

Addendum No. 1

Bid Opportunity: 7159-RW-22 – Smithson PS Office and HVAC Upgrades.

Closing Date: Monday, March 14th, 2022 2:00 PM

The following issued by the Board shall form part of the Bid / Proposal Solicitation document. The revisions and additions noted herein along with any attachments shall be read in conjunction with all other related documents. This Addendum shall, take precedence over the previously issued documents where differences occur. Receipt of this addendum must be acknowledged in the Bidding System, bids&tenders.

If you have already submitted a Bid / Proposal, it will be automatically withdrawn as a result of this addendum. You must resubmit the Bid / Proposal acknowledging all addenda and revising your Bid / Proposal to comply with all addenda.

The information below, attachments and drawings provide additional clarification and does not change the Scope or intent of the bid document.

ITEM 1

Refer to attached A0.0 Cover Sheet for Revised Detail 3 (Revised Corridor Fire Rating).

ITEM 2

Refer to attached A1.1 Demolition RCP for Added GWB ceiling area to be removed and Added Ceiling Demolition Note.

ITEM 3

Refer to attached A2.0 Proposed Plans & Schedules for Revised Door Schedule (Revised D101, Added Fire Rating for D106, D108, and D114), Revised Screen Schedule (Added Fire Rating and Revised layout).

ITEM 4

Refer to attached A2.1 Proposed Partial Plan for Revised Detail 1 (Added Beam at new Roof Hatch. Revised Screens S1 and S2).

ITEM 5

Refer to attached A2.2 Proposed RCP for Revised Detail 5 and Added Detail 7.

ITEM 6

Refer to attached A4.0 Interior Elevations for Revised Detail 15 and 16.

ITEM 7

Refer to attached Specification Section 08 81 00 Interior Glass Glazing for Added 2.2.4 Fire Rated Glass (FRG).

ITEM 8

Revise 01 21 00 Allowances. 1.4. Allowances Schedule Increase Cash Allowance Item .2 IT/HDMI/PA Cabling & Terminations to \$20,000.

ITEM 9

Refer to attached Structural SK-1. Revise lintel beam size for detail 6/S1.0 from W200X42 to **W250X28**; bearing plates and end support requirements remain the same as detail 6A/S1.0"

ITEM 10

Refer to attached ADD-M01

ITEM 11

Refer to attached ADD-E01

ATTACHMENTS

Specification Section 08 81 00 Interior Glass Glazing ADD-M01 (including Mechanical Drawings) ADD-E01 (including Electrical Drawings)

DRAWINGS

- A0.0 Cover Sheet
- A1.1 Demolition RCP
- A2.0 Proposed Plans & Schedules
- A2.1 Proposed Partial Plan
- A2.2 Proposed RCP
- A4.0 Interior Elevations
- Sk-1 Addendum No.1 Revision to Detail 6/S1.0

End of Addendum #1

FIRM NAME: LOCATION: 150 Belleview Avenue WORKSHOP ARCHITECTURE Kitchener, ON 6 SOUSA MENDES ST Toronto, ON M6P 0A8 tel. 416.901.8055 fax 416.849.0383 NAME OF PROJECT: Project Area: 480 M² Interior Renovations & HVAC Upgrades **OBC REFERENCE** References are to Division B unless noted **ONTARIO'S 2012 BUILDING CODE DATA MATRIX PARTS 3 & 9** [A] for Division A or [C] for Division C PROJECT DESCRIPTION: □ NEW ☑ PART 11 ☑ PART 3 □ PART 9 □ ADDITION 11.1 TO 11.4 1.1.2. [A] 1.1.2 [A] & 9.10.1.3 □ CHANGE OF USE 2 MAJOR OCCUPANCY(S): A2 9.10.2 3.1.2.1(1) 3 BUILDING AREA (M²) NEW TOTALno change 1.4.1.2.[A] 1.4.1.2.[A] 4 GROSS AREA EXISTING NEW TOTALno change 1.4.1.2.[A] 1.4.1.2.[A] BELOW GRADE 0 5 NUMBER OF STOREYS ABOVE GRADE 1.4.1.2 [A] & 3.2.1. 1.4.1.2 [A]&9.10.4 3.2.2.10 & 3.2.5 6 NUMBER OF STREETS / FIRE FIGHTER ACCESS 1 (EXISTING UNCHANGED) 9.10.20 9.10.2. 7 BUILDING CLASSIFICATION 3.2.2.25 (Existing Non-conforming) 3.2.2.20-.83 8 SPRINKLER SYSTEM (PROPOSED) □ ENTIRE BUILDING □ SELECTED COMPARTMENTS 3.2.2.20-.83 9.10.8.2. ☐ IN LIEU OF ROOF RATING 3.2.1.5 ☐ BASEMENT 3.2.2.17 ☐ SELECTED FLOOR AREAS INDEX INDEX ☑ NOT REQUIRED 9 STANDPIPE REQUIRED □YES ☑ NO 3.2.9 10 FIRE ALARM REQUIRED 3.2.4 9.10.18 11 WATER/SERVICE/SUPPLY IS ADEQUATE 3.2.5.7 12 HIGH BUILDING □YES ☑NO 3.2.6 N/A 13 CONSTRUCTION RESTRICTIONS

☐ COMBUSTIBLE \square NON-COMBUSTIBLE \square BOTH | 3.2.2.20-.83 9.10.6 PERMITTED REQUIRED ACTUAL CONSTRUCTION □ NON-COMBUSTIBLE ☑ BOTH COMBUSTIBLE 9.10.4.1 14 MEZZANINE(S) AREA M² 3.2.1.1.(3)-(8) 15 OCCUPANT LOAD BASED ON ☐ M.SQ./PERSON 3.1.17 9.9.1.3 ☑ DESIGN OF BUILDING 240 students OCCUPANCY: A2 18 staff 258 PERSONS UNCHANGED 16 BARRIER-FREE DESIGN ☑ YES □ NO (EXPLAIN) 17 HAZARDOUS SUBSTANCES □ YES NO 3.3.1.2. & 3.3.1.19 9.10.1.3(4) HORIZONTAL ASSEMBLIES 3.2.2.20-.83 & 3.2.1.4 9.10.8 18 REQUIRED LISTED DESIGN NO. FRR (HOURS) OR DESCRIPTION (SG-2) RESISTANCE FLOORS 45 MIN existing no change RATING ROOF 45 MIN existing no change NO CHANGE MEZZANINE N/A LISTED DESIGN NO. FRR OF SUPPORTING MEMBERS NO CHANGE OR DESCRIPTION (SG-2) FLOORS no change HOURS ROOF no change HOURS MEZZANINE N/A HOURS 19 SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS NA 3.2.3 9.10.14 20 OTHER-DESCRIBE Existing non-conforming items:

Existing Corridor walls are not constructed as fire separations with FRR of 45min as required by 3.3.2.5 (2) & 3.4.2.4 (2). New HVAC

ductwork will be equipped with fire dampers and new penetrations firestopped in accordance with these clauses

Travel Distance = 30m

Building area exceeds area for building classification 3.2.2.25.

REM 14A

В

NAME OF PRACTICE: **WORKSHOP** Architecture 6 Sousa Mendes Street Toronto, ON M6P 0A8 phone: 416.901.8055 NAME OF PROJECT: Smithson PS HVAC Upgrades &

HVAC upgrades in classrooms, washrooms, corridors and vestibules in west wing & central lobby of school with minor interior renovations

PROJECT DESCRIPTION:

Admin/Staff Area Renovations LOCATION: 150 Belleview Avenue

Alternatives

Proposed:

X No

☐ Yes

Kitchener, ON

Interior renovations to reconfigure main office to include health room, barrier-free wc and expanded office area. Renovation to existing staff work room, staff wc and custodial area. Conversion of existing classroom in to Special Education Room.

Ontario Bu	uilding Code Data Matrix	– Part 11 – Renovation of Existing E	Building	BC Reference
11.1	Existing Building classification:	Describe Existing Use: Construction Index: Existing Hazard Index: Hazard Index for Proposed use: Not Applicable (no change	A2 - Elementary School e of major occupancy)	11.2.1 T 11.2.1.1A T 11.2.1.1B to N
11.2	Alteration to Existing Building is:	Basic Renovation Extensive Renovation	X	11.3.3.1 11.3.3.2
11.3	Reduction in Performance Level:	Structural: By Increase in occupant load: By change of major occupancy: Plumbing: Sewage-system:	X No ☐ Yes X No ☐ Yes X No ☐ Yes X No ☐ Yes X No ☐ Yes	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4	Compensating Construction:	Structural: Increase in occupant load: Change of major occupancy: Plumbing: Sewage system:	X No ☐ Yes X No ☐ Yes X No ☐ Yes X No ☐ Yes X No ☐ Yes	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5	Compliance	Gewage system.	<u></u>	11.5.1

Demolition of existing redundant vestibule and boiler room chimney.

-X<u>X</u>X_X_X_X_X_X_X_X_X

BELLEVIEW STREET

New secondary

ductbank. Remove

and reinstate exist.

surface finishes as

New bollards -see

Existing grass

Existing

concrete path

required - see

electrical -

electrical -

New transformer

installed and

hydro - see

electrical -

Existing

ductbank

to remain

Belleview Ave

primary

supplied by KW

Existing asphalt

Existing

grass

2 Site - Detail Plan 1:200

LOT SIZE: 8.00 AC (3.237 ha)

LS

⊸/ Grass

Existing

Heavy

duty

asphalt

gas meter

SHERWOOD AVENUE

Travel Distance Max Allowable = 30m

Life Safety Plan Legend

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Issued for Schematic Design

Issued for 90% Review

Issued for Review

Issued for Permit

Issued for Tender

Reissued for Permit

Issued for Addendum 1

50% Review

RESIDENTIAL

8' CHAIN LINK FENCE

-4' CHAIN LINK

Existing

Existing Single Storey School

Existing -

concrete path

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dimensions to be checked on site by the contractor and such dimensions to

architects permission. This drawing should not be used to calculate areas. A

be their responsibility. This drawing shall not be used for construction unless

identified as "Issued for Construction" Drawing errors or discrepancies are to

04 Dec 2020

26 Feb 2021

03 Dec 2021

21 Jan 2022

04 Feb 2022

15 Feb 2022

3 Mar 2022

7 Mar 2022

Shaded area indicates scope of work

Not In Contract (N.I.C.)

— - — 0.45HR FRR

LICENCE

WORKSHOP architecture

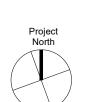
WORKSHOP architecture inc 6 Sousa Mendes Street Toronto Ontario M6P 0A8 T 416.901.8055 F 416.849.0383 www.workshoparchitecture.ca

WRDSB Smithson Public School -**HVAC & Electrical Upgrades,** Interior Renovations Smithson Public School 150 Belleview Ave Kitchener ON

N2B 1G7 PROJECT CODE SCALE: 20_28 DATE:

As indicated STATUS: Permit/Tender December 2021

Cover Sheet





2. Make good all surfaces/areas/finishes damaged during demolition.

3. All dimensions are to face of partition unless noted otherwise. Angles are 90 degrees unless noted otherwise.

4. Contractor to chalk partition layout on floor for Architect's review prior to construction.

5. Contractor to provide adequate blocking for all millwork, signage, grab bars, equipment, etc mounted to walls/ceilings.

6. Patch, repair and make good all existing partitions, bulkheads, and ceilings within area of work. Prepare existing surfaces as required to receive new finishes.

7. The General Contractor shall be responsible for all mechanical, electrical and plumbing work. The General Contractor shall be responsible for all chases, openings (including scanning/x-ray where required) and patching as required by mechanical, electrical, plumbing and IT cabling trades. Review requirements with these trades.

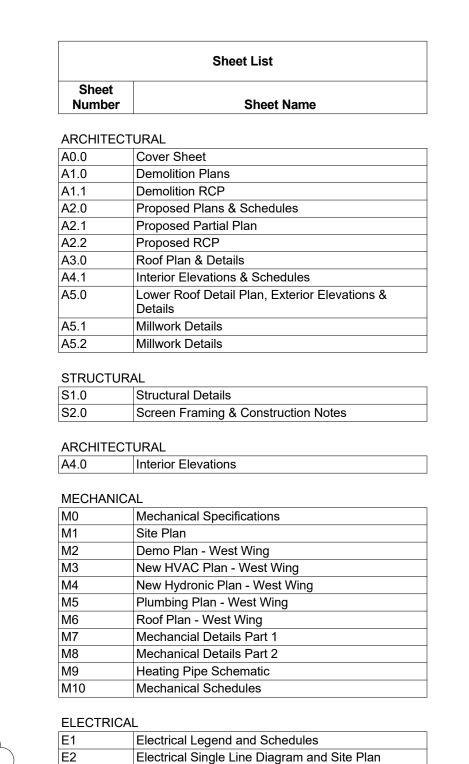
8. The General Contractor shall be responsible for keeping areas clean (e. access to exit corridors, etc). Remove garbage and clean daily and as required. At the completion of the job, the General Contractor shall remove all protective materials and arrange for a professional cleaning service to clean/wipe down all surfaces, including walls, windows/glazing, sills, blinds and fixtures/fittings.

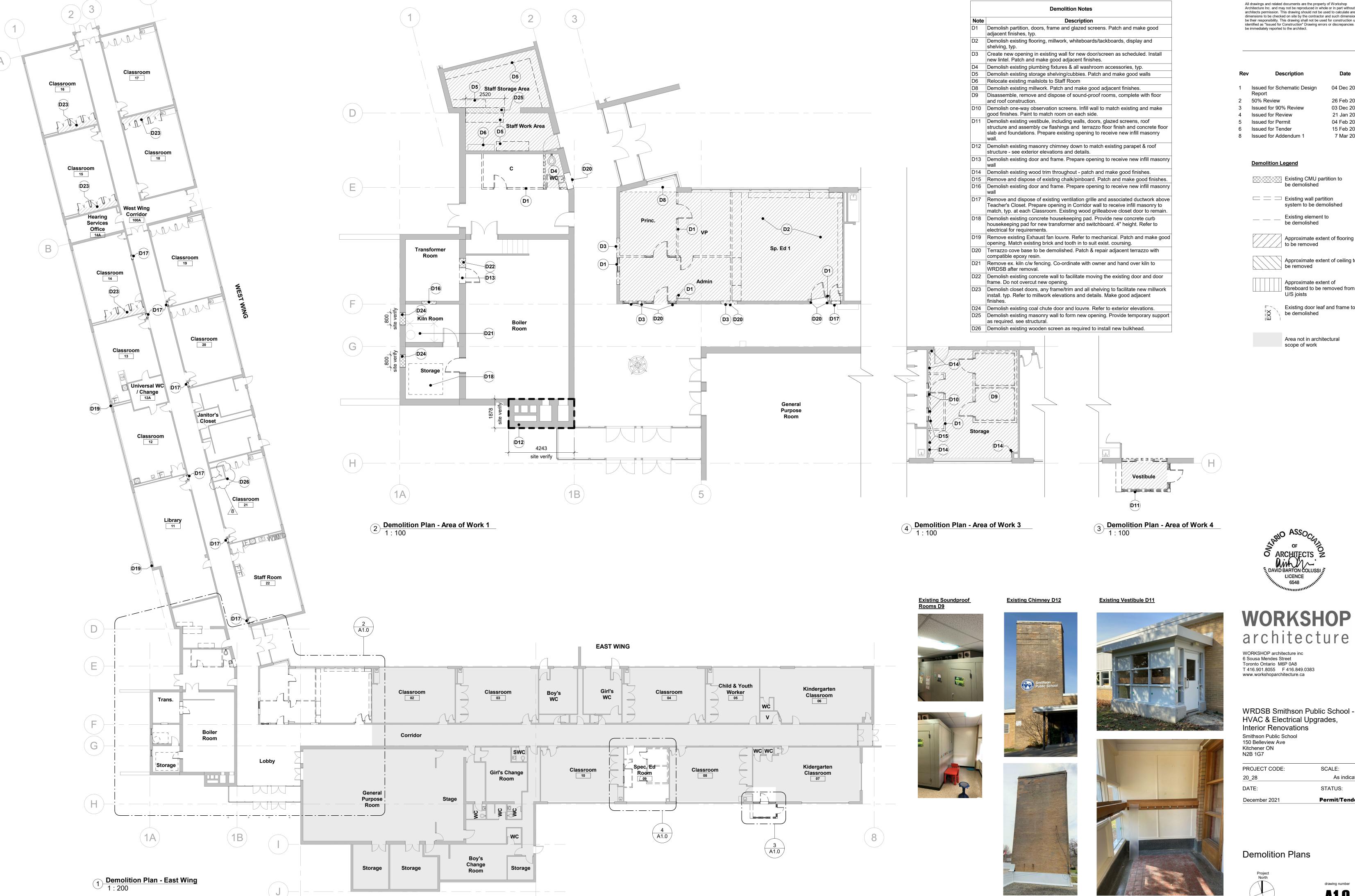
9. General Contractor is to co-ordinate and co-operate with trades retained directly by Owner

ELECTRICAL Existing/ Demo Power Plans Existing/ Demo Fire Alarm Plans Existing/ Demo Lighting & Reflected Ceiling Plans Existing/ Demo Lighting & Reflected Ceiling Plans Existing/ Demo Emergency Lighting & Exit Sign Proposed Power Plans Proposed Power Plans Proposed Fire Alarm Plans Proposed Lighting & Reflected Ceiling Plans Proposed Lighting & Reflected Ceiling Plans Proposed Emergency Lighting & Exit Sign Plans Electrical and Boiler Room Layouts Proposed Rooftop Plans Electrical Details Electrical Details E11.2 Unnamed

as applicable (eg. furniture installers, IT sub-trades etc.) 10. The General Contractor shall be responsible for scheduling the trades identified in item 10, where such work affects the progress of the job. 11. The General Contractor shall comply with all applicable Building and Fire Codes. 12. All temporary shoring/support is the responsibility of the Contractor. 13. All partitions shall be patched and repaired as required to accommodate installation of new mechanical/electrical services and installation of wood blocking to support new wall/ceiling mounted equipment – refer to mechanical/electrical drawings for extent/locations. Travel Distance = 27m Library 11 Staff Work Area 4 Travel Distance = 10m Classroom 4 Sp. Ed 5 _wc Γrans.□ ⊨ Ĭ st[∠] Girl's Kindergarten Change **Purpose** Room Construction INSTWC Distance Sequence 2: Boy's - Build temporary Gym St. Gym Storage Change office in lobby **Construction Sequence 1:** - Remove audio bunker - Set up space with white board (1B) and shelving

General Notes





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Rev	Description	Date
1	Issued for Schematic Design Report	04 Dec 202
2	50% Review	26 Feb 202
3	Issued for 90% Review	03 Dec 202
4	Issued for Review	21 Jan 202
5	Issued for Permit	04 Feb 2022
6	Issued for Tender	15 Feb 202
8	Issued for Addendum 1	7 Mar 202

Approximate extent of ceiling to

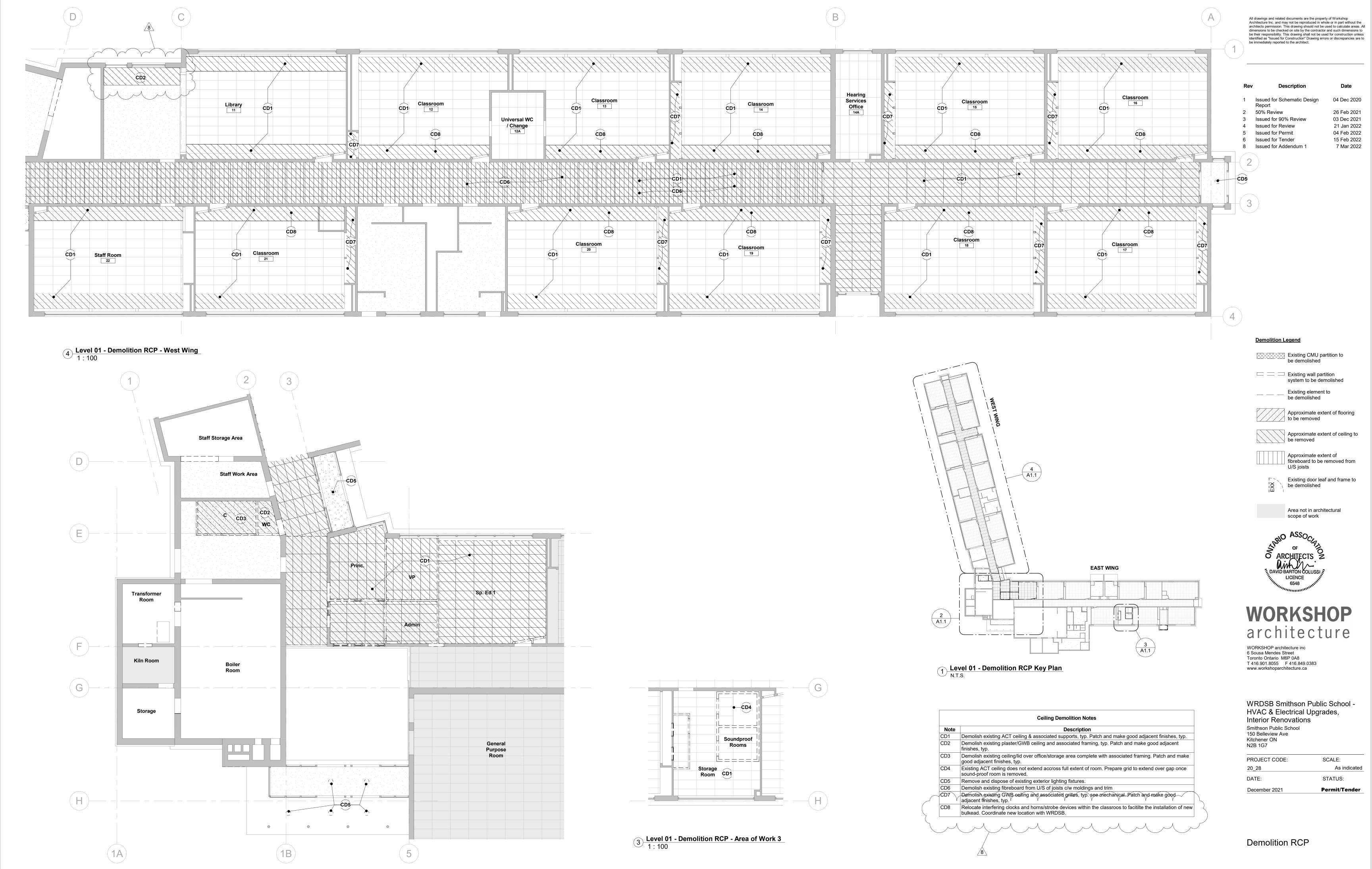
fibreboard to be removed from

Existing door leaf and frame to

December 2021	Permit/Tender
DATE:	STATUS:
20_28	As indicated
PROJECT CODE:	SCALE:

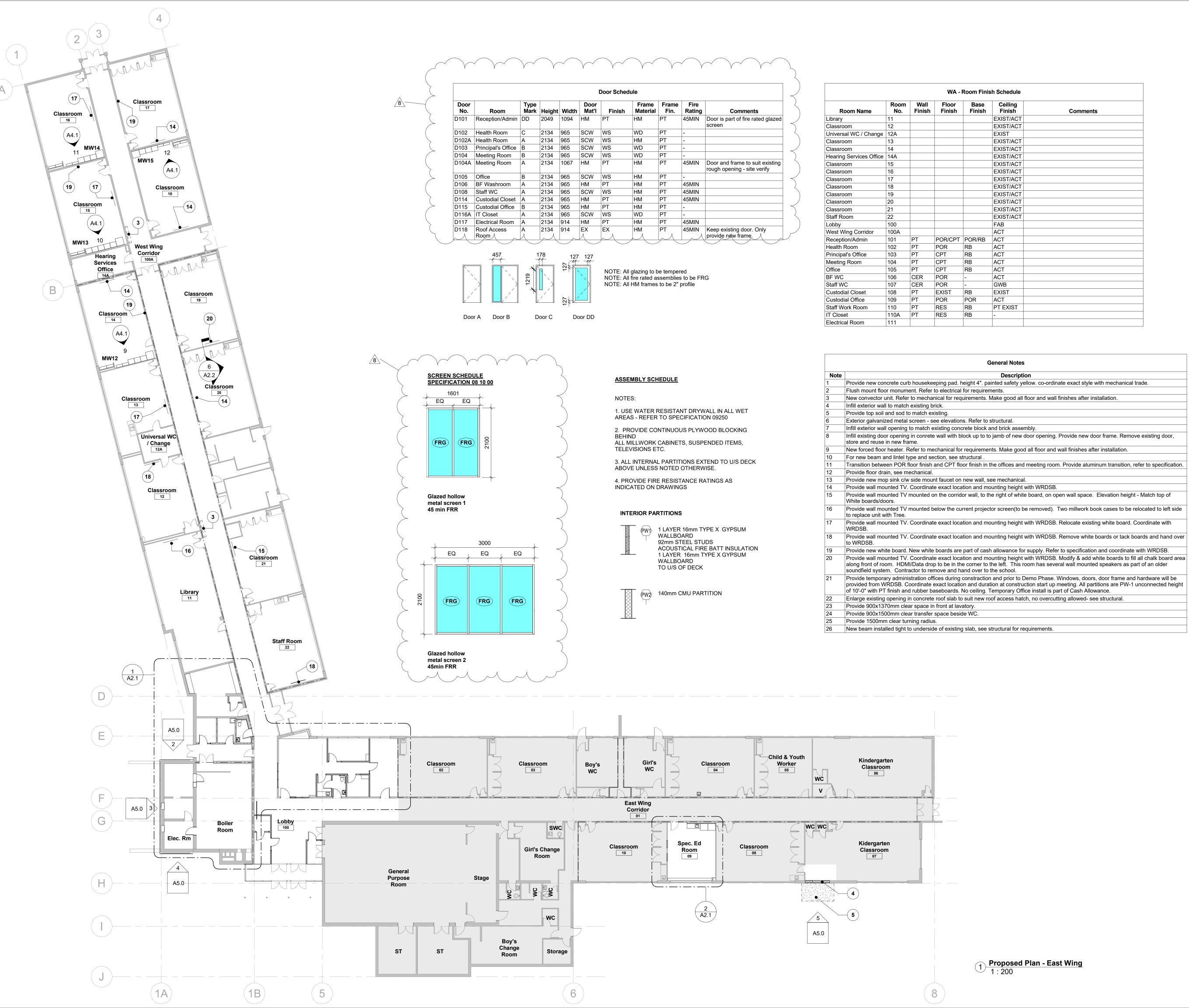






2 Level 01 - Demolition RCP - Area of Work 1 1: 100

drawing number



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Issued for Schematic Design 04 Dec 2020 26 Feb 2021 2 50% Review 03 Dec 2021 Issued for 90% Review 21 Jan 2022 Issued for Review 04 Feb 2022 Issued for Permit Issued for Tender 15 Feb 2022 Reissued for Permit 3 Mar 2022 7 Mar 2022 8 Issued for Addendum 1

Acoustic Ceiling Tile

Dry Erase Whiteboard

Solid Wood

Wood Stain

Aluminum

Materials Legend

ALUM

Comments

CER	Ceramic Tile
CPT	Carpet
EPO	Epoxy Paint
EXIST	Existing
EXP	Exposed
FAB	Fabric Faced Acoustic C
	Composite Ceiling Panel
FRG	Fire Rated Glass
FGL	Frosted Glass
F1	Glazing Surface Film
GWB	Gypsum Wallboard
MIR	Mirror
MDF	MDF Baseboard
PLY	Fire Rated Plywood
POR	Porcelain Tile
PLAM	Plastic Laminate
PT	Paint Finish
QTZ	Quartz
RB	Rubber Base
RES	Resilient Sheet Flooring
SO	Solid Polymer Fabrication
SS	Stainless Steel
ST	Natural Stone
TGL	Tempered Glass

WB

WD

WS

Existing partition to remain

New partition as scheduled

Symbols Legend



Glazed Screen tag - refer to schedule

New Door tag - refer to schedule

MW1 Millwork Tag

GWB Ceiling Material Height above Finished Floor



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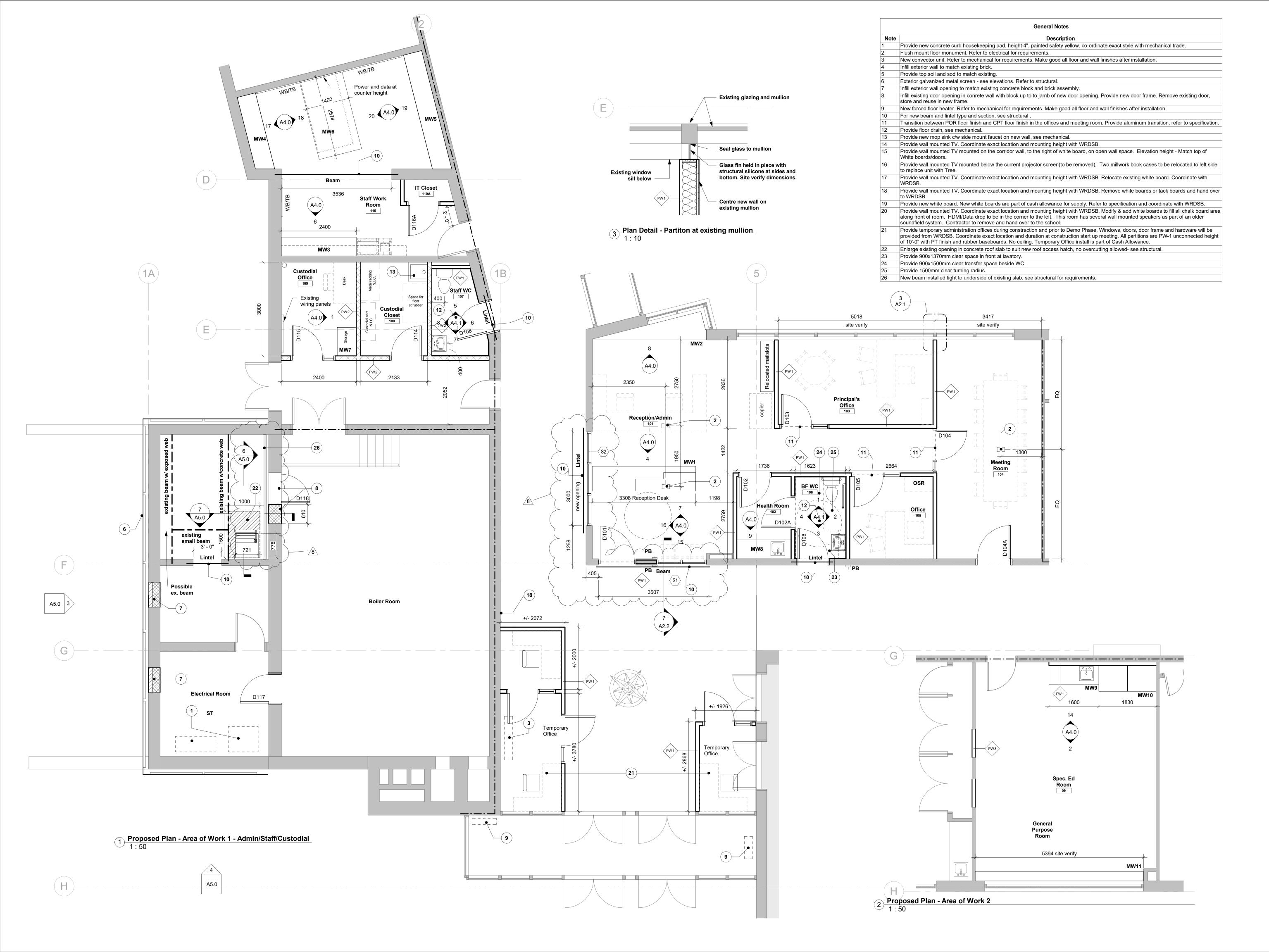
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DOCCHIDGI ZOZI	
December 2021	Permit/Tende
DATE:	STATUS:
20_28	As indicate
PROJECT CODE:	SCALE:

Proposed Plans & Schedules



A2.0



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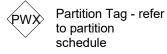
Issued for 90% Review 03 Dec 2021 Issued for Review 21 Jan 2022 04 Feb 2022 Issued for Permit 15 Feb 2022 Issued for Tender 3 Mar 2022 Reissued for Permit 7 Mar 2022 8 Issued for Addendum 1

<u>Legend</u>

Existing partition to remain

New partition as scheduled

Symbols Legend



SX Glazed Screen tag - refer to tag - refer to schedule New Door tag -

refer to schedule

Finished Floor

MW1 Millwork Tag GWB Ceiling Material Height above

\ 1' - 0"*/*



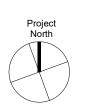
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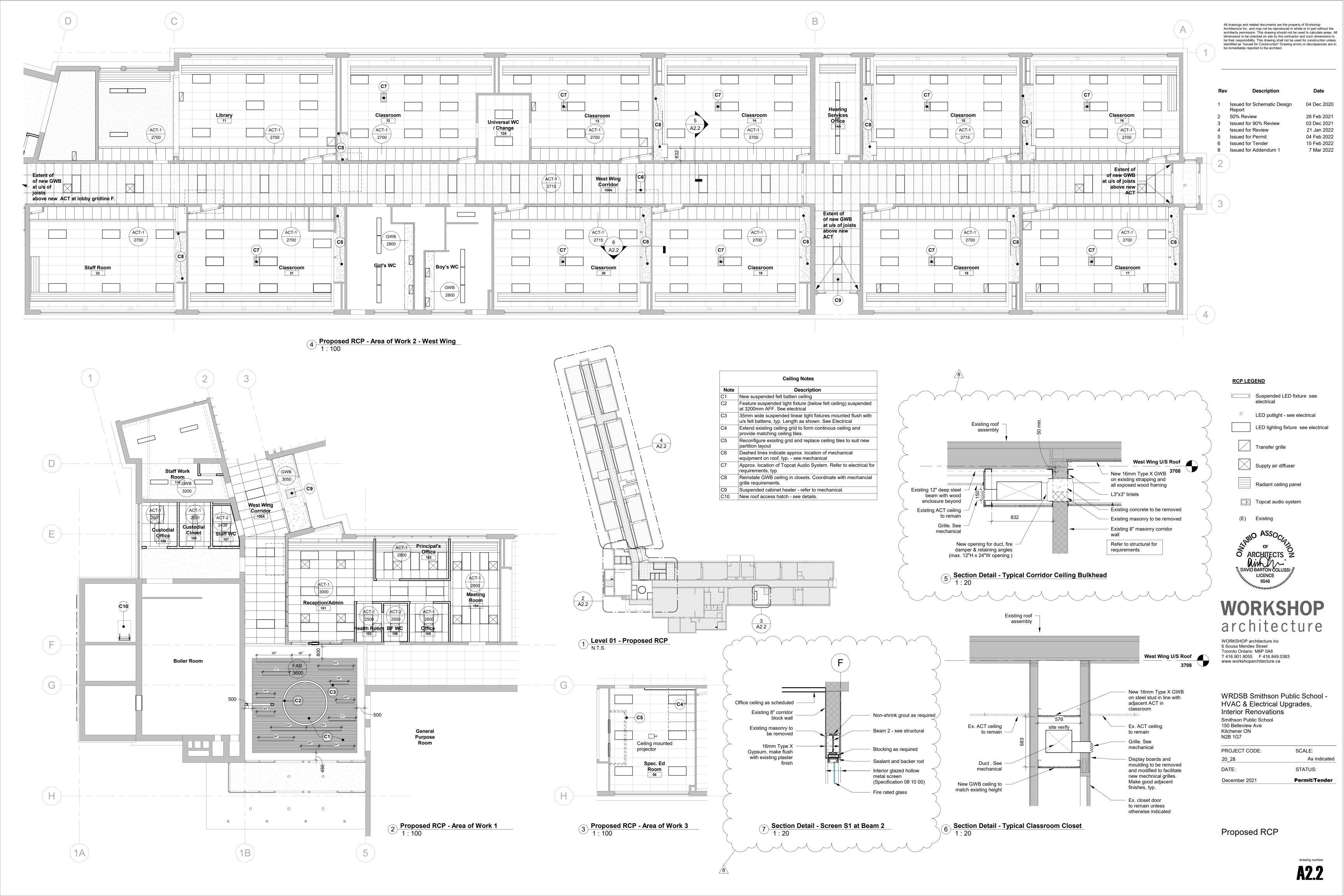
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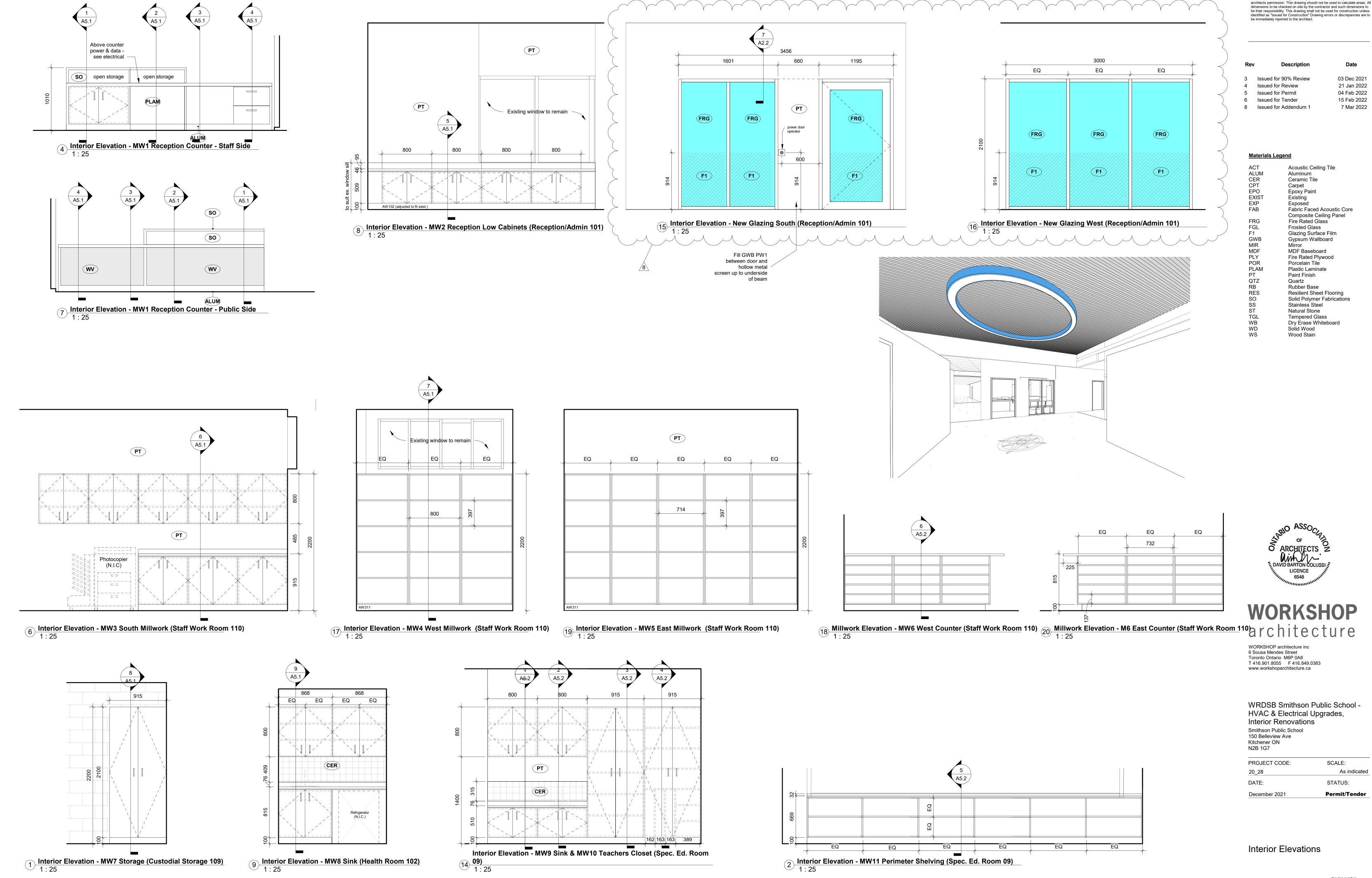
December 2021	Permit/Tender
DATE:	STATUS:
20_28	As indicated
PROJECT CODE:	SCALE:

Proposed Partial Plan

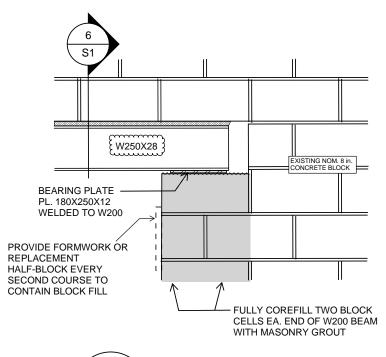




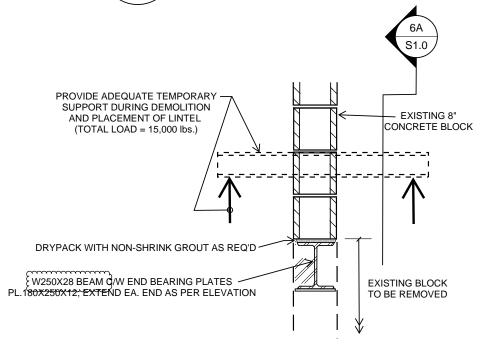


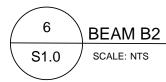


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p	oroject	WRDSB SMITHSON P.S. RENOVATIONS	project no.	date	22/03/07
lo	ocation	150 Belleview Ave., Kitchener ON	WORKS-20-031	scale Not	To Scale



description

Addendum No. 1 - Revision to Detail 6/S1.0

to Detail 6/S1.0 SK-1

sketch no.



Bold Engineering Inc. 2778 Dufferin Street, Suite 104, Toronto, ON M6B 3R7 Canada T: 416-556-0766 F: 1-866-876-5758 www.boldengineering.ca

No.

Date:



Project: Smithson Public School **Project** B20.349.02A

HVAC Upgrades & Interior

Renovations

Address: 150 Belleview Avenue,

Kitchener, ON

To: Christian Kliegel From: Manny Kahlon

Workshop

T: 416-901-8055 ext 7

E:christian.k@workshopto.ca

2022-03-04

Bold Engineering Inc.

2778 Dufferin Street, Suite 104

Toronto, ON M6B 3R7

T: 416-556-0766

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mkahlon@boldengineering.ca

This addendum shall form an integral part of the Bid Documents for the above project and shall be read in conjunction therewith. This addendum shall, however, take precedence over all requirements of the previously issued Drawings and Specifications with which it may prove to be at variance, unless otherwise clarified by the Engineer.

MECHANICAL:

1. REFERENCE DRAWING M3 – PROPOSED HVAC PLANS – WEST WING (RE-ISSUED)

- 1. Install fire damper in supply ductwork serving Classroom 21 and 18.
- 2. Install a 6"x6" transfer air ductwork serving Janitor's Office complete with fire damper
- 3. Provide a fire damper in 6" supply duct serving Janitors Offices
- 4. Refer to Dwg for details

2. REFERENCE DRAWING M10 – MECHANICAL SCHEDULE

- 1. Updated Pump Schedule to include pump model number.
- 2. Heating pumps are to be Grundfos Model TP 40-240/2 A-G-A-BUBE-GX2.



Project No: B20.349.02A Date: 2022-03-04

PUMP SCHE	DULE		~~~	<u> </u>
TAG	LOCATION	MANUFACTURER	MODEL	SERVICE
P-1 P-2	MECH RM	GRUNDFO%	TP 40-240/2 A-G-A-BUBE-GX2	WEST WING
)

Issued by:

BOLD Engineering Inc.

