford District Secondary School**

FAMILY STUDIES RENOVATION & HVAC UPGRADES 1206 Snyder's Rd W, New Hamburg, ON N3A 1A4

Project No.:  
**1036B**

GREASE INTERCEPTOR DETAIL &  
TYPICAL SLAB ON GRADE CONSTRUCTION  
REFER TO DRAWING A0.0

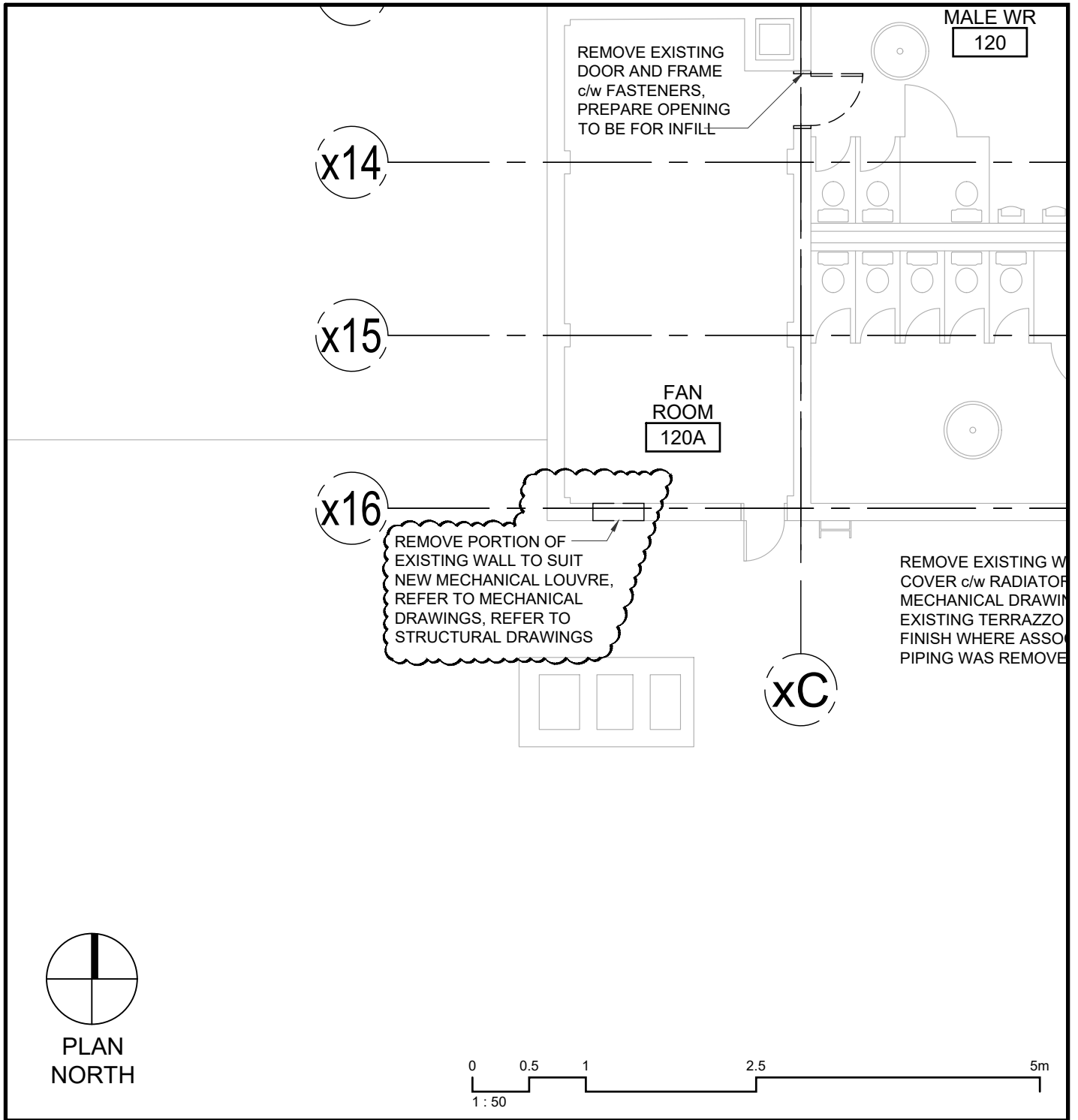
Plot Date:  
2022-04-01  
ADDENDUM #02

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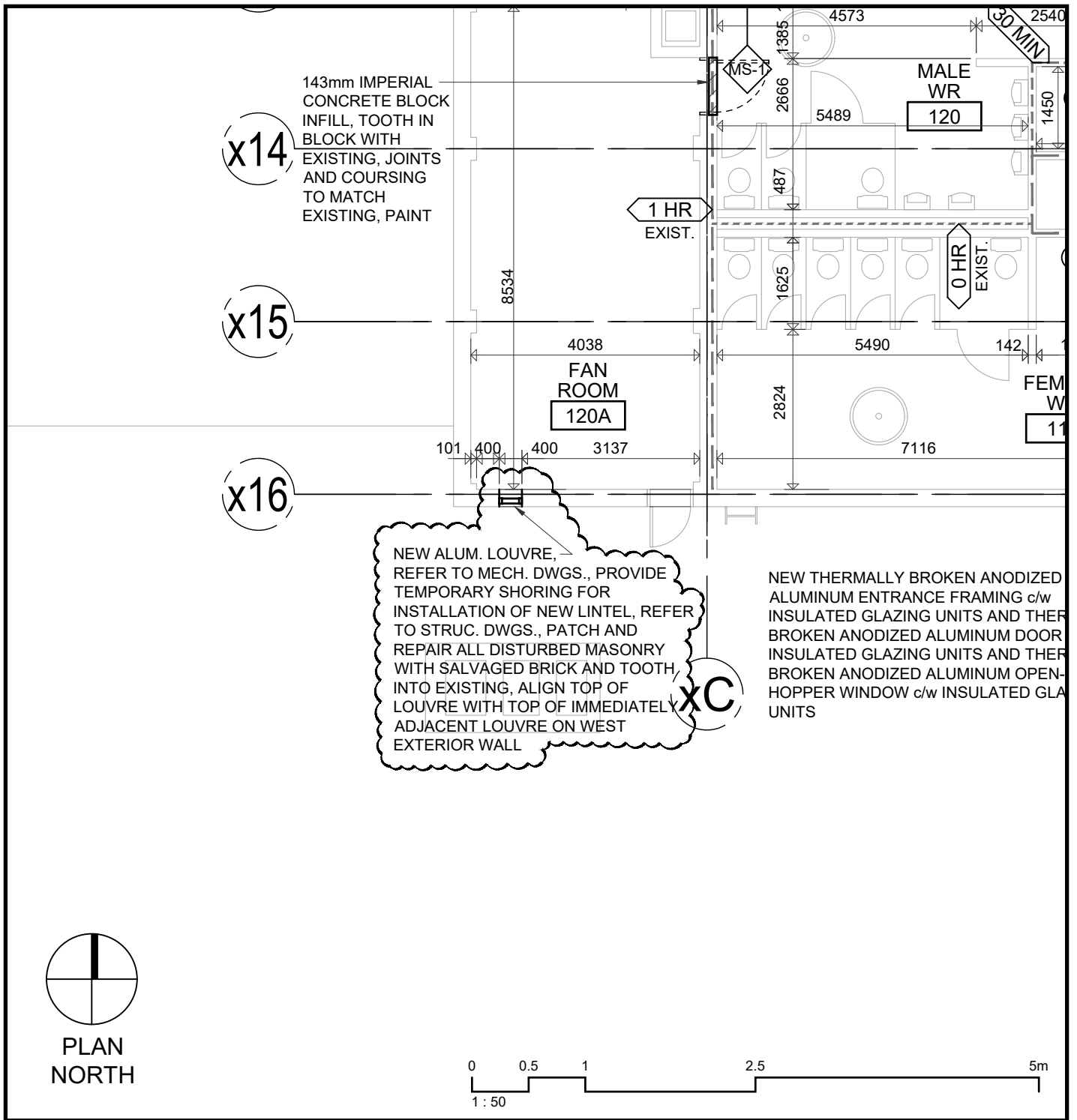
**ASK-001**





1 ENLARGED SECOND FLOOR DEMOLITION PLAN  
ASK-002

<b>Waterloo-Oxford District Secondary School</b> FAMILY STUDIES RENOVATION & HVAC UPGRADES    1206 Snyder's Rd W, New Hamburg, ON N3A 1A4		Project No.: <b>1036B</b>
<b>NEW MECHANICAL LOUVRE IN 120A FAN ROOM</b>  REFER TO DRAWING 2/A1.1		Plot Date: 2022-04-01 ADDENDUM #02
<b>CORNERSTONE</b> ARCHITECTURE		<b>ASK-002</b>
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1 ENLARGED SECOND FLOOR PLAN  
ASK-003

# Waterloo-Oxford District Secondary School

FAMILY STUDIES RENOVATION & HVAC UPGRADES 1206 Snyder's Rd W, New Hamburg, ON N3A 1A4

Project No.:

1036B

## NEW MECHANICAL LOUVRE IN 120A FAN ROOM

Plot Date:

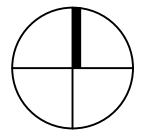
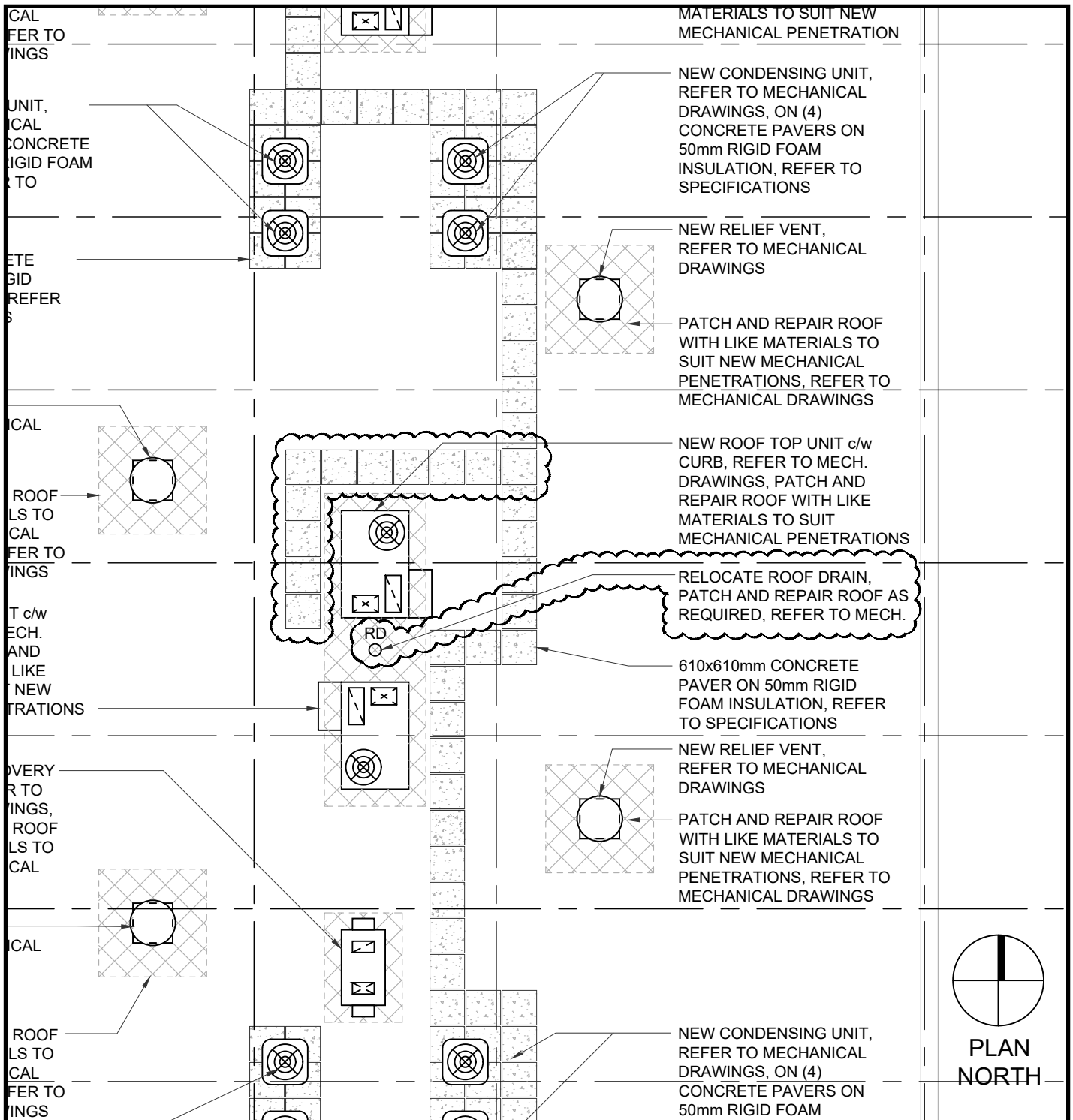
REFER TO DRAWING 2/A2.1

2022-04-01  
ADDENDUM #02

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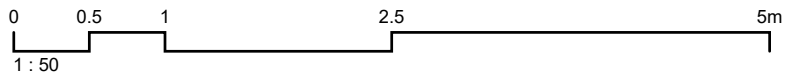
ASK-003



PLAN NORTH

1  
ASK-004

ENLARGED ROOF PLAN



Waterloo-Oxford District Secondary School

FAMILY STUDIES RENOVATION & HVAC UPGRADES

1206 Snyder's Rd W, New Hamburg, ON N3A 1A4

Project No.:

1036B

ENLARGED ROOF PLAN

Plot Date:

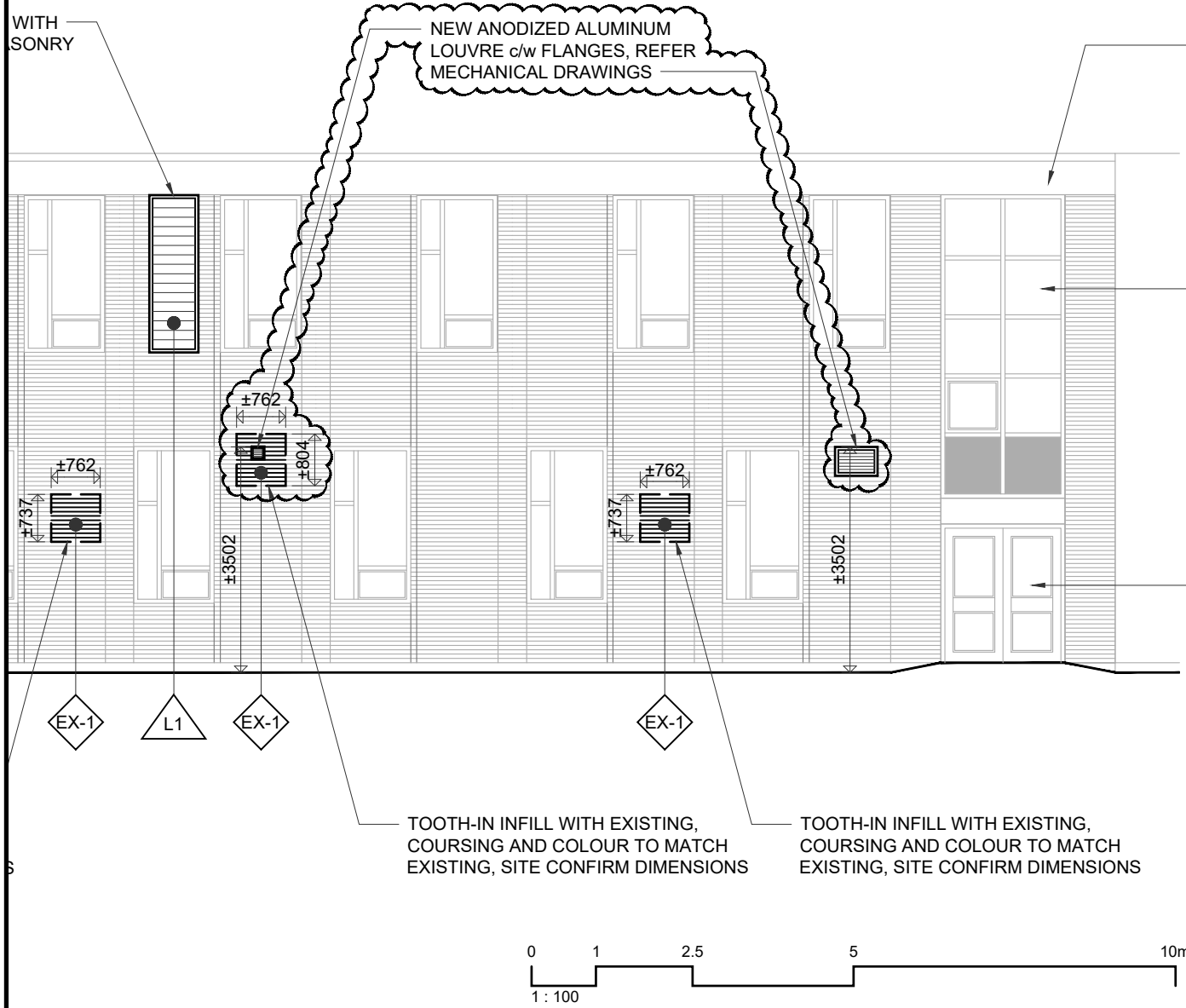
2022-04-01  
ADDENDUM #02

REFER TO DRAWING 2/A4.0

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ASK-004



1 PARTIAL EAST EXTERIOR ELEVATION  
ASK-005

# Waterloo-Oxford District Secondary School

FAMILY STUDIES RENOVATION & HVAC UPGRADES 1206 Snyder's Rd W, New Hamburg, ON N3A 1A4

Project No.:  
1036B

## PARTIAL EAST EXTERIOR ELEVATION

Plot Date:  
2022-04-01  
ADDENDUM #02

REFER TO DRAWING 1/A5.0

**CORNERSTONE**  
ARCHITECTURE

110-700 Richmond St. London ON Canada N6A 5C7  
P 519 432 6644 F 519 432 6737  
cornerstonearchitecture.ca

ASK-005

## GENERAL

- GENERAL CONTRACTOR TO SITE VERIFY ALL CONDITIONS AND OR DIMENSIONS SHOWN OR IMPLIED ON THE STRUCTURAL DRAWINGS.
- GENERAL CONTRACTOR TO CO-ORDINATE ALL STRUCTURAL DOCUMENTS AND WORK WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL AND SITE SERVICING DOCUMENTS AND WORK.
- REPORT ANY DISCREPANCIES AND OR CONFLICTS IN DIMENSIONS OR DETAILS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO COMMENCING THE WORK IN QUESTION.
- PROVIDE ALL TEMPORARY NEEDLING, SHORING AND BRACING AS REQUIRED TO SAFELY COMPLETE THE WORK SHOWN ON THE STRUCTURAL DRAWINGS. SUBMIT, UPON REQUEST OF THE STRUCTURAL ENGINEER, DRAWINGS DETAILING THE TEMPORARY WORKS, SEALED SIGNED AND DATED BY A LICENSED PROFESSIONAL ENGINEER.
- PROVIDE ALL FALSE WORK AND RESHORING REQUIRED TO CONSTRUCT CONCRETE WALLS, COLUMNS AND BEAMS SHOWN ON THE STRUCTURAL DRAWINGS.
- ALL OPENINGS IN MASONRY WALLS REQUIRE A LINTEL. COORDINATE LOCATIONS AND CLEAR MASONRY OPENING WIDTHS WITH ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND SELECT THE APPROPRIATE LINTEL FROM "LINTEL SCHEDULE-GENERAL PURPOSE LINTELS" AS SHOWN IN THE SCHEDULE ON DRAWING S1.01, USING WALL CONSTRUCTION AND MAXIMUM CLEAR OPENING WIDTH AS THE CRITERIA.