Per:

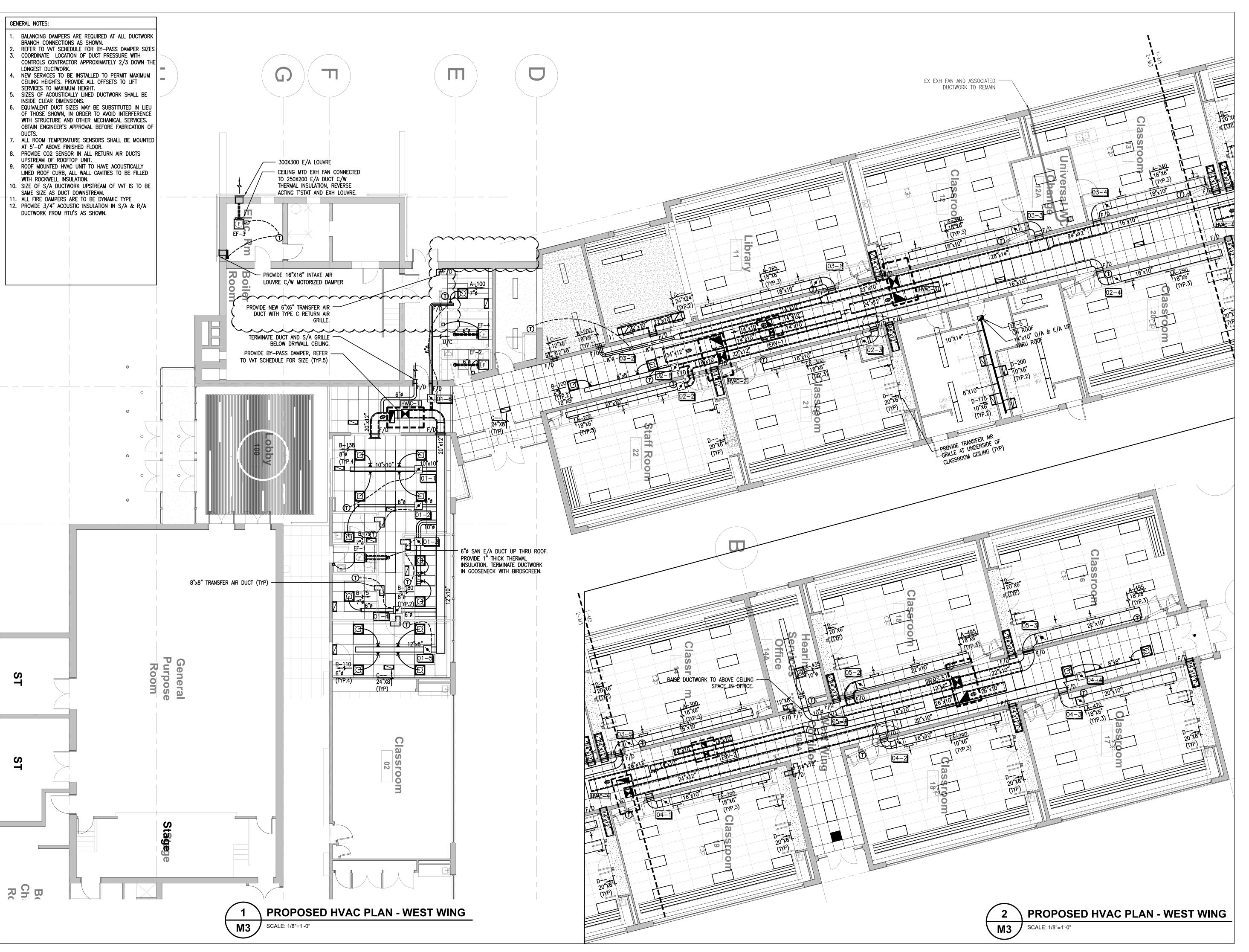
Manny Kahlon.

Mechanical

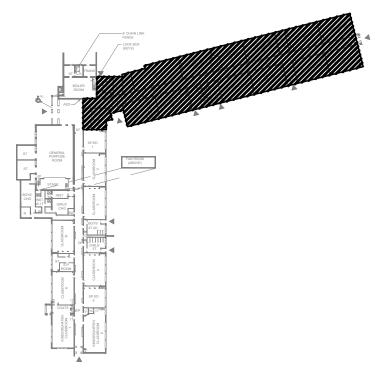
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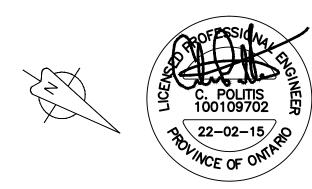
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End of Addendum



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- 2. These drawings are "design drawings" only. They may not be suitable for use as shop drawings. Use of these drawings as base drawings for "shop drawings" is not permitted unless written permission containing certain conditions and limitations is obtained from BOLD.
- 3. The work "as constructed" may vary from what is shown on these drawings. Use of these drawings is limited to that identified in the Issued/Revision column. Do not construct from these drawings unless marked "Issued for Construction" by BOLD in the Issued/Revision column, and then only for the parts noted. The drawings shall not be used for "pricing" / "costing" or "tender" unless so not complete and any prices based on such drawings must allow for this.





8	ISSUED FOR TENDER	22 FEB 15	MK
7	ISSUED FOR PERMIT	22 FEB 03	MK
6	ISSUED FOR 99% REVIEW	22 JAN 14	MK
5	ISSUED FOR 90% REVIEW	21 DEC 03	MK
4	ISSUED FOR PERMIT & TENDER	21 MAY 13	MK
3	ISSUED FOR 50% REVIEW	21 MAR.30	MK
2	ISSUED FOR 66% REVIEW	21 FEB.25	MK
1.	ISSUED FOR 33% REVIEW	20 DEC 04	MS
No.	Revision	Date	Ву



Bold Engineering Inc. 2778 Dufferin Street, Suite 104 Toronto, Ontario, M6B 3R7 Canada

Revision

BOLD Tel: 416-556-0766 Fax: 1-866-876-5758 engineering www.boldengineering.ca

Project Name
WRDSB - WORKSHOP
ARCHITECTURE

HVAC UPGRADES & INTERIOR RENOVATIONS SMITHSON PUBLIC SCHOOL

150 BELLVIEW AVENUE, KITCHENER

Sheet Title

PROPOSED HVAC PLANS -WEST WING

Drawn By MS Scale 1/8"=1'-0"

Designed By MS Date November 26, 2020

Project Number B20-349.02A

Sheet Number

M3



Bold Engineering Inc. 2778 Dufferin Street, Suite 104, Toronto, ON M6B 3R7 Canada T: 416-556-0766 F: 1-866-876-5758 www.boldengineering.ca ADD #E01

Project: Smithson Public School **Project** B20.349.02A

HVAC Upgrades & Interior

Renovations

Address: 150 Belleview Avenue, Date: 2022-03-04

Kitchener, ON

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Bold Engineering Inc.

E:

dbliefert@boldengineering.ca

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ELECTRICAL:

1. **GENERAL NOTES**

- 1. For the general lighting fixtures, equivalent fixtures from the following manufacturers will be accepted:
 - Metalux Lighting
 - Premise Lighting
- 2. All Data, Phone, PA System scope of work including cabling, terminations, testing and commissioning is to be completed by 3rd party contractor Network Telecom through cash allowances.
- 3. Drawing E12 and E12.1 have been added to include the fire alarm signalling devices scope of work. Refer to drawings for more information.
- 4. Contractor shall allow for the relocation of existing time clocks and fire alarm horn/strobe combination units within all classrooms, staff rooms and library within the West wing to facilitate the installation of the new bulkheads against the corridor wall. Extend or revise wiring as required. Devices shall be site



Project No: B20.349.02A Date: 2022-03-04

verified and relocated to below new bulkhead if determined that the clearance is not sufficient. Supply and install access panels as required to provide maintenance to any junction boxes concealed by the new bulkhead. Coordinate all work with architectural and mechanical trades. (Refer to photos below for typical device configurations)





5. Contractor shall allow for the removal of existing wall mounted speakers within five (5) classrooms. Remove wiring back to source, retain speakers and hand over to WRDSB after removal. (Refer to photo below for typical speaker installation)





Project No: B20.349.02A Date: 2022-03-04

2. REFERNCE DRAWING E1 – ELECTRICAL LEGEND AND SCHEDULES (ISSUED FOR ADD-E01)

- 1. The breaker size for rooftop unit HVAC-2, has been revised from 600V,25A,3P to 600V,20A,3P to match the latest requirements from the mechanical design.
- 2. The breaker size for rooftop unit HVAC-3, has been revised from 600V,25A,3P to 600V,20A,3P to match the latest requirements from the mechanical design.
- 3. The breaker size for rooftop unit HVAC-5, has been revised from 600V,25A,3P to 600V,20A,3P to match the latest requirements from the mechanical design.
- 4. The circuit breakers SWB#A10 and SWB#A11 have been removed. The pumps P-1 and P-2 will now be 208V, fed from panel LP-2.
- 5. A Panel schedule for new panel LP-4 has been added.
- 6. The panel scheduleS for LP-2 has been revised to an existing and updated panel schedules to show the scope of work regarding demolition of existing breakers and installation of new breakers within the existing to remain panel.

3. REFERNCE DRAWING E2 – ELECTRICAL SINGLE LINE DIAGRAM AND SITE PLAN (ISSUED FOR ADD-E01)

- 1. The demolition of the existing 'LP-2' panel has been removed from the scope of work. The panel is existing to remain and the contractor shall revise the circuit breakers within the existing panel to suit new loads as per the updated panel schedule. Remove and dispose of obsolete breakers and supply and install new circuit breakers as required.
- 2. The new 100A,208V,3P switch within the existing 208V switchboard has been revised to feed the new panel 'LP-4'. The supply and installation of one (1) new 100A,208V,3ph,4W panel 'LP-4' has been added. Refer to drawings for additional information and panel schedules. Supply and install new circuit breakers as required. Note 7 has been revised to indicate the revised scope of work.
- 3. Some of the devices fed from LP-2 have been revised to be fed from LP-4. Refer to updated panel schedules for more information.



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4. <u>REFERNCE DRAWING E3 – EXISTING/DEMO POWER PLANS (ISSUED FOR ADD-E01)</u>

- 1. An existing IT Hub cabinet and cabling shall be relocated to facilitate the installation of the new bulkhead within Classroom 14. Refer to detail 8/E11 for more information. Extend or revise all data and power cabling as required. Final location to be approved by WRDSB.
- 2. Within the existing office space detail 4/E3, a device labelled as "TIMING SWITCH AND TIMER/CONTACTOR" which is to be removed and relocated, has been clarified to "BUZZER TIMER AND CONTROL". This device shall be removed and relocated as shown on layout drawings to facilitate the architectural changes within the office. Revise and/or extend wiring as required to facilitate the relocation.
- 3. Notes on detail 4/E3 regarding the existing door access video system have been revised. The existing TV receptacle and IT terminals shall be removed and relocated as shown on layout drawings to facilitate the architectural changes within the office. Revise and/or extend wiring as required to facilitate the relocation.
- 4. The location of the existing PA system and wireways have been noted on detail 4/E3. The new location of the PA system is shown on the proposed layout drawings. The contractor shall revise and/or extend wiring as required to facilitate the relocation, refer to detail 3/E6 for more information.

5. REFERNCE DRAWING E6 – PROPOSED POWER PLANS (ISSUED FOR ADD-E01)

- 1. Note 8 on drawing E6 has been revised to provide further information regarding the power and IT cabling to be provided at each furniture whip. Each furniture whip shall have 1xPower, 2x Data, and 1xPhone terminations. Confirm termination requirements will millwork and architectural trades.
- 2. Within the existing office space detail 3/E6, a device labelled as "TIMING SWITCH AND TIMER/CONTACTOR" which has been relocated, has been clarified to "BUZZER TIMER AND CONTROL". This device shall be relocated as shown on layout drawings to facilitate the architectural changes within the office. Revise and/or extend wiring as required to facilitate the relocation.



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6. <u>REFERNCE DRAWING E6.1 – PROPOSED POWER PLANS (ISS</u>UED FOR ADD-E01)

1. One (1) "AV" Audio/Video station was added for the Library Room 11.

7. REFERNCE DRAWING E7 – PROPOSED FIRE ALARM PLANS (ISSUED FOR ADD-E01)

1. On detail 3/E7, one (1) duct smoke detector, two (2) smoke detectors and two (2) direct connections for fire/smoke dampers have been added to the Janitor office.

8. REFERNCE DRAWING E9 – ELECTRICAL AND BOILER ROOM LAYOUTS (ISSUED FOR ADD-E01)

- 1. Heat detectors in the electrical room and adjacent storage room are existing to remain. The supply and installation of an additional heat detector has been added to the existing utility vault that is being revised to a storage room.
- 2. Panel 'LP-2' is now existing to remain. Revise breakers and feeds as shown and supply and install new breakers as required.
- 3. The supply and installation of a new 100A,208V,3ph,4W panel 'LP-4' has been added within the boiler room. Refer to drawings for additional information and panel schedule.
- 4. Locations of existing electrical panels within boiler room have been provided for reference.
- 5. Notes 1 & 2 have been revised to provide clarification regarding the annunciator installation. There is no existing annunciator for the fire alarm control panel, therefore its demolition is no longer part of the scope of work. The new annunciator panel shall be supplied and installed in the main entrance vestibule.
- 6. Note 13 has been added to provide additional detail regarding the replacement of the existing Bell/Strobe signalling units. "Contractor shall replace all existing bell/strobe signaling devices with new horn/strobe devices. Re-use existing wiring and supply and install all devices, mounting plates, etc. required for installation. Patch walls to match basebuilding finishes."



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- 7. Detail 3/E9 has been added to show the proposed location of the new Anunnciator panel. Exact location is to be coordinated onsite with WRDSB before rough-in is completed.
- 8. The power supplies for Pumps P-1 and P-2 have been revised from 600V,15A,3P to 208V,15A,3P. The pumps will now be fed from LP-4.

9. REFERNCE DRAWING E10 – PROPOSED ROOFTOP POWER PLAN (ISSUED FOR ADD-E01)

- 1. The labelling of the HVAC units has been revised to match latest mechanical drawings.
- 2. The power supply size for rooftop unit HVAC-2, has been revised from 600V,25A,3P to 600V,20A,3P to match the latest requirements from the mechanical design.
- 3. The power supply size for rooftop unit HVAC-3, has been revised from 600V,25A,3P to 600V,20A,3P to match the latest requirements from the mechanical design.
- 4. The power supply size for rooftop unit HVAC-5, has been revised from 600V,25A,3P to 600V,20A,3P to match the latest requirements from the mechanical design.

10. <u>REFERNCE DRAWING E11.1 – ELECTRICAL DETAILS (ISSUED FOR ADD-E01)</u>

1. Updates have been made to details 10/E11.1 and 11/E11.1 to add a 3.5mm Audio cable from TV to Topcat Audio system for TV audio output.

11. REFERNCE DRAWING E12 – EXISTING/DEMOLITION SIGNALING DEVICE LAYOUT (ISSUED FOR ADD-E01)

1. This drawing has been added to indicate the scope of work required to upgrade all existing bell/strobe combination units within the existing school. Refer to drawings for exact quantity and locations. Existing wiring to be reused.

12. <u>REFERNCE DRAWING E12.1 – PROPOSED SIGNALING DEVICE</u> <u>LAYOUT (ISSUED FOR ADD-E01)</u>



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1. This drawing has been added to indicate the scope of work required to upgrade all existing bell/strobe combination units within the existing school. Refer to drawings for exact quantity and locations.



Project No: B20.349.02A Date: 2022-03-04

Issued by:

BOLD Engineering Inc.

Per:

Devin Bliefert, P.Eng. Electrical Engineer

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End of Addendum

SMITHSON PUBLIC SCHOOL HVAC UPGRADES & INTERIOR RENOVATIONS

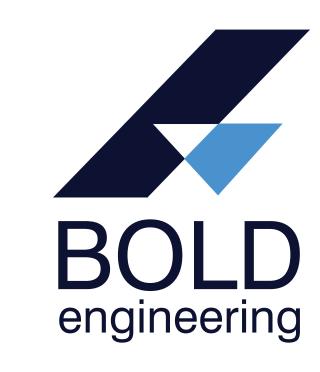
150 BELLEVIEW AVE, KITCHENER, ON

WRDSB - WORKSHOP ARCHITECTURE - SMITHSON PS

PROJECT NO.: B20-349.02A

DRAWING LIST

- E1 ELECTRICAL LEGEND AND SCHEDULES
- **E2** ELECTRICAL SINGLE LINE DIAGRAM AND SITE PLAN
- E3 EXISTING/DEMO POWER PLANS
- E4 EXISTING/DEMO FIRE ALARM PLANS
- E5 EXISTING/DEMO LIGHTING & REFLECTED CEILING PLANS
- **E5.1 EXISTING/DEMO LIGHTING & REFLECTED CEILING PLANS**
- E5.2 EXISTING/DEMO EMERGENCY LIGHTING & EXIT SIGN PLANS
- E6 PROPOSED POWER PLANS
- **E6.1 PROPOSED POWER PLANS**
- **E7 PROPOSED FIRE ALARM PLANS**
- E8 PROPOSED LIGHTING & REFLECTED CEILING PLANS
- **E8.1 PROPOSED LIGHTING & REFLECTED CEILING PLANS**
- **E8.2 PROPOSED EMERGENCY LIGHTING & EXIT SIGN PLANS**
- E9 ELECTRICAL AND BOILER ROOM LAYOUTS
- E10 PROPOSED ROOFTOP POWER PLANS
- **E11 ELECTRICAL DETAILS**
- **E11.1 ELECTRICAL DETAILS**
- **E12 EXISTING/DEMOLITION SIGNALING DEVICE LAYOUT**
- **E12.1 PROPOSED SIGNALING DEVICE LAYOUT**



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	ELECTRICAL LEGEND
	BASE BUILDING LUMINAIRE
	NEW LUMINAIRE
'A'	LUMINAIRE DESIGNATOR LETTER DEMOTES TYPE REFER TO LUMINAIRE SCHEDULE
T 4	WALL MOUNTED EMERGENCY LIGHTING REMOTE HEAD(S)
BU BU	WALL MOUNTED EMERGENCY LIGHTING BATTERY UNIT WITH HEAD(S)
121	CEILING MOUNTED EXIT SIGN DIRECTIONAL ARROW(S) AND WALL FACE(S) AS SHOWN
†⊗†	WALL MOUNTED EXIT SIGN DIRECTIONAL ARROW(S) AND WALL FACE(S) AS SHOWN
★	EXIT SIGNS WITH BATTERIES
\$	TOGGLE SWITCH - 120V
 	GANGED TOGGLE SWITCHES, 2, 3, 4 GANG
\$ _D	DIMMER SWITCH
\$3	3 - WAY SWITCH
\$ K	KEY SWITCH
Φ	WALL MOUNTED DUPLEX RECEPTACLE
#	WALL MOUNTED QUAD RECEPTACLE (15A, 120V UNLESS OTHERWISE NOTED)
⊕ GFI	WALL MOUNTED ABOVE COUNTER, GROUND FAULT INTERRUPTER DUPLEX RECEPTACLE (15A, 120V)
⊕WP	NEMA 5-20R GFI DUPLEX RECEPT. C/W WEATHERPROOF COVER FOR HVAC MAINTENANCE INSTALLED AT 750mm ABOVE FINISHED ROOF
▼	WALL MOUNTED VOICE OUTLET
∇	WALL MOUNTED DATA OUTLET
4	WALL MOUNTED DATA/VOICE OUTLET
V	FLOOR MOUNTED VOICE OUTLET
	FLOOR MOUNTED DATA OUTLET
<u> </u>	FLOOR MOUNTED DATA/VOICE OUTLET
WAP	WIRELESS ACCESS POINT
	FLOOR MOUNTED COMBINATION OUTLETS WITH OUTLETS AS SHOWN
	WALL FEED FOR POWER AND COMMUNICATIONS TO SYSTEM FURNITURE
	FLOOR FEED FOR POWER AND COMMUNICATIONS TO SYSTEM FURNITURE
-₩ W	TELEVISION SYSTEM OUTLET — CEILING, WALL MOUNTED
JB	JUNCTION BOX
<u> </u>	DIRECTION CONNECTION OUTLET MOTOR CONNECTION
	DISCONNECT SWITCH - UNFUSED
	DISCONNECT SWITCH - FUSED
_	SURFACE MOUNTED PANEL BOARD
_	RECESSED MOUNTED PANEL BOARD
\boxtimes	TRANSFORMER
	FIRE ALARM PULL STATION
VIII/	FIRE ALARM HORN AND STROBE COMBO UNIT
\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	FIRE ALARM BELL AND STROBE COMBO UNIT
SP SP	SPEAKER — CEILING, WALL MOUNTED
	OCCUPANCY SENSOR
•	SMOKE DETECTOR
₩	DUCT TYPE SMOKE DETECTOR W/ REMOTE INDICATION
₽	HEAT DETECTOR - 135° FIXED TEMPERATURE TYPE - CEILING, WALL MOUNTED
PB	AUTOMATIC DOOR PUSHBUTTON
MD	MOTION DETECTOR
TCA	TOPCAT AUDIO SYSTEM (CEILING MOUNTED)
PJR	SMARTBOARD PROJECTOR MOUNT (CEILING MOUNTED)
AV	OUTLETS FOR AUDIO/VISUAL SYSTEM INSTALLATION
EX	EXISTING TO REMAIN
R RE/RE	EXISTING TO REMOVED EXISTING TO BE REMOVED AND REINSTALLED
RL RE	EXISTING TO BE REMOVED AND REINSTALLED EXISTING IN RELOCATED POSITION
AFF	ABOVE FINISHED FLOOR
NL NL	NIGHT LIGHT CIRCUIT

			LIGHTING	SCHEDU	LE				
TVDE	MAKE / MODEL	DESCRIPTION	VOLTAGE		LAI	AP DATA		MOUNTING	REMARKS
TYPE	MARE / MODEL	DESCRIPTION	VULIAGE	No.	No. TYPE W		COLOUR	MOUNTING	REMARKS
'L1'	LITHONIA LIGHTING 2GTL-4-48L-GZ10-LP840	RECESSED LED 2'x4' TROFFER	120V	1	LED	36W	4000K	RECESSED	LIGHTING TO BE ON DIMMERS AS SHOWN OF DRAWINGS. PROVIDE DIMMING CONTROLLER.
'L2'	LITHONIA LIGHTING 2GTL-4-40L-GZ10-LP840	RECESSED LED 2'x4' TROFFER	120V	1	LED	30W	4000K	RECESSED	LIGHTING TO BE ON DIMMERS AS SHOWN OF DRAWINGS. PROVIDE DIMMING CONTROLLER.
'L3'	LITHONIA LIGHTING SBL4-4000LM-40K	SURFACE MOUNTED 1'x4'	120V	1	LED	32W	4000K	SURFACE	_
'L4'	LITHONIA LIGHTING SBL4-4800LM-40K	SURFACE MOUNTED 1'x4'	120V	1	LED	40W	4000K	SURFACE	_
'L5'	LLI ARCHITECTURAL LIGHTING LLI-S-IC1-SF-XX-40K-24V-XX	SUSPENDED LINEAR STRIP	120V	1	LED	XW/FT	4000K	SUSPENDED	COORDINATE SUSPENSION LENGTH AND EXAC LOCATION WITH ARCHITECTURAL TRADE.
'L6'	CAMMAN LIGHTING P1044-108-40K-1-ACM	ARCHITECTURAL PENDENT	120V	1	LED	160W	4000K	SUSPENDED	COORDINATE SUSPENSION LENGTH AND EXAC LOCATION WITH ARCHITECTURAL TRADE
'L7'	LITHONIA LIGHTING 2GTL-2-48L-GZ10-LP840	RECESSED 2'x2' TROFFER	120V	1	LED	42W	4000K	RECESSED	_
'L8'	LITHONIA LIGHTING FMLWL-48-840-MVOLT	RECESSED FIXTURE	120V	1	LED	42W	4000K	SURFACE	PATCH EXISTING CEILING AROUND FIXTURE. FINISHES TO MATCH EXISTING.
'L9'	HOLOPHANE PARKPAK PPSQL2-P10-40K-PY-TSE	RECESSED EXTERIOR FIXTURE	120V	1	LED	25W	4000K	RECESSED	PATCH EXISTING SOFFIT AROUND FIXTURE. FINISHES TO MATCH EXISTING.
'L10'	LITHONIA LIGHTING MNSL-L48-2LL-MVOLT-40K-80CRI-M6	SUSPENDED STRIP FIXTURE	120V	1	LED	35W	4000K	SUSPENDED	_
BU	BEGHELLI TEMPESTA LED TA-LED-SE-UNV-TB	EMERGENCY LIGHT WITH BATTERY PACK	120V	1	LED	2.3W	-	RECESSED	RECESSED IN ACT CEILING, C/W MINIMUM 90MIN BATTERY BACKUP.
⊗ ⊗	BEGHELLI FORTE RM FR-RM-SP-L-1/2-OLR-W/C-90SP	GREEN RUNNING MAN PICTOGRAM EXIT SIGN (SINGLE/DUAL FACE)	120V	1	LED	_	-	WALL/CEILING MOUNTED	COMPLETE WITH INTEGRAL STANDALONE 90MIN BATTERY BACKUP.