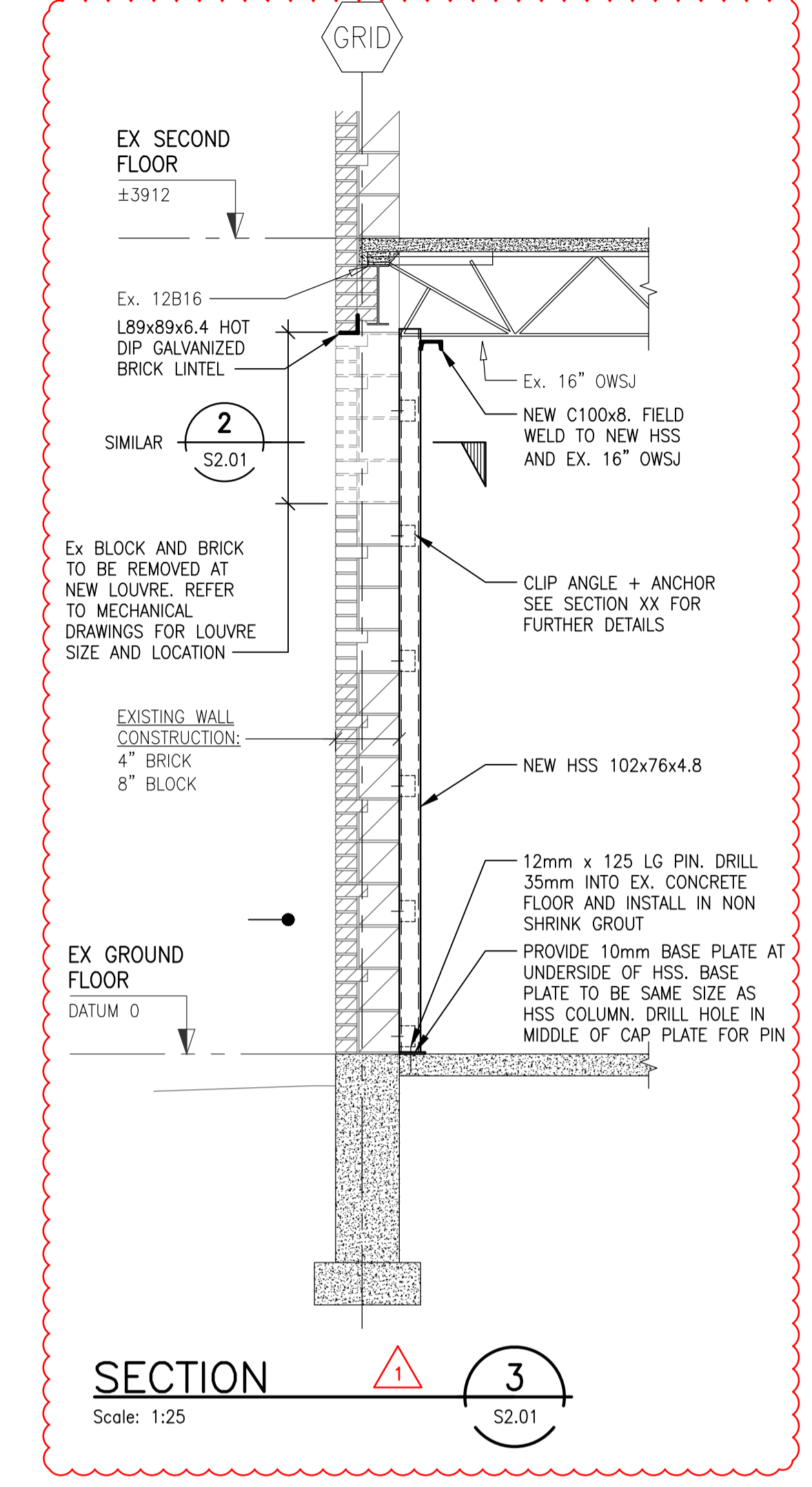
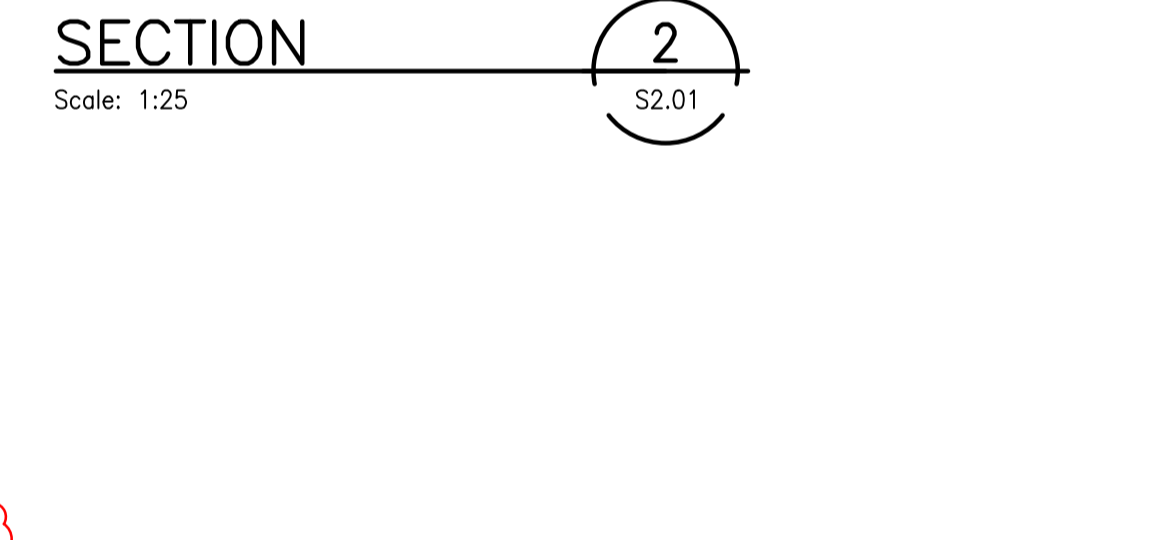