	EXISTING PANEL 'LP-2'							NEW PANEL 'LP-4'								
VOLTAGE: <u>120/208V, 3PH,</u>	4W, 20 CCT	EXISTING	VOLTAGE: <u>120/208V, 3PH, 4W, 42 CCT</u>					NEW		EXISTING						
MAINS: 60A, MOUNTING: SURFACE					SURFACE	MAINS: <u>100A, MLO, 18kAIC</u>					MOU	NTING:	SURFACE			
TYPE: POWER PANEL LOCATION: BOILER ROOM					BOILER ROOM	TYPE: <u>POWER PANEL</u> LOCATION: <u>BOILER RO</u>						BOILER ROOM				
LOAD DESCRIPTION	BRKR. CCT		ССТ.	BRKR.	LOAD DESCRIPTION	LOAD) DESCRIPTION	BRKR.	CCT.	PHASE	CCT.	BRKR.	LOAD DESCRIPTION			
EOND DESCRIPTION	SIZE No.	A B E	No.	SIZE	EGAD DESCRIPTION	LOAD) DESCRIPTION	SIZE	No.	A B (No.	SIZE	LOAD DESCRIPTION			
PUMP 8	15A 1	<u></u>	2	15A	PUMP 5	BAS SYSTI	EM SUPPLY	15A	1	+	_ 2	20A	ROOFTOP RECEPTACLE			
T OWN	2P 3	_ 	4	15A	SOUTH RECEPTACLE	BAS SYSTI	EM SUPPLY	15A	3	+	4	20A	ROOFTOP RECEPTACLE			
DUMP 7	15A 5		6	15A	BOILER #2	NIGHT LIG	HTING	15A	5	+	6					
PUMP 7	2P 7	T+	8	15A	BOILER #1				7	+	- 8					
DINID 0	15A 9		10	15A	SPARE				9	 	10					
PUMP 6	2P 11		12	15A	SPARE				11	+ + •	12					
	13	7	14						13	•	14					
	15		16						15		16					
	17		18						17	+++-	18					
	19	 	20						19	•	20					
	<u> </u>			<u> </u>	1				21		22					
									23		24					
		_							25		26					
(1)	1 EXISTING "LP-2" PANEL SCHEDULE								27		28					
\ E1 /	SCALE: N.T.S.								29		30					
									79		- 30					

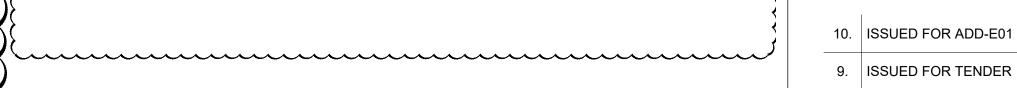
VOLTAGE: 120/208V, 3PH, MAINS: 60A, TYPE: POWER PANEL		<u>CT</u>				MOU	NTING: <u>S</u>	EXISTING SURFACE BOILER ROOM
LOAD DESCRIPTION	BRKR. SIZE	CCT.	PHA A	SE B	В	CCT.	BRKR. SIZE	LOAD DESCRIPTION
WEST WING SMOKE DAMPER CCT#1	15A	1	+	Ī	1	2	15A	EF-3 / EF-4
WEST WING SMOKE DAMPER CCT#2	15A	3		+		4	15A	SOUTH RECEPTACLE
WEST WING SMOKE DAMPER CCT#3	15A	5		+	+	6	15A	BOILER #2
E-5	15A	7	+	+	+	8	15A	BOILER #1
PUMP 6	15A	9		+		10	15A	CUH-1, CUH-2 & CUH-6
TOMI O	2P	11		+	+	12	15A	CUH-3, CUH-4 & CUH-5
	\15A	13	+			14	\15A	
P-1		15		+		16	$ \ \ $	P-2
	3P\	17			+	18	3P\	
	,	19	 	_	\perp	20		

UPDATED "LP-2" PANEL SCHEDULE

SIZE	CCT.		'HASE		CCT. No.	BRKR. SIZE	LOAD DESCRIPTI
		A	В	C			DOOLTON DECENTION
15A	1				2	20A	ROOFTOP RECEPTACLE
15A	3		•		4	20A	ROOFTOP RECEPTACLE
15A	5			+	6		
	7	 			8		
	9		+		10		
	11	\vdash		+	12		
	13	 			14		
	15		+		16		
	17			+	18		
	19	+			20		
	21	-	+	+	22		
	23			\downarrow	24		
	25	 			26		
	27	<u> </u>	+	+	28		
	29	 		\downarrow	30		
	31	├			32		
	33		—	_	34		
	35	<u> </u>		\downarrow	36		
	37	│			38		
	39	Щ_	_		40		
	41	Ц_			42		
	15A 15A	15A 5 7 9 11 13 15 15 17 19 21 23 25 27 29 31 33 35 35	15A 5 7 9 111 13 15 17 19 21 23 25 27 29 31 33 35 37 39	15A 5 7 9 11 13 15 17 19 21 23 25 27 29 31 33 35 37 39	15A 5 7 9 11 13 15 17 19 21 23 25 27 29 31 33 35 37 39	15A 5 6 8 10 10 11 12 14 16 16 17 18 20 22 24 25 26 27 28 29 30 31 32 33 34 35 36 37 39 40	15A 5 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 30 31 33 34 35 36 37 38 39 40

	SWE	3-1 SWITCHBOARD DISTRIBUTIO	ON LOAD SCHEDUL	E (400A,600/347V,3	PH,4W)	
LOAD ID	LOAD DESCRIPTION	OVERCURRENT DEVICE TYPE	DEVICE AMP RATING	VOLTAGE	WIRING	# OF POLES
A1	EXISTING SWB	MOLDED CASE BREAKER	175A	600V	3-#3/0 CU + GND	3
A2	PHASE LOSS RLY	MOLDED CASE BREAKER	15A	600V	3-#12 AWG CU + GND	3
А3	SPD	MOLDED CASE BREAKER	30A	600V	3-#10 AWG CU + GND	3
A4	HVAC-1	MOLDED CASE BREAKER	15A	600V	3-#12 AWG CU + GND	3
A5	HVAC-2	MOLDED CASE BREAKER	20A	600V	3-#10 AWG CU + GND	3
A6	HVAC-3	MOLDED CASE BREAKER	20A	600V	3-#10 AWG CU + GND	3
A7	HVAC-4	MOLDED CASE BREAKER	20A	600V	3-#10 AWG CU + GND	3
A8	HVAC-5	MOLDED CASE BREAKER	20A	600V	3-#10 AWG CU + GND	3
A9	ERV-1/ERV-2	MOLDED CASE BREAKER	15A	600V	3-#12 AWG CU	3

NEW SWB-1 BREAKER SCHEDULE E1 / SCALE: N.T.S.



22 FEB 15 CP 9. ISSUED FOR TENDER 8. ISSUED FOR PERMIT 22 FEB 03 CP 22 JAN 21 DB 7. ISSUED FOR 90% REVIEW 6. ISSUED FOR 90% REVIEW 21 DEC 03 DB Date By Revision

SALL ID

22/03/04 POLINCE OF ONTA



Drawing Notes

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22 MAR 04 CP

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Project Name

WRDSB - WORKSHOP ARCHITECTURE **HVAC UPGRADES & INTERIOR RENOVATIONS** SMITHSON PUBLIC SCHOOL

150 BELLVIEW AVENUE, KITCHENER Sheet Title

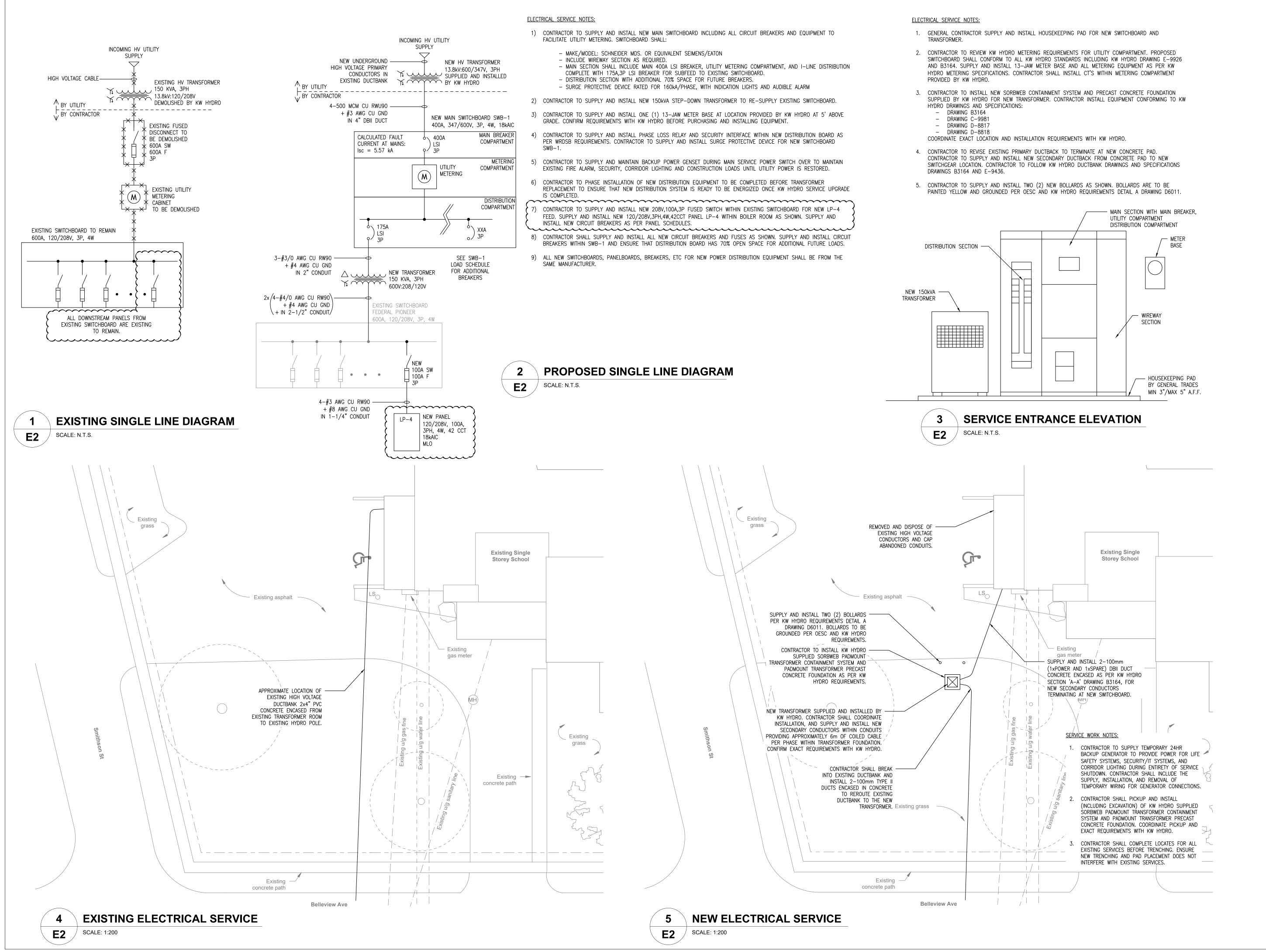
ELECTRICAL LEGEND AND SCHEDULES

Drawn By DB Scale As Shown Designed By DB Date November 26, 2020

Project Number **B20-349.02A** Sheet Number

E1

Revision



- 1. All drawings, plans, models, designs, specifications and other documents prepared by Bold Engineering Inc. ("BOLD") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of BOLD whether the Work is executed or not, and BOLD reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
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	10.	ISSUED FOR ADD-E01	22 MAR 04	СР
	9.	ISSUED FOR TENDER	22 FEB 15	СР
	8.	ISSUED FOR PERMIT	22 FEB 03	СР
	7.	ISSUED FOR 90% REVIEW	22 JAN 21	DB
	6.	ISSUED FOR 90% REVIEW	21 DEC 03	DB
٠	No.	Revision	Date	Ву



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Project Name

WRDSB - WORKSHOP ARCHITECTURE

HVAC UPGRADES & INTERIOR RENOVATIONS

SMITHSON PUBLIC SCHOOL
150 BELLVIEW AVENUE, KITCHENER

Sheet Title

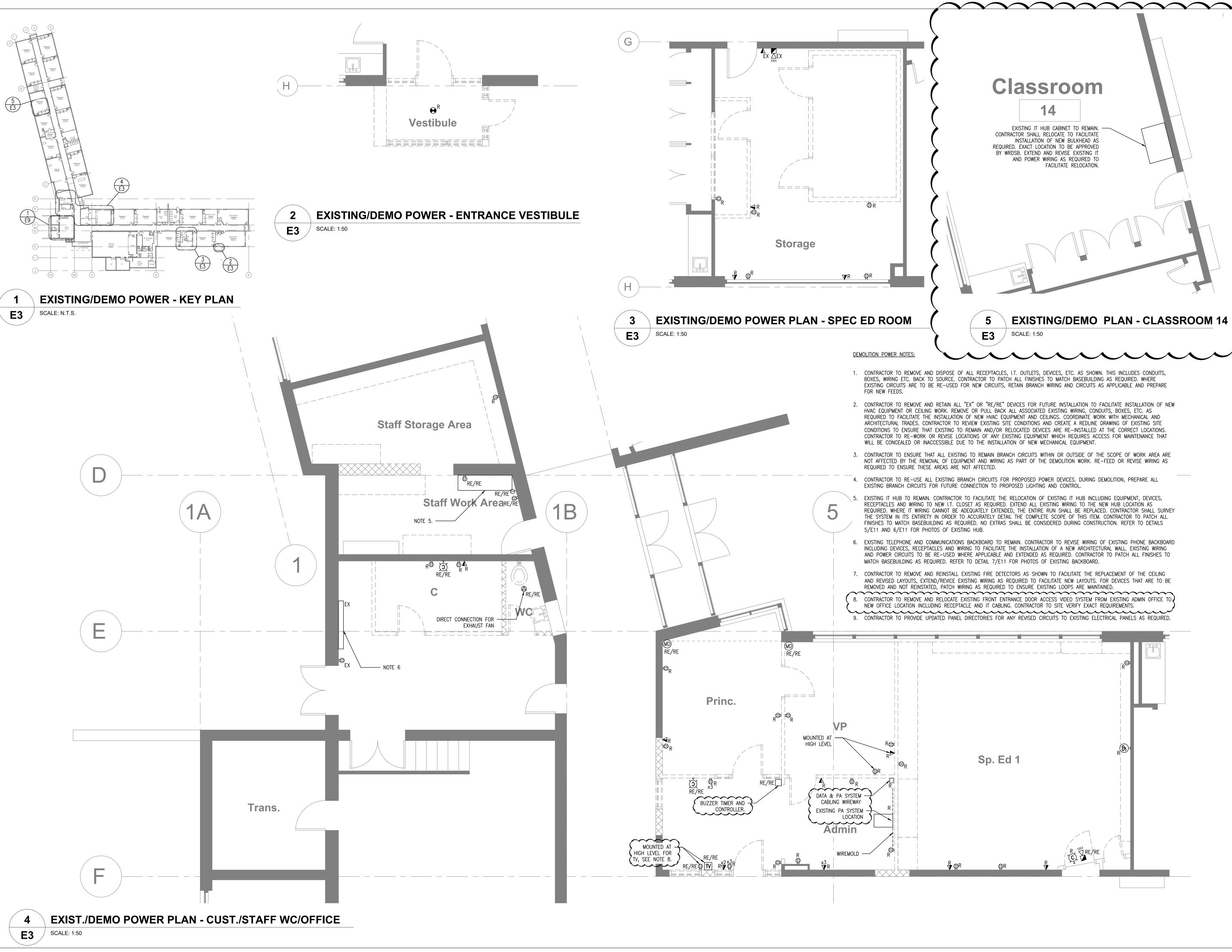
ELECTRICAL SINGLE LINE DIAGRAM AND SITE PLAN

Drawn By DB Scale As Shown
Designed By DB Date November 26, 2020

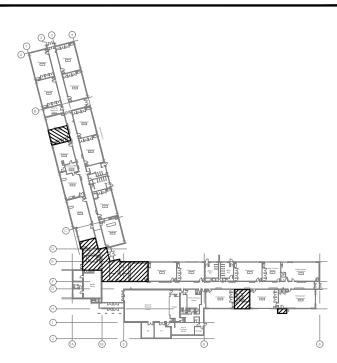
Project Number B20-349.02A

Sheet Number Revision

E2



- 1. All drawings, plans, models, designs, specifications and other documents prepared by Bold Engineering Inc. ("BOLD") and used in connection with this project are instruments of service for the work shown in them (the "Work") and as such are and remain the property of BOLD whether the Work is executed or not, and BOLD reserves the copyright in them and in the Work executed from them, and they shall not be used for any other work or project.
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KEY PLAN (N.T.S.)



	9.	ISSUED FOR TENDER	22 FEB 15	СР
	8.	ISSUED FOR PERMIT	22 FEB 03	СР
	7.	ISSUED FOR 90% REVIEW	22 JAN 21	DB
	6.	ISSUED FOR 90% REVIEW	21 DEC 03	DB
1	No.	Revision	Date	Ву



2778 Dufferin Street, Suite 104 Toronto, Ontario, M6B 3R7 Canada

Bold Engineering Inc.

Tel: 416-556-0766 Fax: 1-866-876-5758

engineering www.boldengineering.ca

Project Name

WRDSB - WORKSHOP ARCHITECTURE

HVAC UPGRADES & INTERIOR RENOVATIONS SMITHSON PUBLIC SCHOOL

150 BELLVIEW AVENUE, KITCHENER

Sheet Title

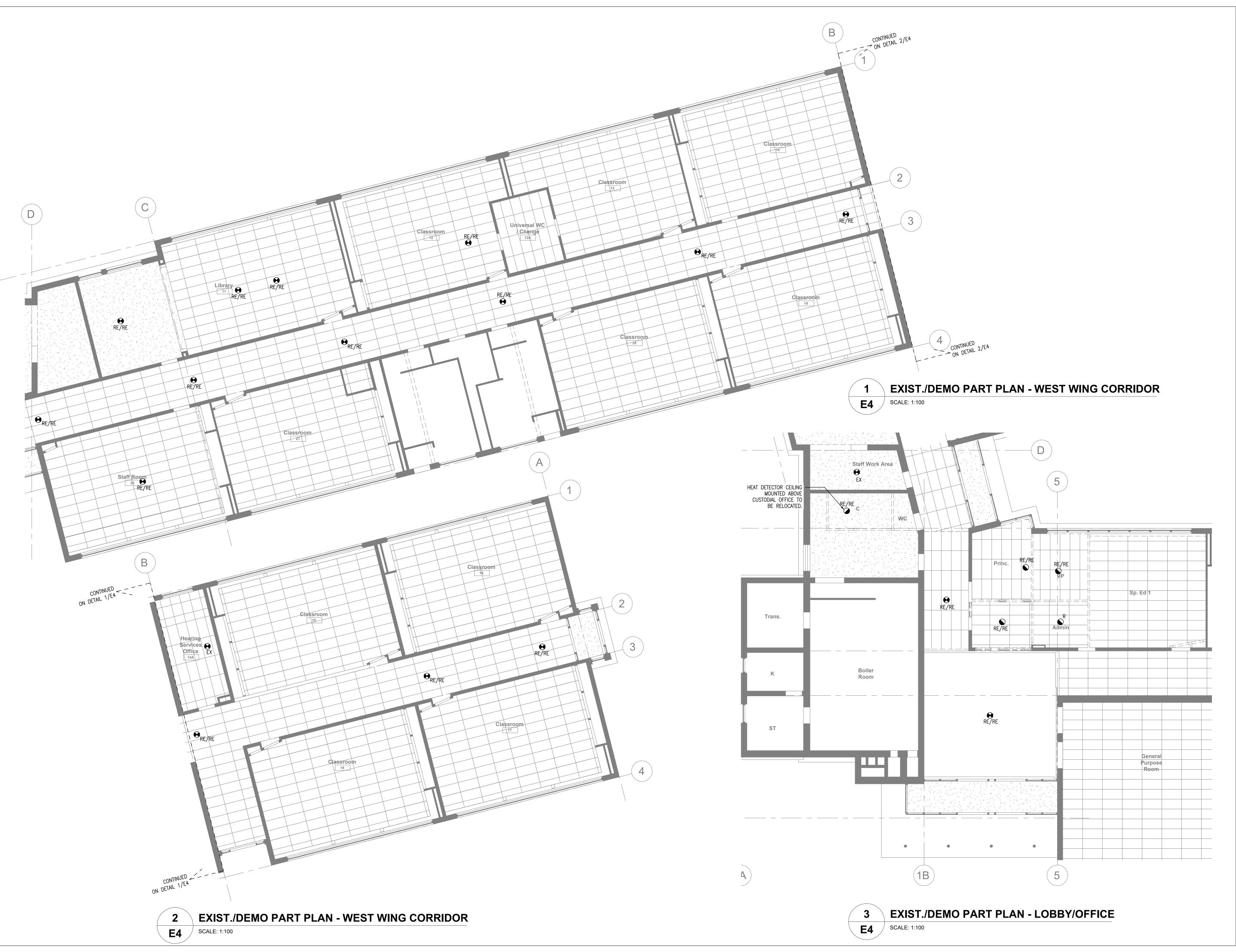
EXISTING/DEMO POWER PLANS

Drawn By DB Scale As Shown
Designed By DB Date November 26, 2020

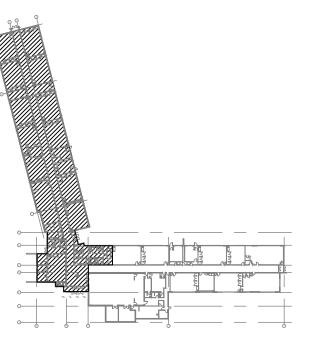
Sheet Number Revision

E3

Project Number B20-349.02A



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	10.	ISSUED FOR ADD-E01	22 MAR 04	СР
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Project Name

WRDSB - WORKSHOP
ARCHITECTURE
HVAC UPGRADES & INTERIOR RENOVATIONS

150 BELLVIEW AVENUE, KITCHENER

SMITHSON PUBLIC SCHOOL

Sheet Title

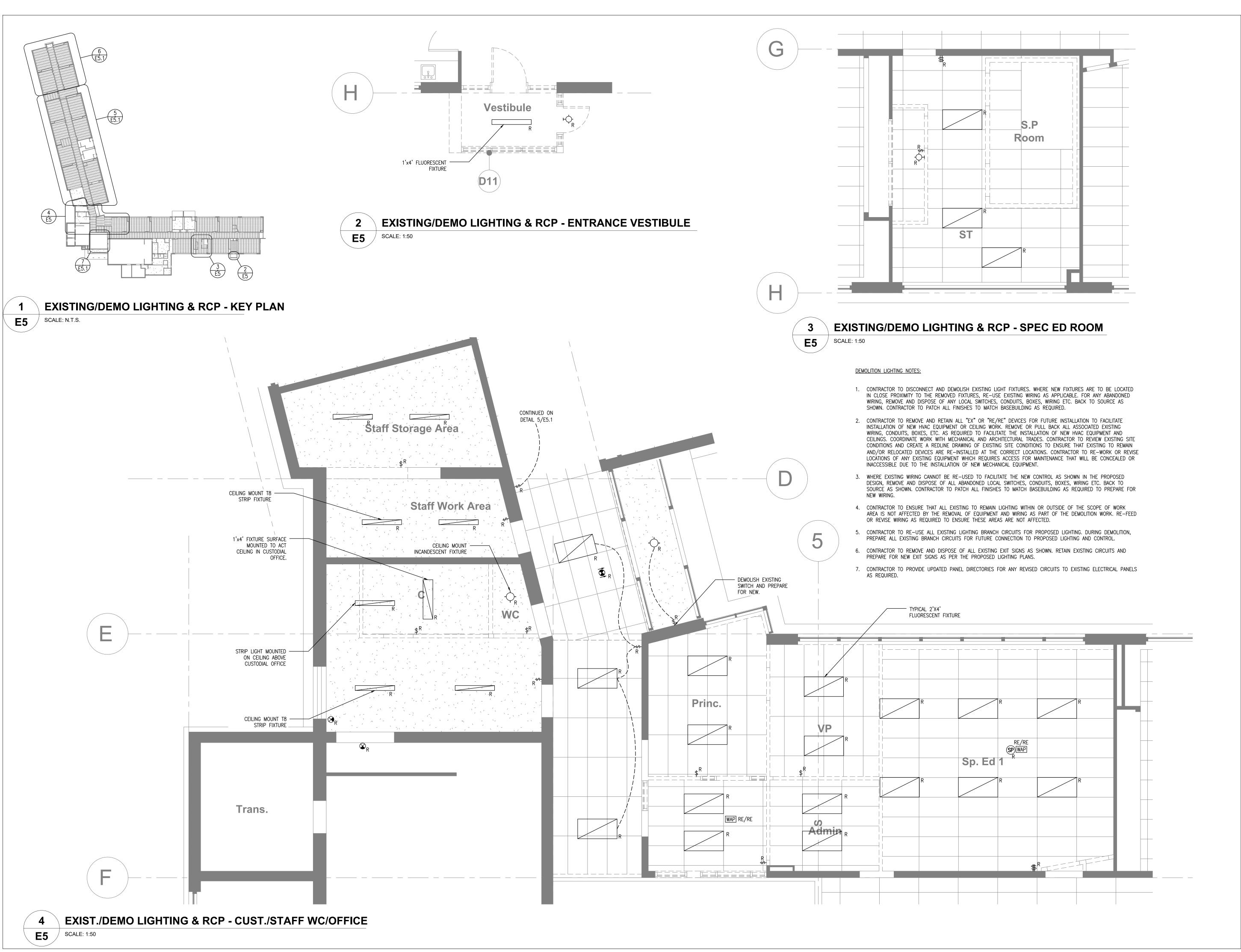
E4

EXISTING/DEMO FIRE ALARM PLANS

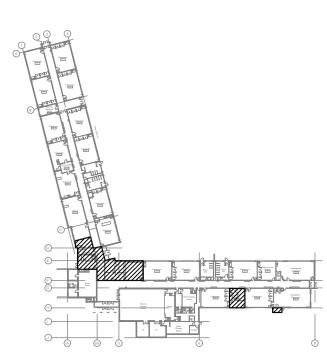
Drawn By DB Scale As Shown
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Project Number B20-349.02A

Sheet Number Revision



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Project Name

WRDSB - WORKSHOP ARCHITECTURE

HVAC UPGRADES & INTERIOR RENOVATIONS SMITHSON PUBLIC SCHOOL

150 BELLVIEW AVENUE, KITCHENER

Sheet Title

EXISTING/DEMO LIGHTING & REFLECTED CEILING PLANS

Drawn By DB Scale As Shown
Designed By DB Date November 26, 2020

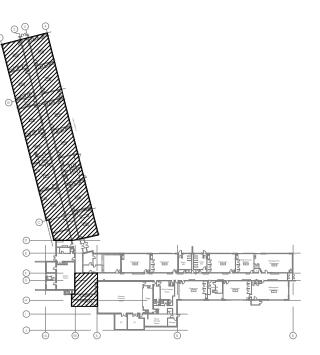
Project Number **B20-349.02A**Sheet Number

Sheet Number Revision

E5



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_	7.	ISSUED FOR 90% REVIEW	22 JAN 21	DB
	8.	ISSUED FOR PERMIT	22 FEB 03	СР
	9.	ISSUED FOR TENDER	22 FEB 15	СР
	10.	ISSUED FOR ADD-E01	22 MAR 04	СР



Toronto, Ontario, M6B 3R7

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engineering www.boldengineering.ca

Project Name

WRDSB - WORKSHOP ARCHITECTURE HVAC UPGRADES & INTERIOR RENOVATIONS

SMITHSON PUBLIC SCHOOL 150 BELLVIEW AVENUE, KITCHENER

Sheet Title

EXISTING/DEMO LIGHTING & REFLECTED CEILING PLANS

Drawn By DB Scale As Shown

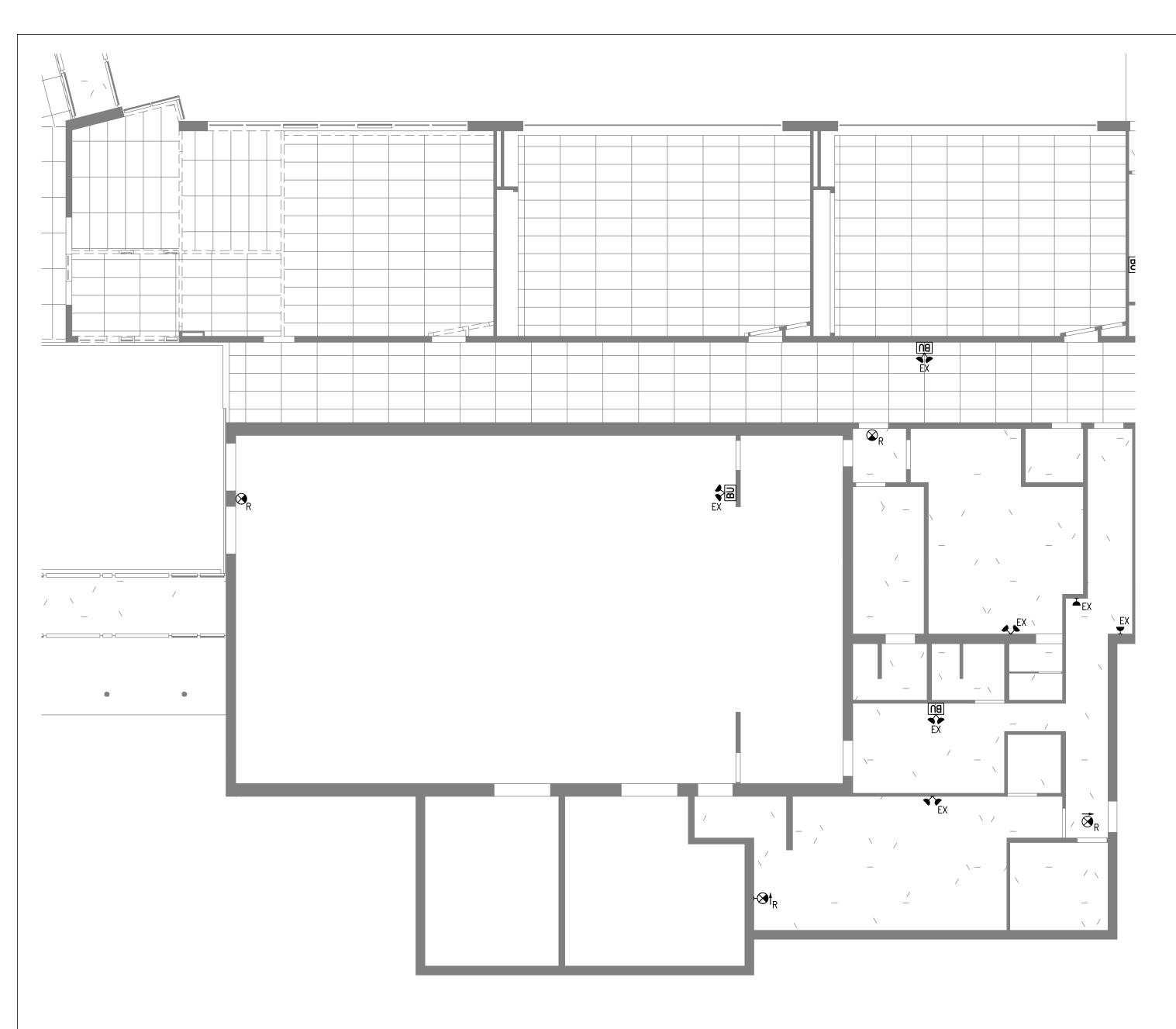
Designed By DB Date November 26, 2020

Sheet Number

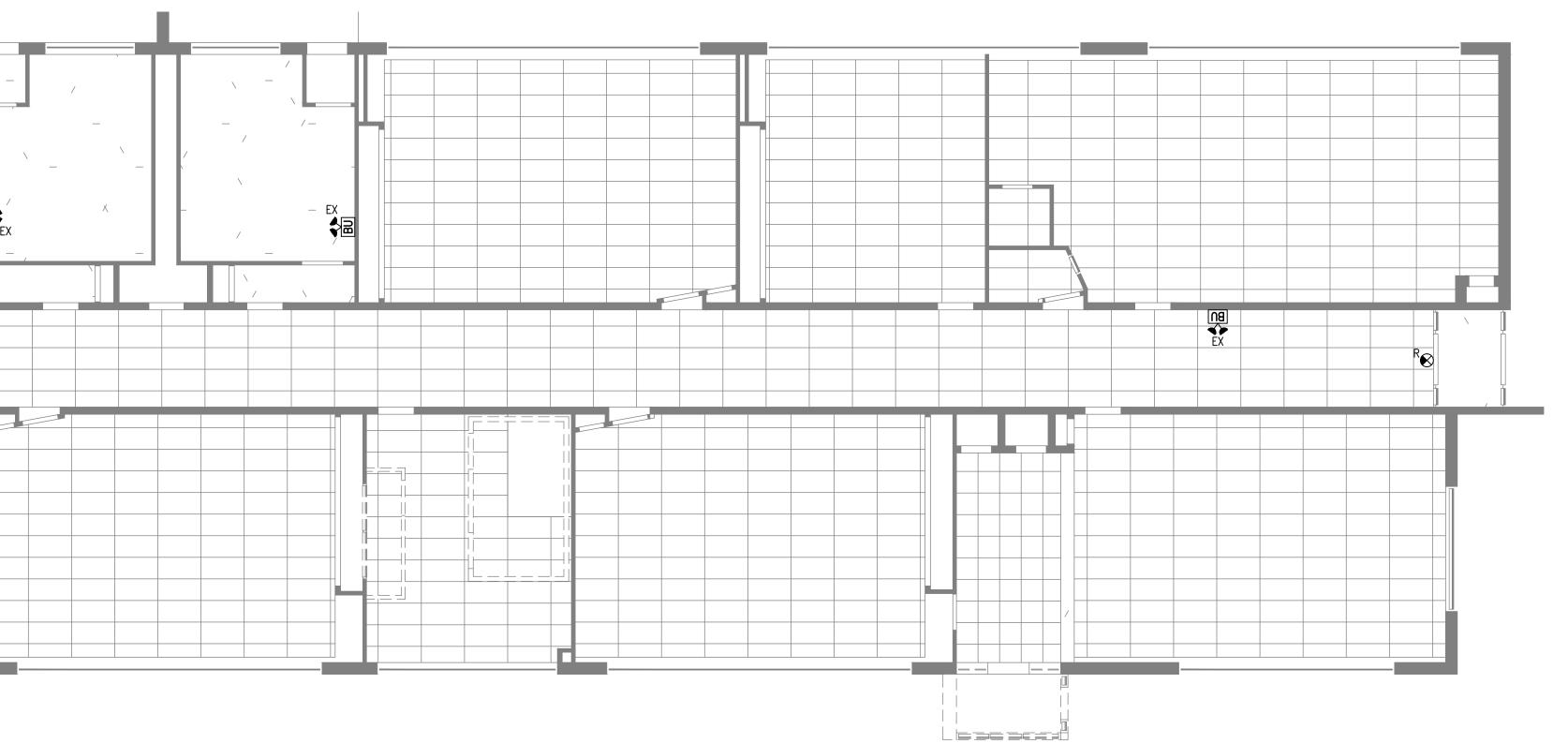
Project Number **B20-349.02A**

Revision

E5.1



EXIST./DEMO EM LITG/EXISTS - EAST WING/GYM **E5.2** SCALE: 1:100

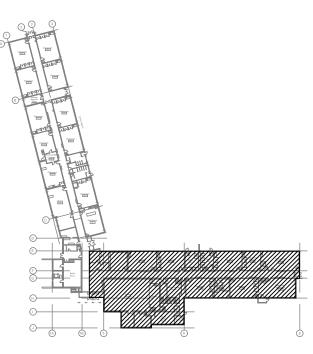


EXISTING/DEMO EM LLTG/EXITS - EAST WING COORIDOR

E5.2 SCALE: 1:100

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Project Name

WRDSB - WORKSHOP ARCHITECTURE

HVAC UPGRADES & INTERIOR RENOVATIONS SMITHSON PUBLIC SCHOOL

150 BELLVIEW AVENUE, KITCHENER

Sheet Title

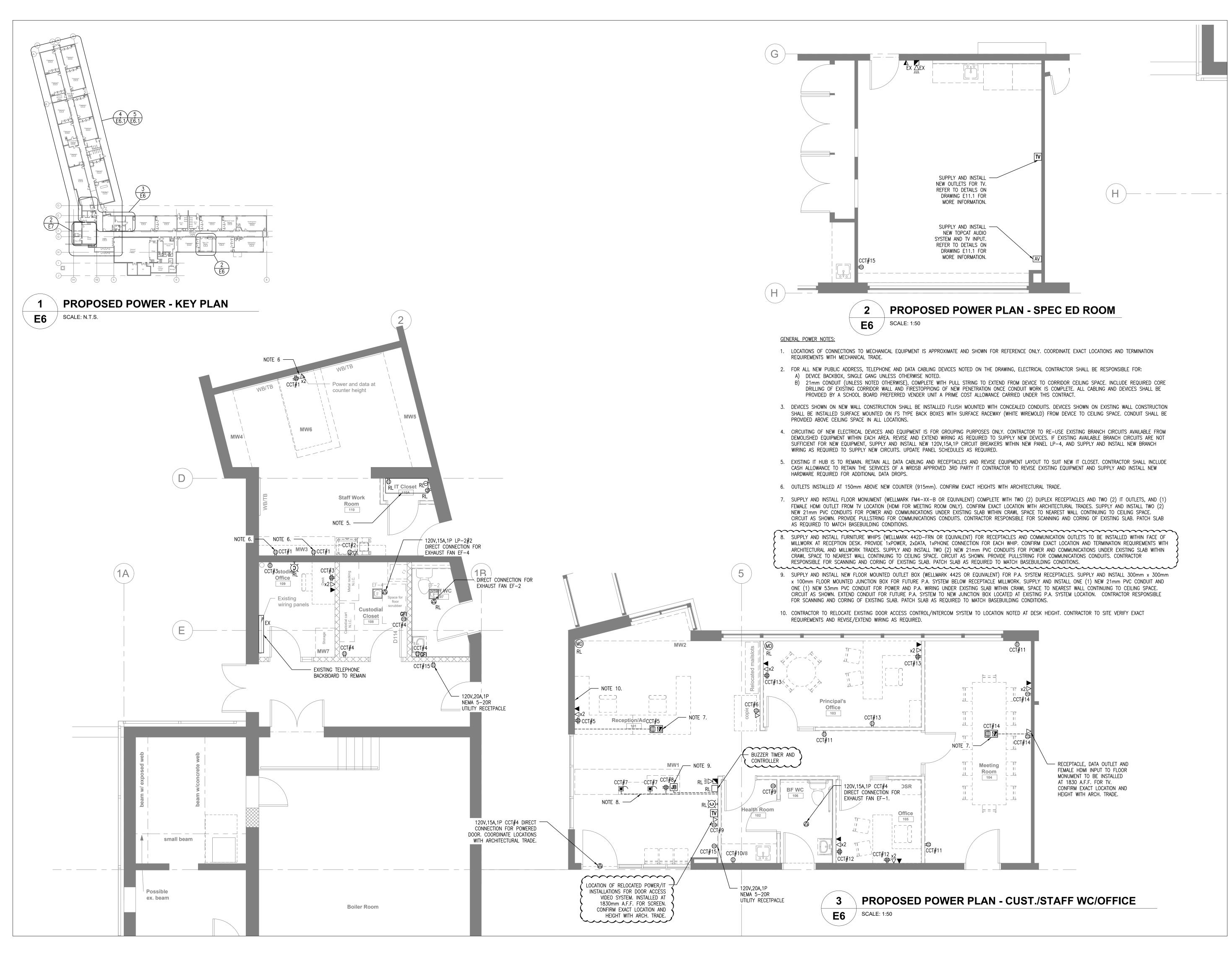
EXISTING/DEMO EMERGENCY LIGHTING & EXIT SIGN PLANS

Drawn By DB Scale As Shown Designed By DB Date November 26, 2020

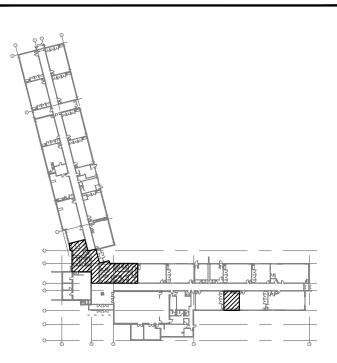
Project Number **B20-349.02A** Sheet Number