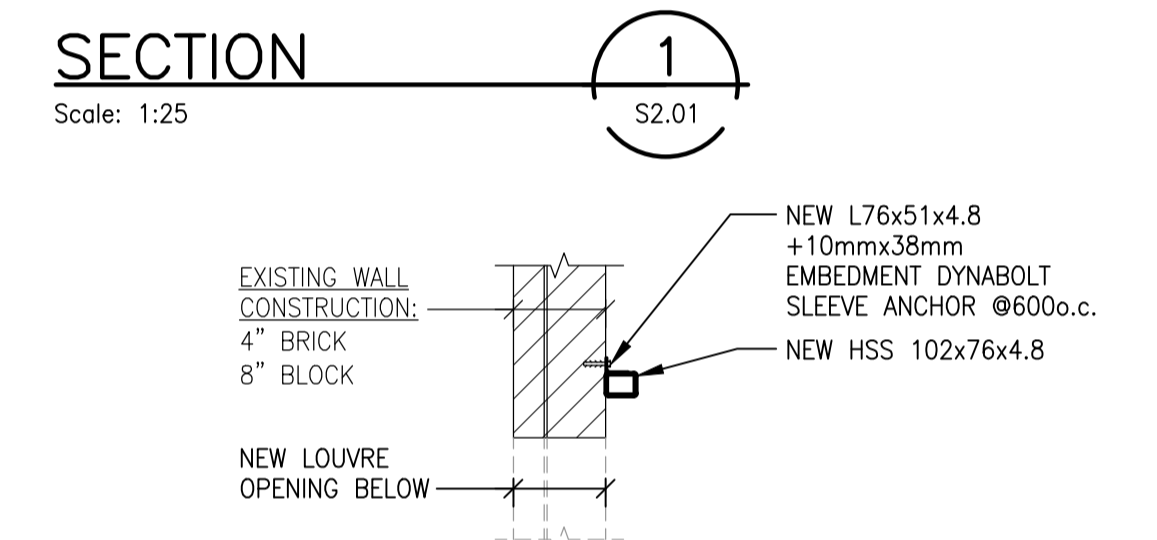
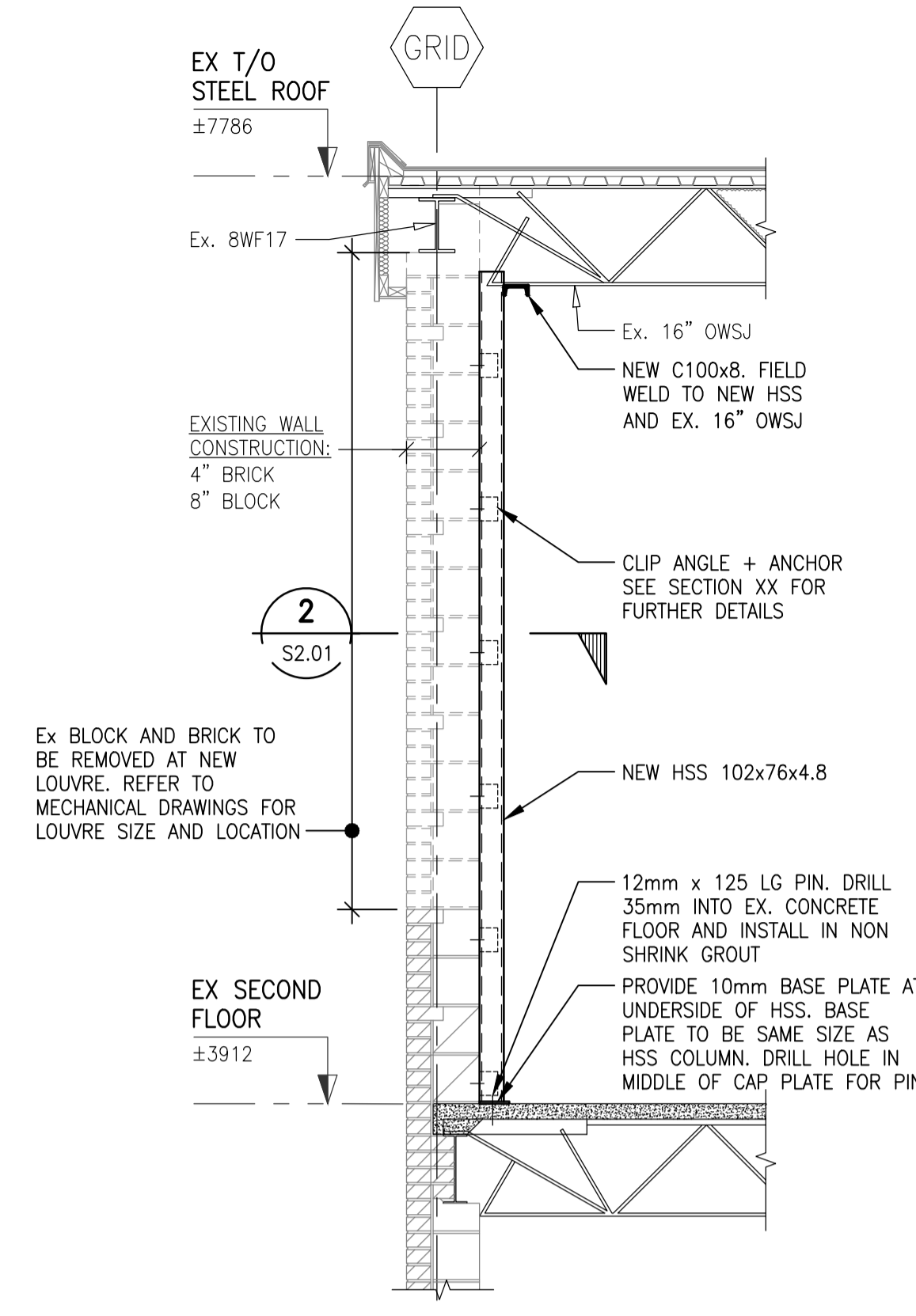
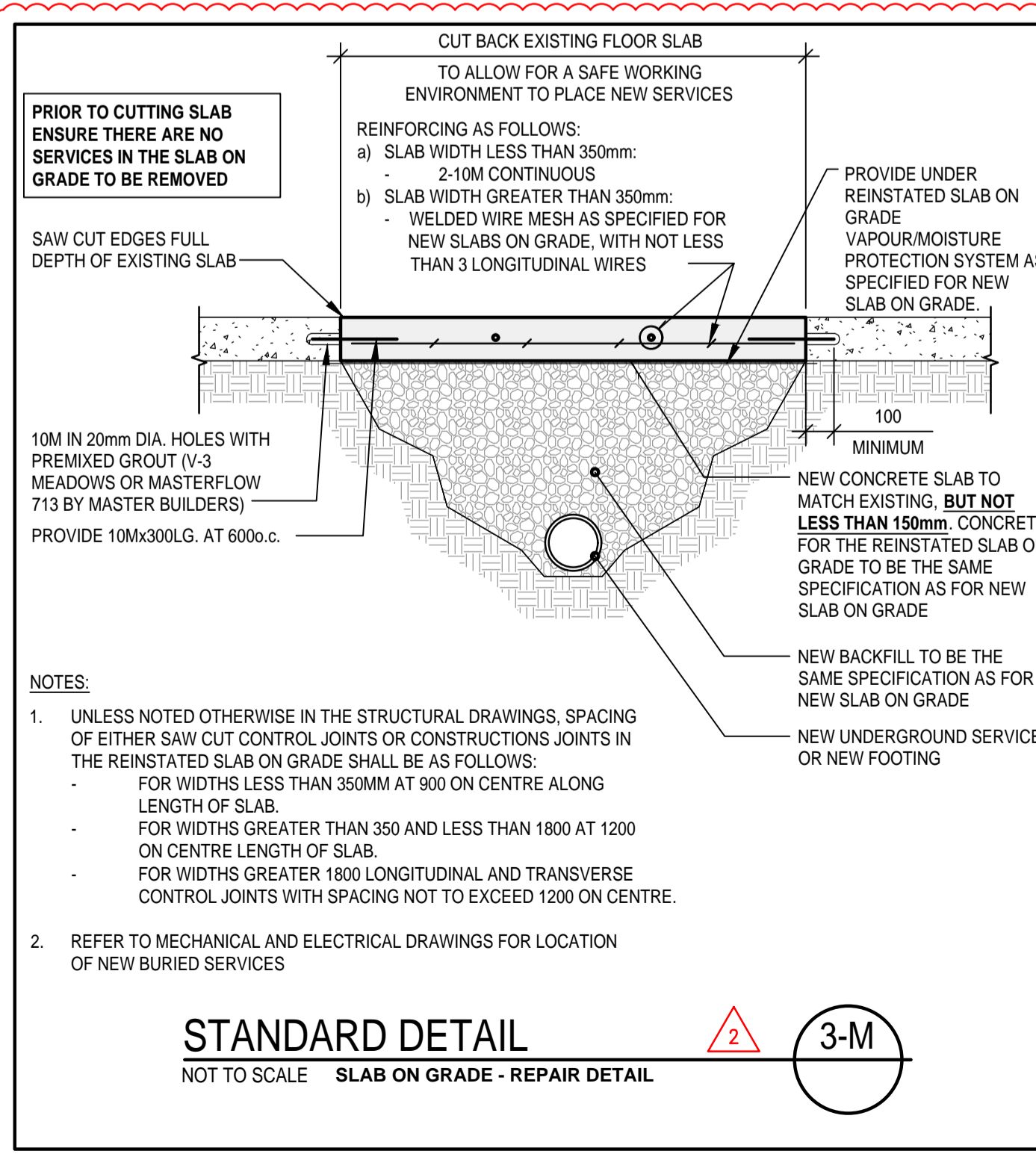
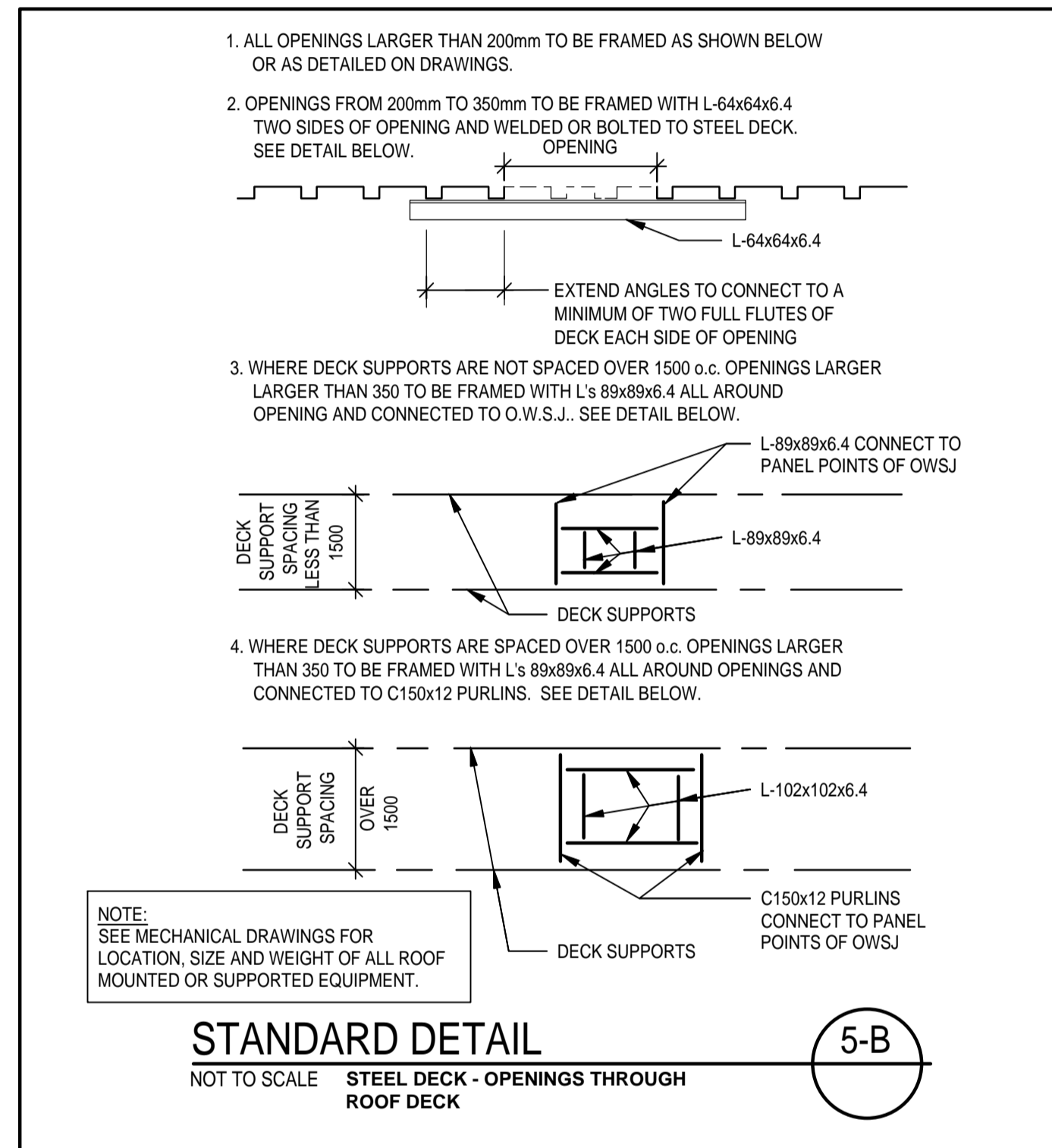
## STRUCTURAL STEEL