Revision

E5.2



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Project Name

E6

WRDSB - WORKSHOP
ARCHITECTURE
HVAC UPGRADES & INTERIOR RENOVATIONS

SMITHSON PUBLIC SCHOOL 150 BELLVIEW AVENUE, KITCHENER

50 BELLVIEW AVENUE, KITCH

Sheet Title

PROPOSED POWER PLANS

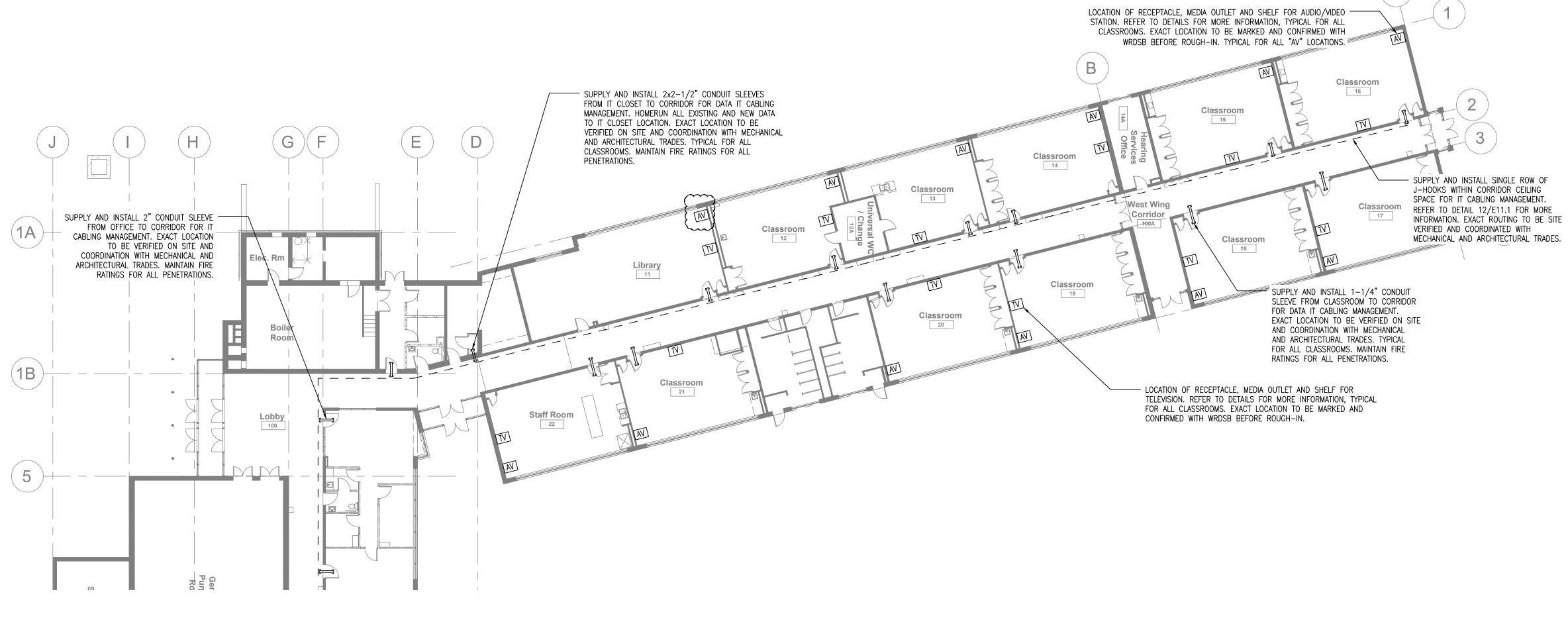
Drawn By DB Scale As Shown

Designed By DB Date November 26, 2020

Project Number **B20-349.02A**

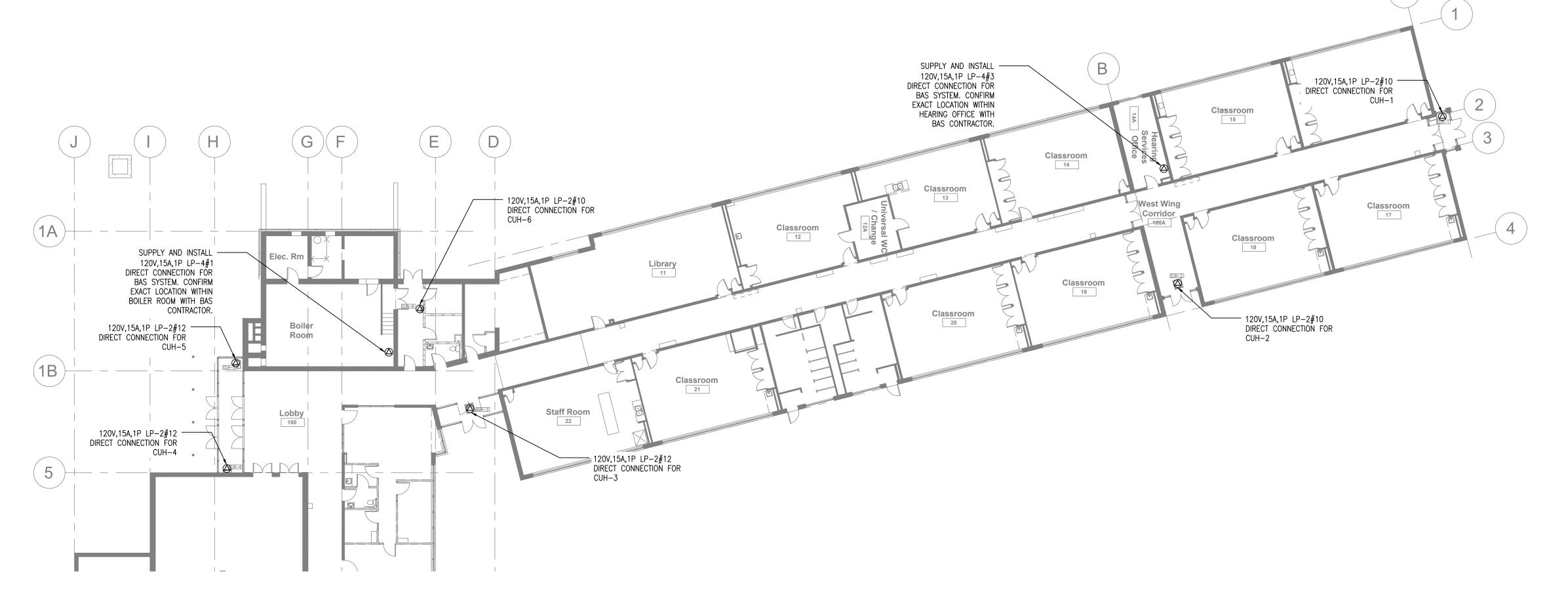
Sheet Number

mber Revision



IT & MEDIA PLAN - WEST WING CORRIDOR

E6.1 SCALE: 1:200

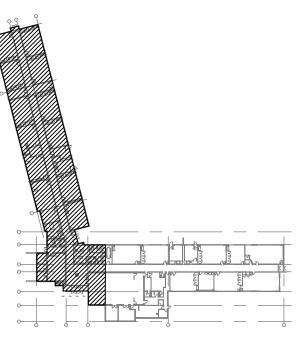


PROPOSED POWER PLAN - WEST WING CORRIDOR

E6.1 SCALE: 1:200

Drawing Notes

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Project Name

WRDSB - WORKSHOP ARCHITECTURE

HVAC UPGRADES & INTERIOR RENOVATIONS SMITHSON PUBLIC SCHOOL

150 BELLVIEW AVENUE, KITCHENER

Sheet Title

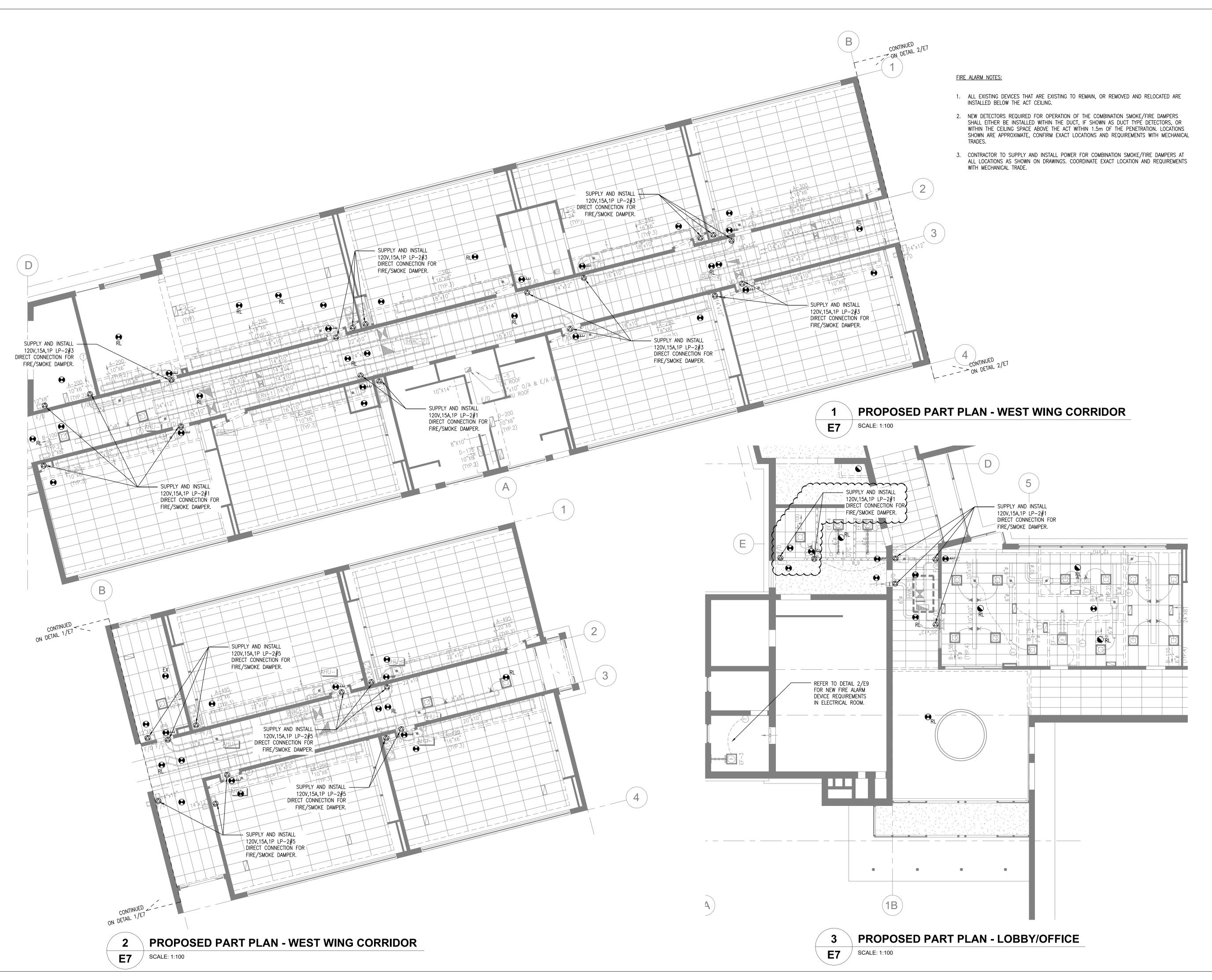
PROPOSED POWER PLANS

Drawn By	DB	Scale	As Shown
Designed By	DB	Date	November 26, 2020
Project Number	er B20- 3	349.02	4

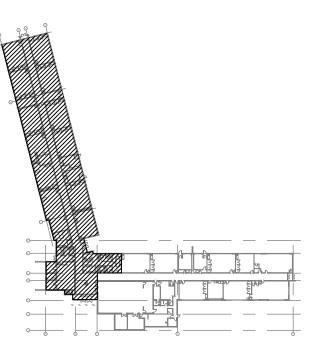
Sheet Number

Revision

E6.1



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10.	ISSUED FOR ADD-E01	22 MAR 04	CF



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Project Name

WRDSB - WORKSHOP ARCHITECTURE

HVAC UPGRADES & INTERIOR RENOVATIONS SMITHSON PUBLIC SCHOOL

150 BELLVIEW AVENUE, KITCHENER

Sheet Title

PROPOSED FIRE ALARM PLANS

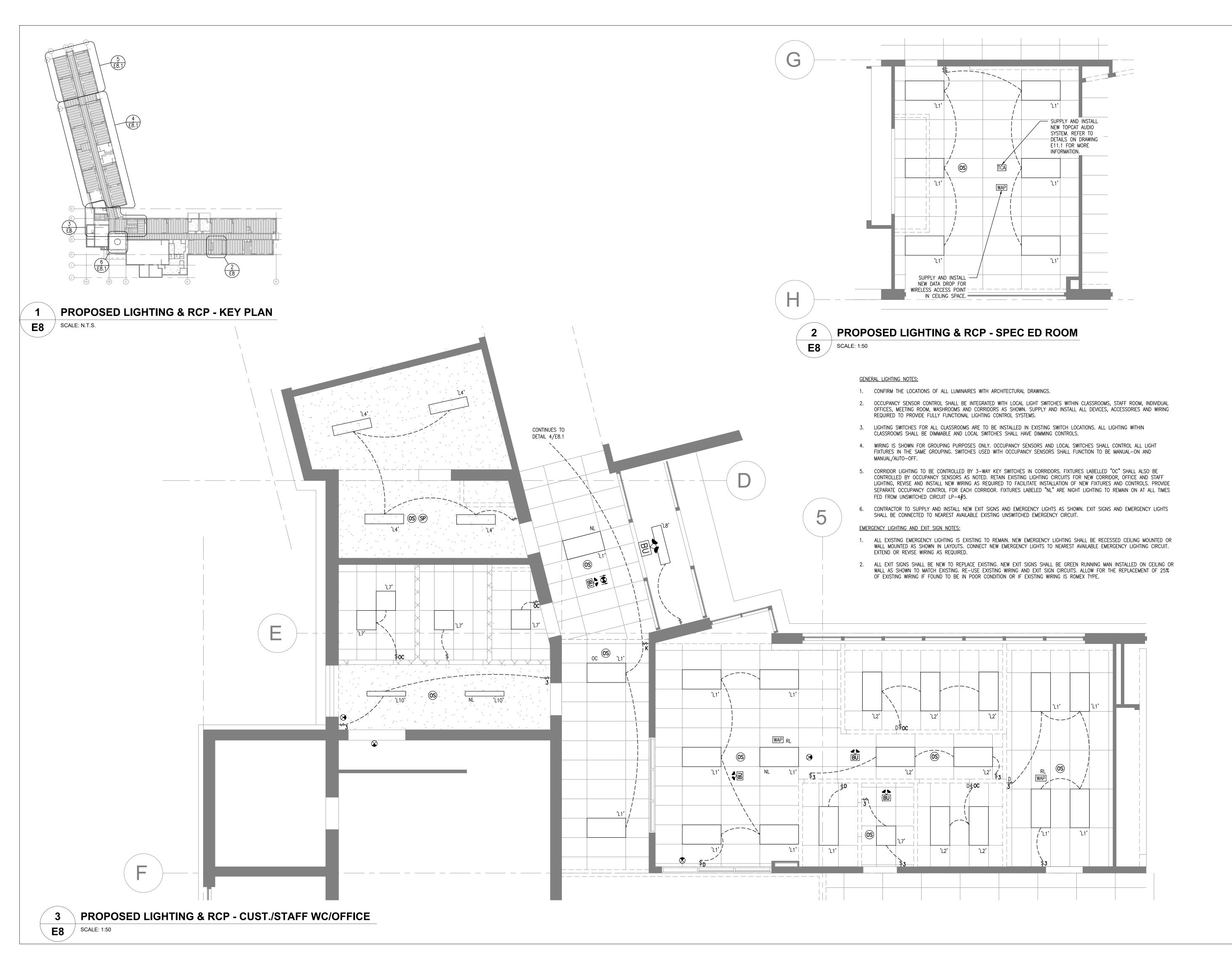
Drawn By DB Scale As Shown

Designed By DB Date November 26, 2020 Project Number **B20-349.02A**

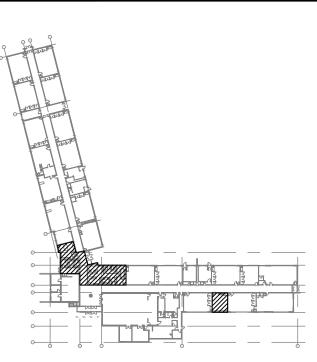
Sheet Number

E7

Revision



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'	No.	Revision	Date	В
	6.	ISSUED FOR 90% REVIEW	21 DEC 03	D
	7.	ISSUED FOR 90% REVIEW	22 JAN 21	D
	8.	ISSUED FOR PERMIT	22 FEB 03	С
	9.	ISSUED FOR TENDER	22 FEB 15	С
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Project Name

WRDSB - WORKSHOP ARCHITECTURE

HVAC UPGRADES & INTERIOR RENOVATIONS SMITHSON PUBLIC SCHOOL

150 BELLVIEW AVENUE, KITCHENER

Sheet Title

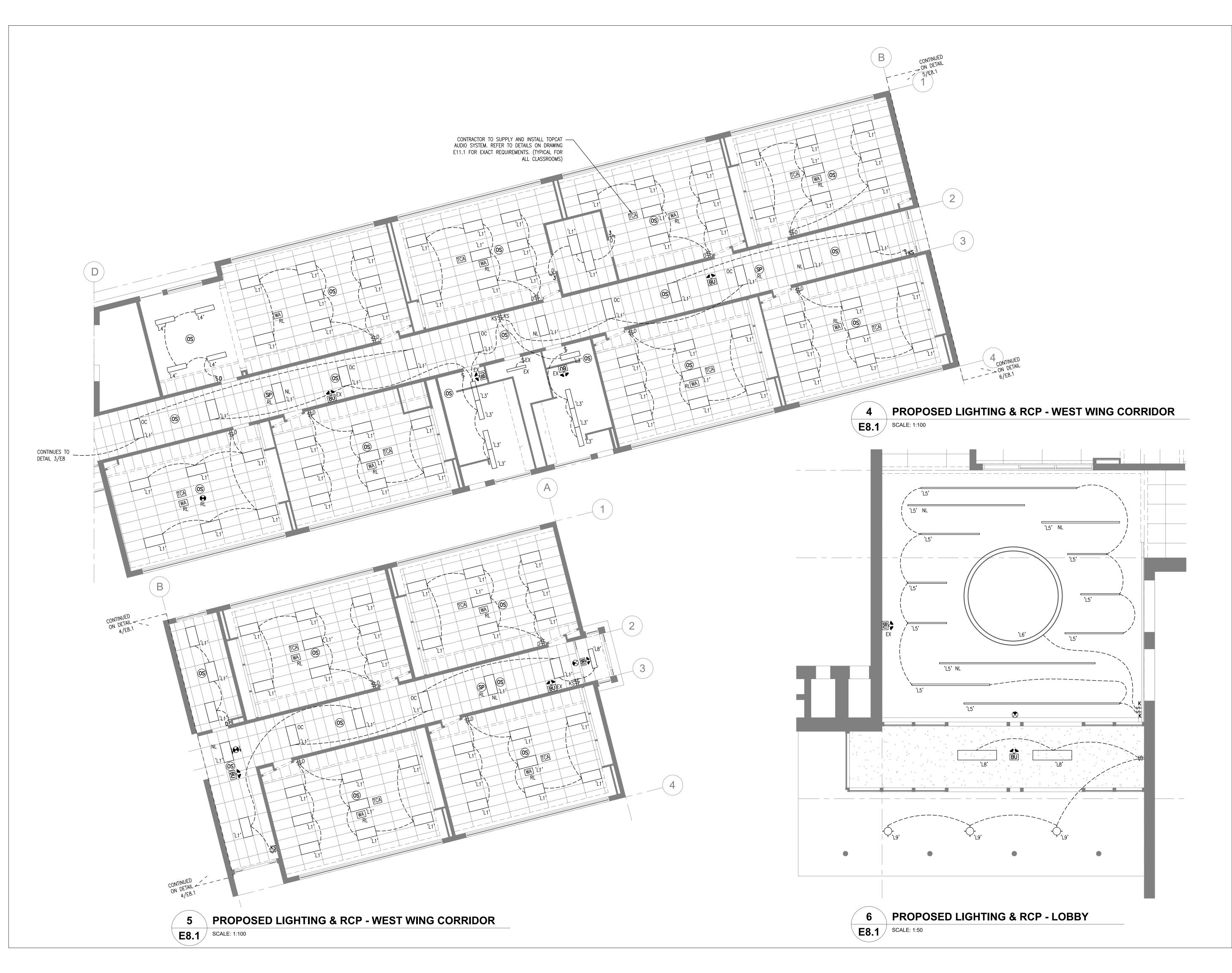
PROPOSED LIGHTING * REFLECTED CEILING PLANS

Drawn By DB Scale As Shown Designed By DB Date November 26, 2020

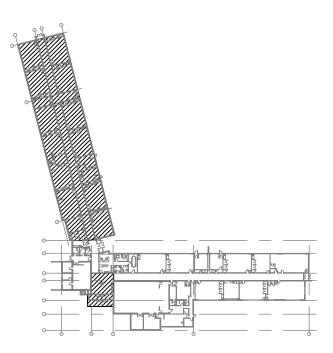
Sheet Number

Project Number B20-349.02A

Revision **E8**



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Project Name WRDSB - WORKSHOP

ARCHITECTURE HVAC UPGRADES & INTERIOR RENOVATIONS SMITHSON PUBLIC SCHOOL

150 BELLVIEW AVENUE, KITCHENER

Sheet Title

Sheet Number

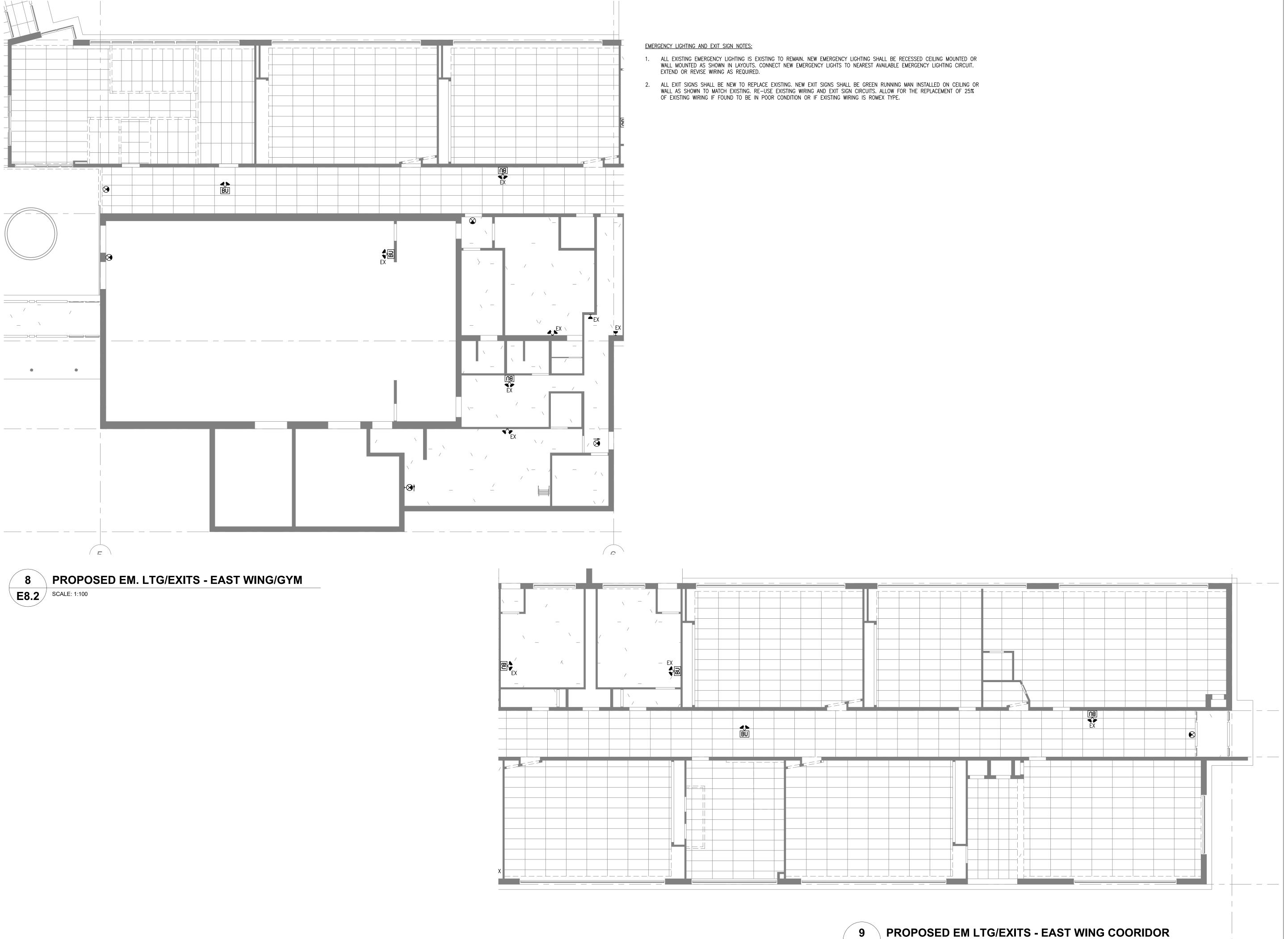
PROPOSED LIGHTING & REFLECTED CEILING PLANS