- SUBMIT FOR CONSULTANT'S REVIEW ERECTION DIAGRAMS AND FABRICATION DETAILS IN ACCORDANCE WITH THE GENERAL NOTES.
- CONSULTANT'S REVIEW OF SHOP DRAWING DOES NOT RELEASE THE CONTRACTOR OF HIS RESPONSIBILITY FOR THE COMPLETENESS OF THE WORK NOR CO-ORDINATION WITH OTHER TRADES.
- FABRICATION AND ERECTION OF STEEL SHALL BE IN ACCORDANCE WITH CSA S16 (CURRENT).
- STRUCTURAL STEEL TO CONFORM TO THE FOLLOWING TABLE UNLESS NOTED OTHERWISE.

SHAPE	STANDARD	GRADE	MIN. YIELD STRENGTH
CANADIAN WWF & W	GSA G40.21	350W	50 Ksi
HOLLOW STRUCTURAL SECTION CLASS H UNLESS NOTED AS CLASS C	GSA G40.21	350W	50 Ksi
PLATES, CHANNELS, ANGLES	GSA G40.21	300W	50 Ksi
WWF & W NOT ROLLED IN CANADA	ASTM A572	50	50 Ksi

- ALL WELDING SHALL BE DONE BY AN ORGANIZATION FULLY APPROVED BY THE CANADIAN WELDING BUREAU UNDER CSA-W47.1 (CURRENT) IN DIVISION 1 OR 2 AT THE TIME OF TENDERING. WELDERS TO BE CWB CERTIFIED TO THE COMPANIES STANDARDS. WELDING AND WELDING MATERIALS SHALL CONFORM TO CSA-W59-(CURRENT).
- THE FABRICATOR SHALL NOTE THE SIZE AND TYPE OF BOLTS AND WELDS USED IN STRUCTURAL CONNECTIONS ON THE SHOP DRAWINGS.
- ALL STRUCTURAL STEEL SHALL BE SUFFICIENTLY STRAIGHT THAT VARIATIONS CANNOT BE DETERMINED WITH THE UNAIDED EYE. ALL STRUCTURAL STEEL SHALL BE THOROUGHLY CLEANED OF ALL LOOSE MILL SCALE, DIRT, OIL, OR OTHER FOREIGN MATTER BEFORE SHOP PAINTING. SHOP PAINT SHALL CONFORM TO CAN/CSCB 1.40-M89 OR CISC/CPMA STANDARD 2-75.
- WHERE HOT DIP GALVANIZING (HDG) IS SPECIFIED IT SHALL BE IN ACCORDANCE WITH CAN/CSA-G164-M92 (MINIMUM ZINC COATING 600 GSM).
- STEEL LINTELS SHALL HAVE A MINIMUM BEARING LENGTH OF 8".

STEEL LOOSE LINTEL SCHEDULE		
MISCELLANEOUS OPENINGS		
MASONRY TYPE	MAXIMUM OPENING	MATERIAL
90 BRICK OR BLOCK PER WYTHE	1400	L 89 x 89 x 6.4
	1800	L 127 x 89 x 6.4
	2200	L 127 x 89 x 7.9 LLV
140 BLOCK	1800	2L 89 x 64 x 6.4 LLV
	2200	2L 89 x 64 x 7.9 LLV
	3800	W200 x 27
190 BLOCK	1800	2L 89 x 89 x 6.4
	2400	2L 127 x 89 x 7.9 LLV
240 BLOCK	1400	2L 102 x 102 x 6.4 LLV
	3000	W200 x 27 + 220 x 6mm PLATE
290 BLOCK	2000	W200 x 27 + 270 x 6mm PLATE
	3000	W200 x 42 + 270 x 6mm PLATE
AT HEAD OF GLAZED PARTITIONS WITH NO MASONRY ABOVE	3000	HSS 89 x 89 x 4.8



ORIGINAL DRAWING SEALED BY J.A. GILLETT, P.ENG.

MTE  
Engineers, Scientists, Surveyors  
519-204-6510  
ISSUED FOR TENDER / PERMIT  
2022-03-21  
STRUCTURAL ADDENDUM No. 2 / 1

Family Studies Renovation & HVAC Upgrades  
1206 Snyder's Road West, Baden, ON N3A 4N2  
Interior and Exterior Alterations  
Project No.: 50972-100  
Drawn By: AMM  
Reviewed: 2022-03-31

DETAILS AND SCHEDULES

S1.01