Drawn By DB Scale As Shown Designed By DB Date November 26, 2020

Project Number **B20-349.02A**

E8.1

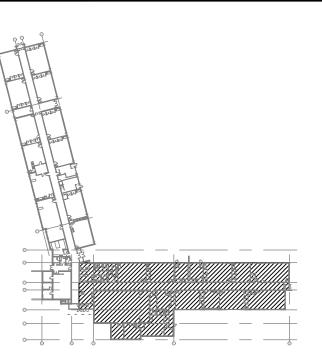
Revision



E8.2 SCALE: 1:100

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Project Name WRDSB - WORKSHOP ARCHITECTURE

HVAC UPGRADES & INTERIOR RENOVATIONS SMITHSON PUBLIC SCHOOL

150 BELLVIEW AVENUE, KITCHENER

Sheet Title

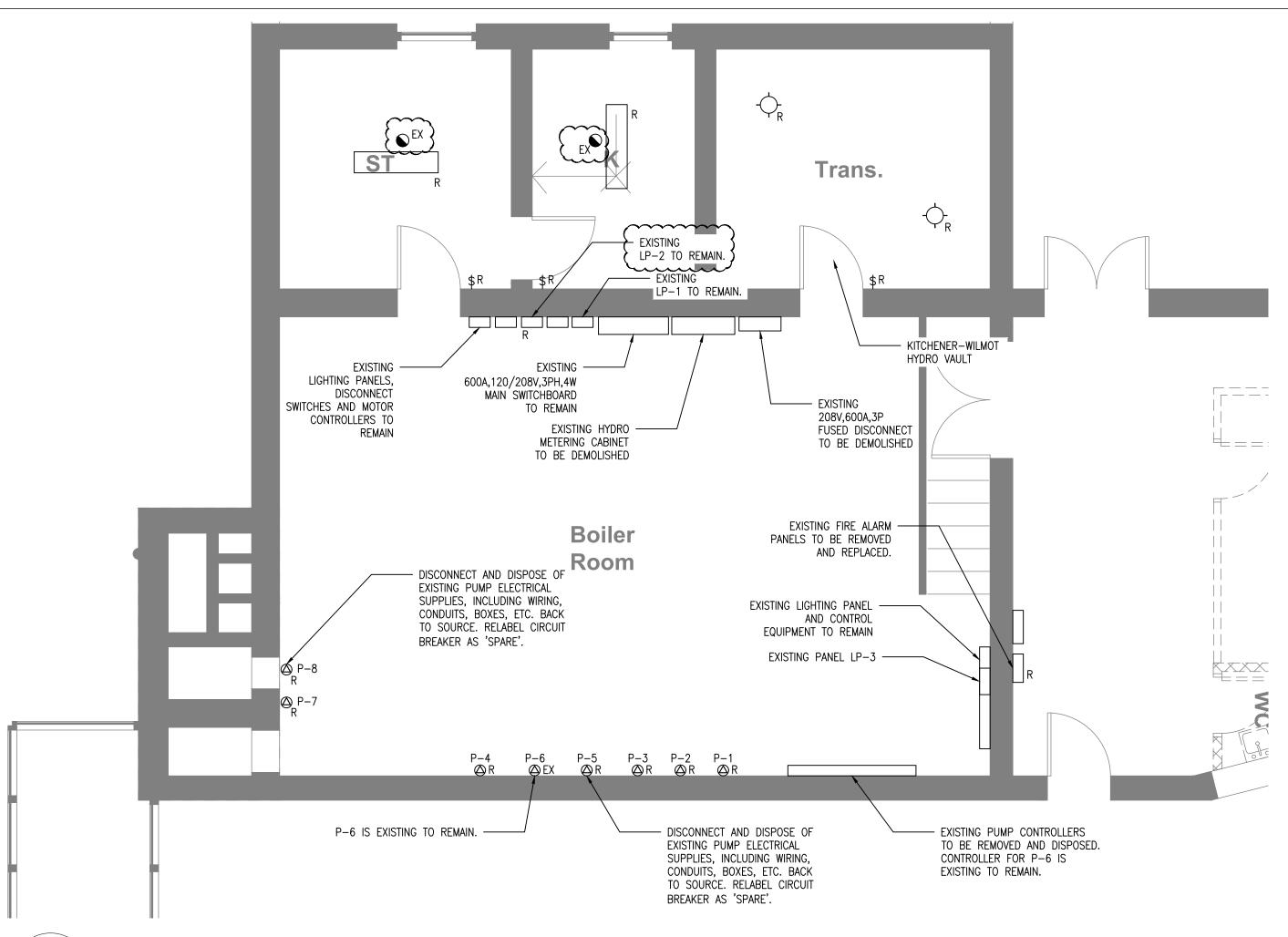
PROPOSED EMERGENCY LTG & EXIT SIGN PLANS - EAST WING

Drawn By DB Scale As Shown Designed By DB Date November 26, 2020

Sheet Number E8.2

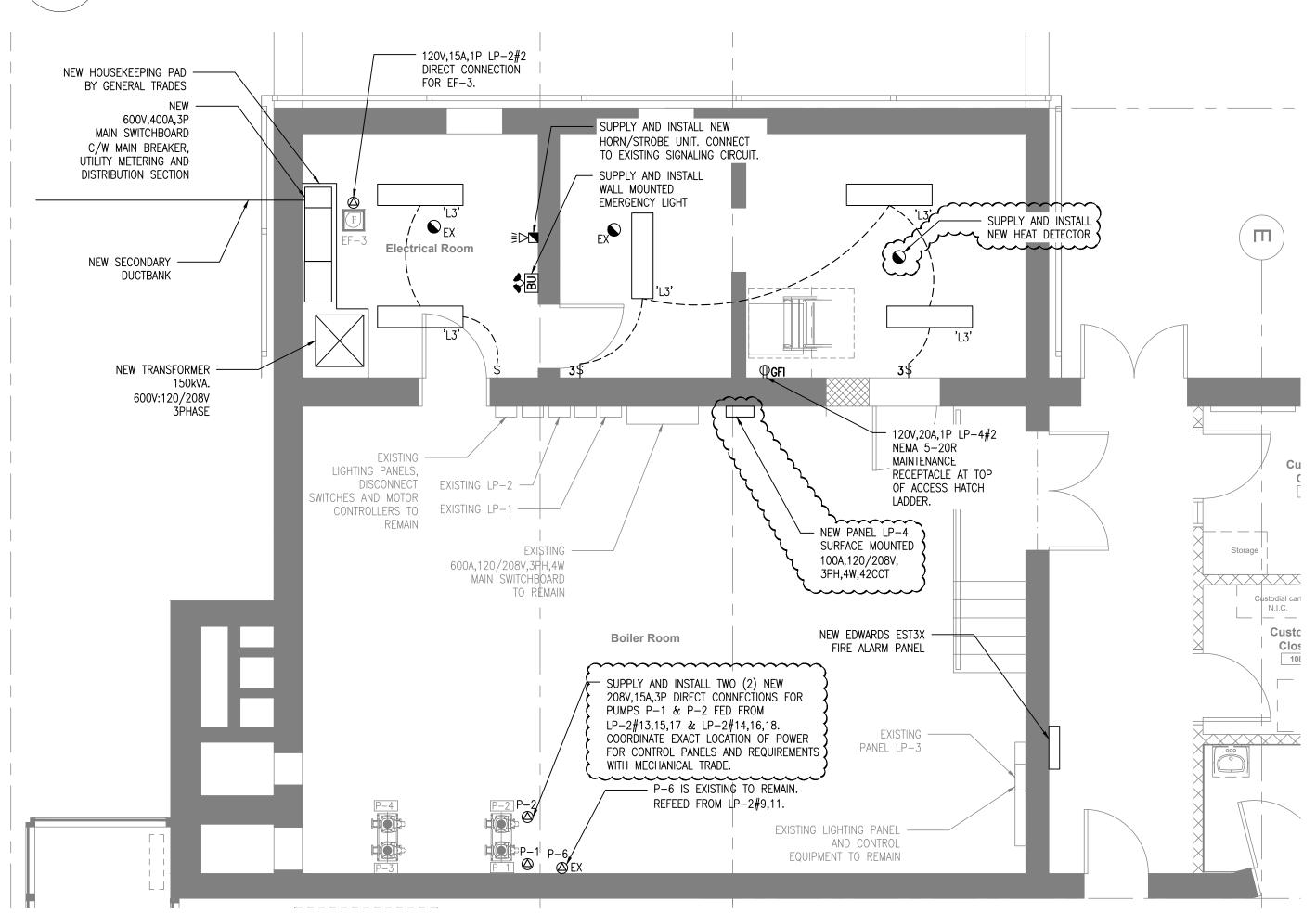
Project Number **B20-349.02A**

Revision



EXISTING/DEMOLITION EQUIPMENT LAYOUT - BOILER ROOM

E9 SCALE: 1:50

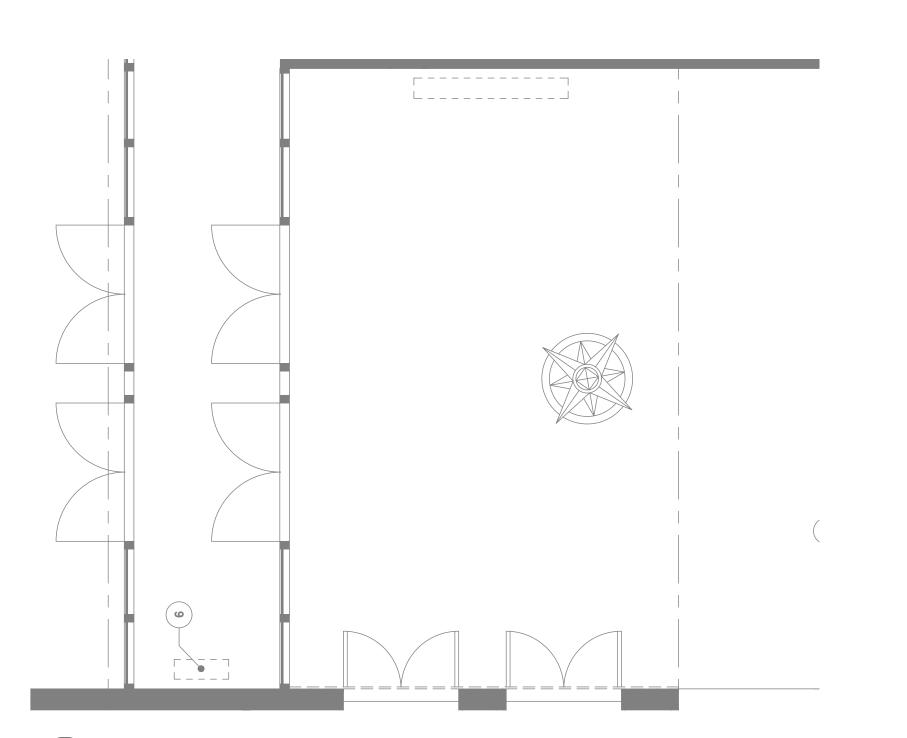


PROPOSED EQUIPMENT LAYOUT - BOILER ROOM

E9 SCALE: 1:50

FIRE ALARM SCOPE OF WORK:

- CONTRACTOR TO REMOVE AND DISPOSE OF EXISTING EDWARDS FIRESHIELD PLUS FIRE ALARM CONTROL PANEL AND ASSOCIATED ANNUNCIATOR. CONTRACTOR TO RETAIN ALL EXISTING CONVENTIONAL INITIATING DEVICE CIRCUITS AND ALL SIGNALING DEVICE CIRCUITS FOR NEW PANEL.
- 2) CONTRACTOR TO SUPPLY AND INSTALL NEW EDWARDS EST3X FIRE ALARM PANEL AND ANNUNCIATOR AT EXISTING PANEL LOCATIONS. CONTRACTOR TO INTEGRATE EXISTING INITIATING DEVICES ON CONVENTIONAL ZONES, AND EXISTING SIGNALING DEVICES WITH NEW PANEL.
- 3) CONTRACTOR TO SUPPLY AND INSTALL NEW CARDS FOR EST3X PANEL IN ORDER TO PICK UP EXISTING CONVENTIONAL ZONES. SUPPLY AND REVISE EXISTING END OF LINE DEVICES FOR EXISTING CONVENTIONAL ZONES WITH NEW AS NEEDED TO MATCH NEW PANEL REQUIREMENTS.
- 4) CONTRACTOR TO SUPPLY AND INSTALL ALL NEW ADDRESSABLE DEVICES AS SHOWN ON LAYOUT DRAWINGS AND SUPPLY AND INSTALL NEW ADDRESSABLE LOOP TO FIRE ALARM PANEL TO PICK UP ALL NEW DEVICES.
- 5) CONTRACTOR TO REMOVE AND RE-INSTALL ALL EXISTING INITIATING AND SIGNALING DEVICES MARKED AS 'RE/RE' AT NEW LOCATIONS MARKED AS 'RL'. REVISE AND/OR EXTEND EXISTING WIRING AS REQUIRED TO SUIT NEW LOCATIONS AND TO FACILITATE ARCHITECTURAL AND MECHANICAL ALTERATIONS.
- 6) CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING FIRE ALARM BELL/STROBE COMBINATION DEVICES AND SUPPLY AND INSTALL NEW HORN/STROBE DEVICES IN EXISTING LOCATIONS. ALL NEW HORN/STROBE DEVICES SHALL MATCH EXISTING VISUAL AND AUDIO PATTERNS.
- 7) CONTRACTOR TO SUPPLY AND INSTALL NEW ADDRESSABLE DUCT SMOKE DETECTORS AT LOCATIONS SHOWN FOR INITIATING THE COMBINATION FIRE/SMOKE DAMPERS. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH MECHANICAL TRADE. DUCT SMOKE DETECTORS SHALL BE INSTALLED WITHIN 1.5m HORIZONTALLY OF THE DUCT IN THE FIRE SEPARATION DOWNSTREAM OF THE COMBINATION FIRE AND SMOKE DAMPER. SUPPLY AND INSTALL 120V,15A,1P DIRECT CONNECTIONS AT EACH FIRE & SMOKE DAMPER LOCATION AS SHOWN.
- 8) CONTRACTOR SHALL SUPPLY AND INSTALL NEW ADDRESSABLE MODULES AT EACH COMBINATION FIRE AND SMOKE DAMPER LOCATION. CONFIRM EXACT QUANTITIES AND LOCATIONS WITH MECHANICAL TRADE. MODULES SHALL BE EQUIPPED WITH A TROUBLE AND OUTPUT RELAY FOR MONITORING AND INITIATING THE SMOKE DAMPERS. PROGRAM FIRE RELAY MODULE TO CLOSE THE SMOKE DAMPER UPON SIGNAL FROM THE ASSOCIATED SMOKE DETECTORS.
- 9) SUPPLY AND INSTALL ACCESS DOORS AS REQUIRED FOR DAMPER/MODULE INSPECTION AND TESTING. COORDINATE WITH ARCHITECTURAL TRADE.
- 10) CONTRACTOR SHALL SUPPLY AND INSTALL AN ALARM CONTACT AND WIRING FROM THE FACP TO EACH ROOFTOP HVAC UNIT FOR AUTOMATIC SHUTDOWN UPON ACTIVATION OF ANY ASSOCIATED SMOKE DETECTORS. CONFIRM EXACT REQUIREMENTS WITH MECHANICAL TRADE.
- 11) CONTRACTOR TO SUPPLY AND INSTALL A SET OF DRY CONTACTS WITHIN FACP FOR BAS NOTIFICATION. CONFIRM EXACT REQUIREMENTS WITH BAS SYSTEM SUPPLIER.
- 12) CONTRACTOR TO SUPPLY AND INSTALL WIRING, DEVICES AND ACCESSORIES TO PROVIDE MONITORING OF COMBINATION FIRE AND SMOKE DAMPER ACTUATOR POWER SUPPLY CIRCUITS LP-2#1,3,5 WHICH SHALL PROVIDE A TROUBLE SIGNAL UPON LOSS OF POWER.
- 13) CONTRACTOR SHALL REPLACE ALL EXISTING BELL/STROBE SIGNALING DEVICES WITH NEW HORN/STROBE DEVICES. RE—USE EXISTING WIRING AND SUPPLY AND INSTALL ALL DEVICES, MOUNTING PLATES, ETC REQUIRED FOR INSTALLATION. PATCH WALLS TO MATCH BASEBUILDING FINISHES.
- 14) CONTRACTOR SHALL MAINTAIN EXISTING CALL SIGNAL TO FIRE ALARM DEPARTMENT AND INTEGRATE WITH NEW PANEL.
- 15) RETAIN THE SERVICES OF TROY LIFE & SAFETY LTD. (CONTACT CALEB JOHNSON 519-807-4489, CALEB.JOHNSON@TROYLFS.COM) TO TEST, VERIFY AND COMMISSION THE NEW FIRE ALARM PANEL, DEVICES, SIGNALING AND CONTROLS. PROGRAMMING AND COMMISSIONING OF FACP SHALL BE INCLUDED AS PART OF THIS CONTRACT.
- 16) RETAIN THE SERVICES OF A WRDSB APPROVED QUALIFIED LIFE SAFETY TESTING AGENCY TO COMPLETE CAN/ULC S1001 INTEGRATING LIFE SAFETY TESTING.

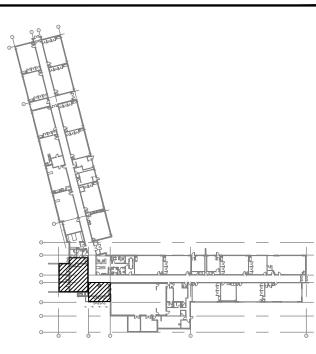


PROPOSED EQUIPMENT LAYOUT - MAIN ENTRANCE VESTIBULE

E9 SCALE: 1:50

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Project Name

WRDSB - WORKSHOP ARCHITECTURE

HVAC UPGRADES & INTERIOR RENOVATIONS
SMITHSON PUBLIC SCHOOL

150 BELLVIEW AVENUE, KITCHENER

Sheet Title

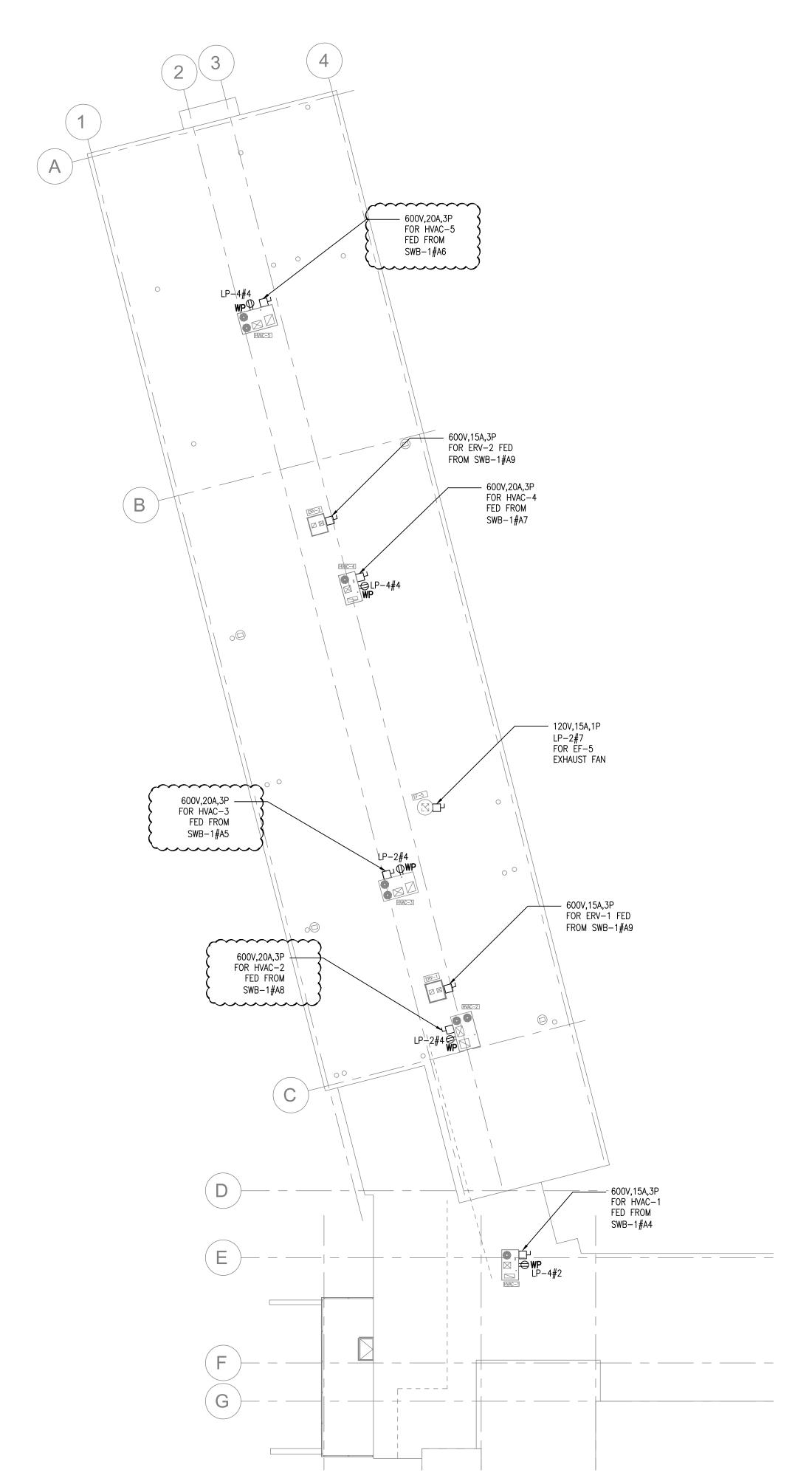
ELECTRICAL AND BOILER ROOM LAYOUTS

Drawn By DB Scale As Shown
Designed By DB Date November 26, 2020

Project Number **B20-349.02A**

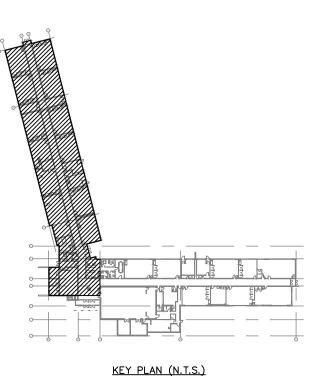
Sheet Number Revision

E9





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6. No.	Revision	21 DEC 03 Date	DB Bv
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WRDSB - WORKSHOP ARCHITECTURE

HVAC UPGRADES & INTERIOR RENOVATIONS SMITHSON PUBLIC SCHOOL

150 BELLVIEW AVENUE, KITCHENER

Sheet Title

PROPOSED ROOFTOP POWER PLAN

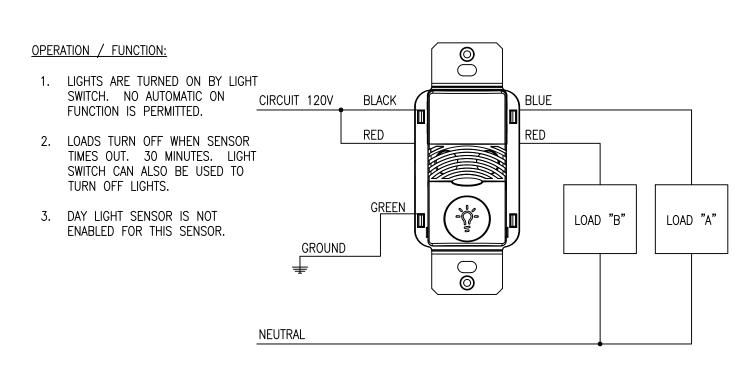
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Designed By DB Date November 26, 2020

Sheet Number

Project Number **B20-349.02A**

Revision

E10



WALL SWITCH OCCUPANCY SENSOR DETAIL E11 / SCALE: N.T.S.

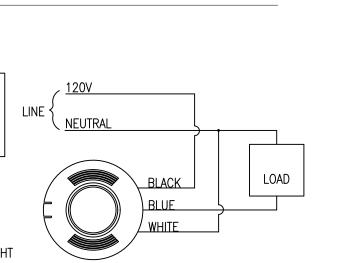
AUTOMATIC MODE OPERATION:

- WHEN SENSOR ACTIVATES LOAD TURNS ON.
- 2. LOAD TURNS OFF WHEN SENSOR TIMES OUT.

OPERATION / FUNCTION:

E11 /

- 1. LIGHTS ARE TURNED ON BY LIGHT SWITCH. NO AUTOMATIC ON FUNCTION IS PERMITTED.
- 2. LOADS TURN OFF WHEN SENSOR TIMES OUT. 30 MINUTES. LIGHT SWITCH CAN ALSO BE USED TO TURN OFF LIGHTS.
- 3. WHERE DIMMER SWITCH IS REQUIRED, PLEASE CONNECT AS PER MANUFACTURER'S INSTRUCTIONS.
- 4. DAY LIGHT SENSOR IS NOT ENABLED FOR THIS SENSOR.



CEILING MOUNT OCCUPANCY SENSOR DETAIL SCALE: N.T.S.



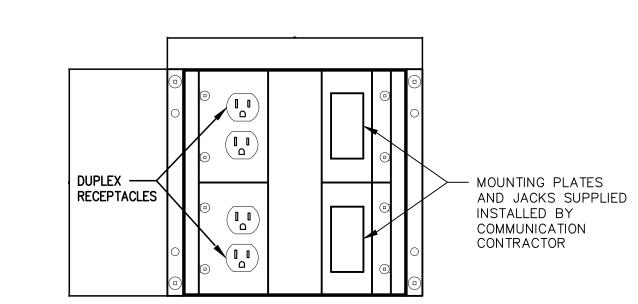








EXISTING PHONE BACKBOARD E11 SCALE: N.T.S.



TOP VIEW

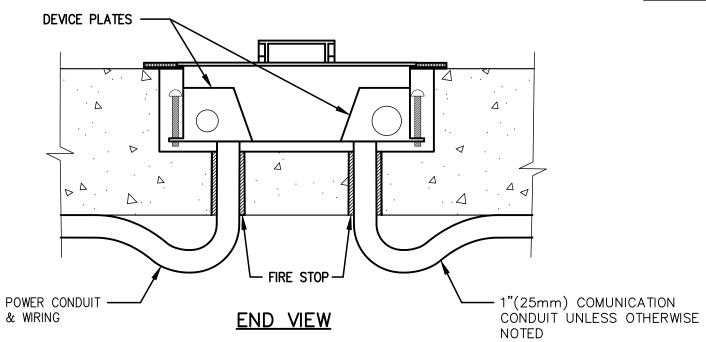
1. FLOOR BOX SHALL BE NEPCO, WELLMARK OR CANADIAN ELECTRICAL RACEWAYS,

SYMBOL ON PLAN :

"LOW PROFILE SERIES".

2. FLOOR BOX FINISH TO BE BLACK.

NOTES:

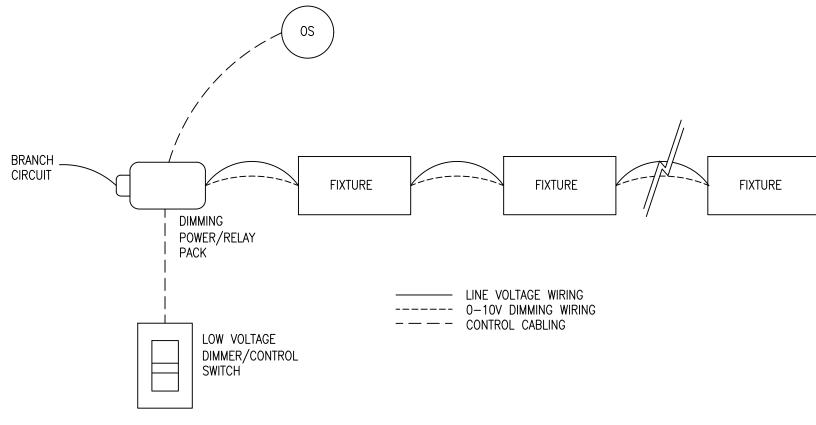


SIDE VIEW

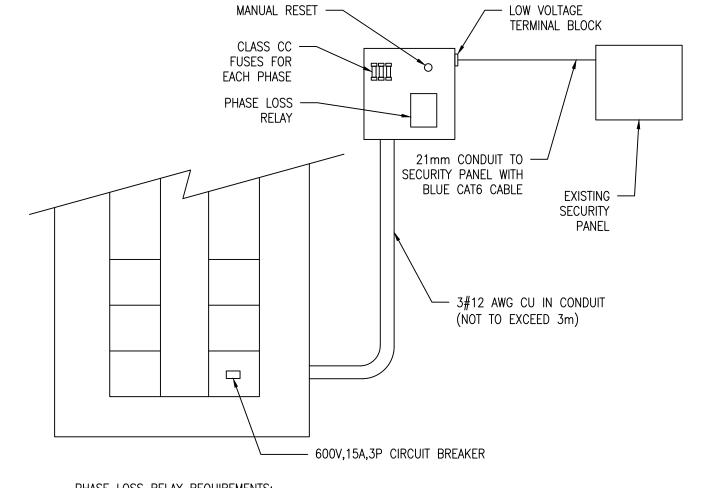
FLOOR BOX DETAIL

E11 /

SCALE: N.T.S.



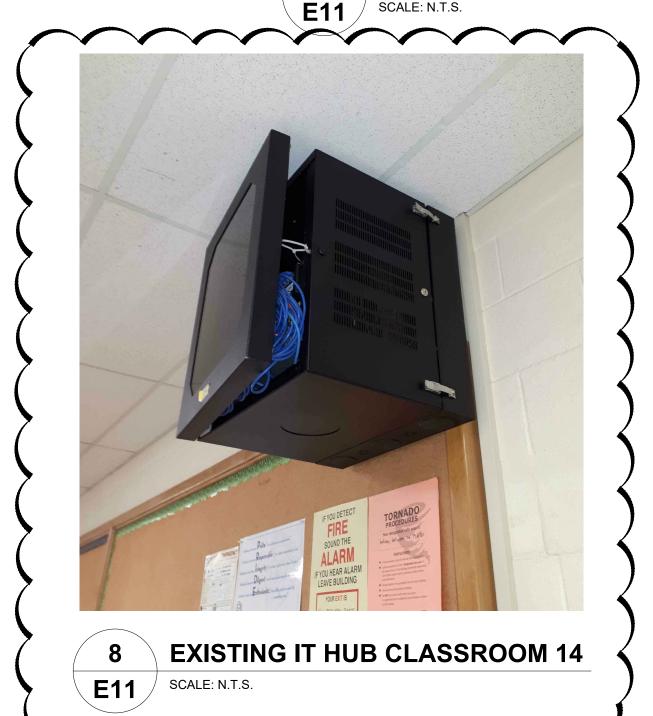
OCCUPANCY SENSOR WITH DIMMING DETAIL E11 / SCALE: N.T.S.



PHASE LOSS RELAY REQUIREMENTS:

- 1. SUPPLY AND INSTALL 250mm x 250mm x 150mm BOX, PHASE LOSS RELAY (EATON D65VMLS600 OR EQUIVALENT) AND ACCESSORIES AS SHOWN. LABEL ON COVER STATING: "PHASE LOSE RELAY. CONTACT MONITORING COMPANY BEFORE DE-ENERGIZING".
- 2. MOUNT RELAY ON DIN RAIL AND SUPPLY AND INSTALL CLASS CC FUSING WITHIN BOX. SUPPLY AND INSTALL 2-#18 AWG WIRES FROM OUTPUT CONTACT TO LOW VOLTAGE TERMINAL STRIP ON EXTERIOR OF BOX. WHEN PHASE IS LOST, THE CONTACT SHALL OPEN. SUPPLY AND INSTALL 21mm CONDUIT FROM LOW VOLTAGE TERMINAL BLOCK TO SECURITY PANEL COMPLETE WITH BLUE CAT6 CMP CABLE. FINAL TERMINATIONS BY SECURITY SUBCONTRACTOR.
- 3. SUPPLY AND INSTALL NORMALLY CLOSED PUSHBUTTON ON FRONT OF BOX TO MANUALLY RESET THE RELAY. PUSHBUTTON SHALL BE FLUSH WITH THE BOX AND SHALL BE LABELED "MANUAL RESET".
- 4. ADJUST UNDERVOLTAGE TO MINIMUM, UNBALANCE TO MAXIMUM AND TRIP DELAY TO MAXIMUM TO AVOID NUISANCE TRIPPING.

PHASE LOSS RELAY DETAIL



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Project Name WRDSB - WORKSHOP

ARCHITECTURE HVAC UPGRADES & INTERIOR RENOVATIONS SMITHSON PUBLIC SCHOOL

150 BELLVIEW AVENUE, KITCHENER

Sheet Title

ELECTRICAL DETAILS

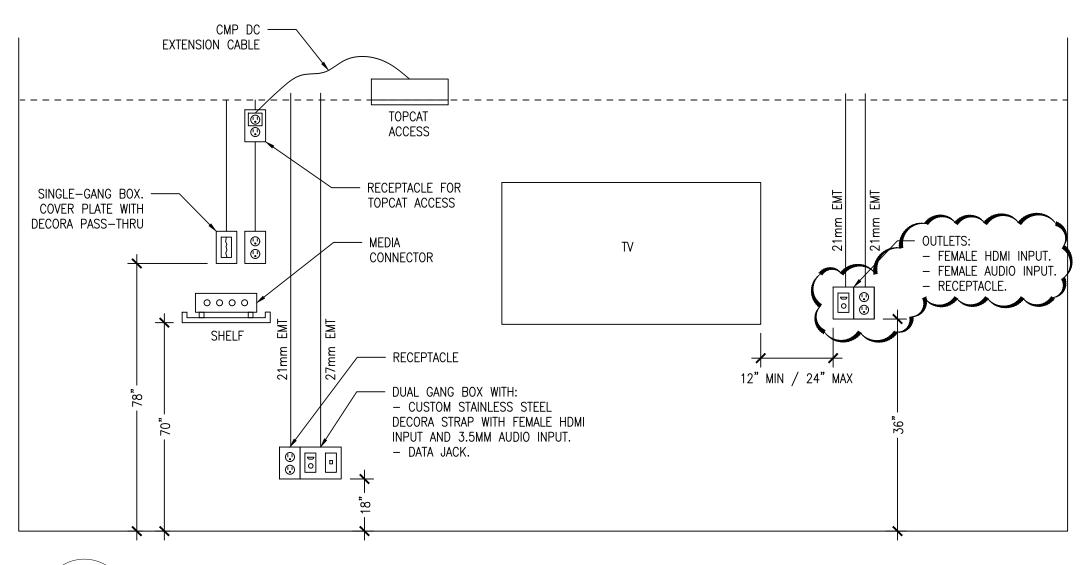
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Project Number **B20-349.02A** Sheet Number Revision

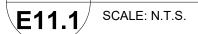
E11

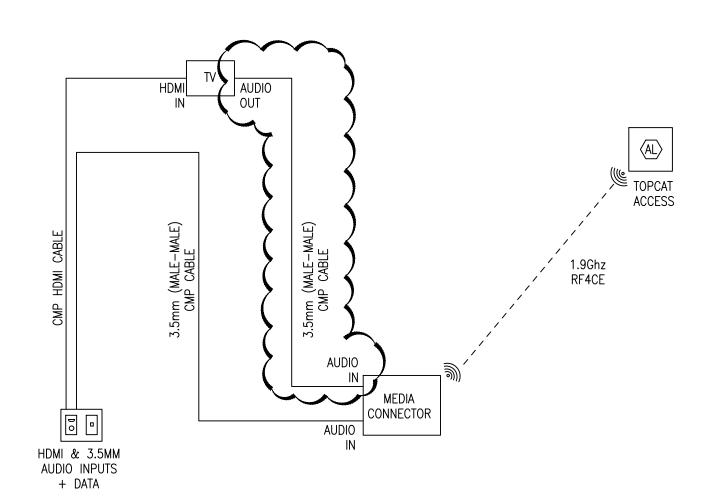
TOPCAT AUDIO AND TV REQUIREMENTS:

- 1. TOPCAT AUDIO SYSTEM SHALL BE SUPPLIED AND INSTALLED BY CONTRACTOR. SUPPLY AND INSTALL OF TV IS NOT PART OF ELECTRICAL CONTRACTOR SCOPE OF WORK.
- 2. ALL LOCATIONS FOR TV AND AV EQUIPMENT AND OUTLETS WITHIN CLASSROOMS IS APPROXIMATE. CONTRACTOR TO VERIFY AND RECOMMEND EXACT LOCATIONS BASED ON SITE CONDITIONS AND SUBMIT TO CONSULTANT FOR REVIEW AND APPROVAL.

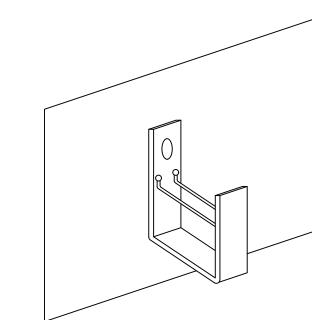












- 1. INCLUDE CABLE RETAINERS WITH HANGER.
- 2. HANGERS SHALL BE WALL MOUNTED WHERE POSSIBLE. WHEN NOT POSSIBLE, UNITS SHALL BE SUSPENDED FROM STRUCTURE WITH THREADED ROD.
- 3. CORRIDOR MOUNTED HANGERS SHALL BE IN-LINE. MAXIMUM SPACING TO
- 4. COORDINATE INSTALLATION OF HANGERS WITH MECHANICAL TRADE TO AVOID CONFLICTS.
- 5. INSTALLATION OF POWER CABLES WITHIN HANGERS IS NOT PERMITTED.
- 6. J-HOOKS TO BE EATON BCH64 OR APPROVED EQUIVALENT.

J-HOOK INSTALLATION DETAIL

E11.1 SCALE: N.T.S.

SYSTEM DESCRIPTION

- 1. Lightspeed TopCat Access is an all-in-one, ceiling-mount classroom audio system. A typical assistive listening system will include speakers, an integrated amplifier and a wireless audio receiver/transmitter.
- 2. The TopCat assistive listening system shall include the following features and components:
 - a. A two-way hybrid speaker system with an exciter technology sound panel and low frequency cone driver.
 - b. Cross over technology to deliver high speech intelligibility and full range sound with
 - even distribution throughout the classroom. c. Pendant-style microphones for whole classroom instruction, team-teaching or student

 - d. Wireless Media Connector to integrate with and wirelessly transmit all classroom multimedia to be played.
 - e. Devices communicate using wireless Access Technology (1.9Ghz + RF4CE). f. Suitable for use in return air plenums.

PRODUCTS

- 1. Typical Classrooms
- a. Assistive listening equipment manufactured by Lightspeed for a typical classroom (approximately 75 m²) shall consist of the following:
- i One (1) Model No. TCA
 - Topcat ceiling-mounted wireless audio base station
 - Plug-in power adapter
 - 50' plenum rated DC power cable kit
 - Hybrid speaker system consisting of exciter sound panel plus low frequency
 - Panel Size: 13.75" x 6.75"
 - Cone Driver Size: 5.25" Impedance: 8 Ω
 - Power Handling: 25W
 - (1) Tone control inside cabinet
 - Audio Input: (1) 3.5mm inside cabinet
 - Dimensions (W x D x H): 610 x 305 x 94mm

ii Two (2) Model No. FM

- Flexmike pendant-style wireless microphone
- AA NiMH rechargeable battery pack
- Lavaliere cord
- Audio distortion: <1%
- Integrated microphone type: uni-directional electret
- Audio input: (1) 3.5mm
- Earbud output: (1) 3.5mm
- Push button volume control: +/- 6dB (total range = 12 dB)
- Power: on/off/mute button
- Battery run time: 8 hours
- Dimensions (L x W x H): 74 x 28 x 25mm

iii One (1) Model No. FMCC

- Cradle charger for two Flexmikes
- Plug-in power adapter
- iv One (1) Model No. Media connector
- Wireless audio transmitter/receiver to integrate with classroom audio sources and send/receive the wireless signal to the Topcat system in the ceiling
- Plug-in power adapter • Audio Inputs: (4) 3.5mm stereo jacks connect to classroom audio sources
- Audio Outputs: (2) 3.5mm jack with volume control
- (1) Audio input volume control • (1) Audio output volume control
- (1) Power button with LED
- (1) Tone control • Dimensions (W x D x H): 193 x 104 x 28mm
- v One (1) wall-mounted, single shelf. Glass shelf.
- Black colour.



Typical Classroom Equipment on Wall Shelf

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HVAC UPGRADES & INTERIOR RENOVATIONS

Designed By DB Date November 26, 2020

Project Name

WRDSB - WORKSHOP ARCHITECTURE

SMITHSON PUBLIC SCHOOL

150 BELLVIEW AVENUE, KITCHENER

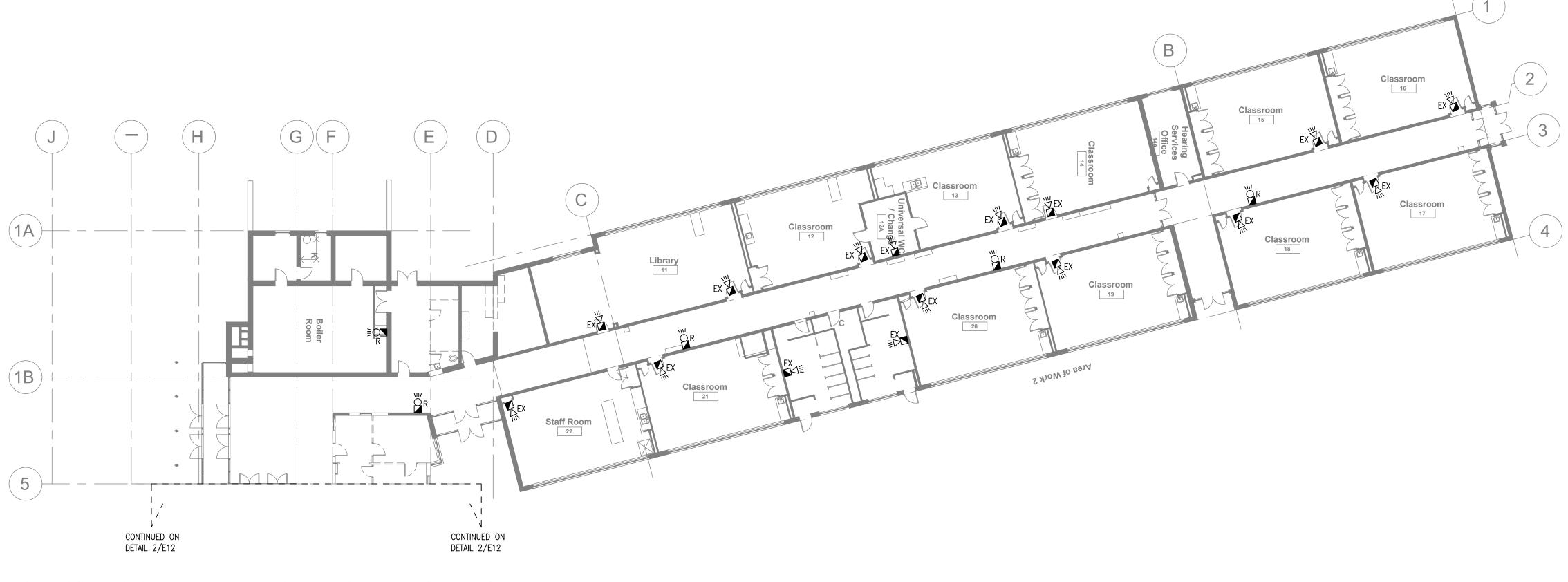
Sheet Title ELECTRICAL DETAILS

Drawn By DB Scale As Shown

Project Number B20-349.02A

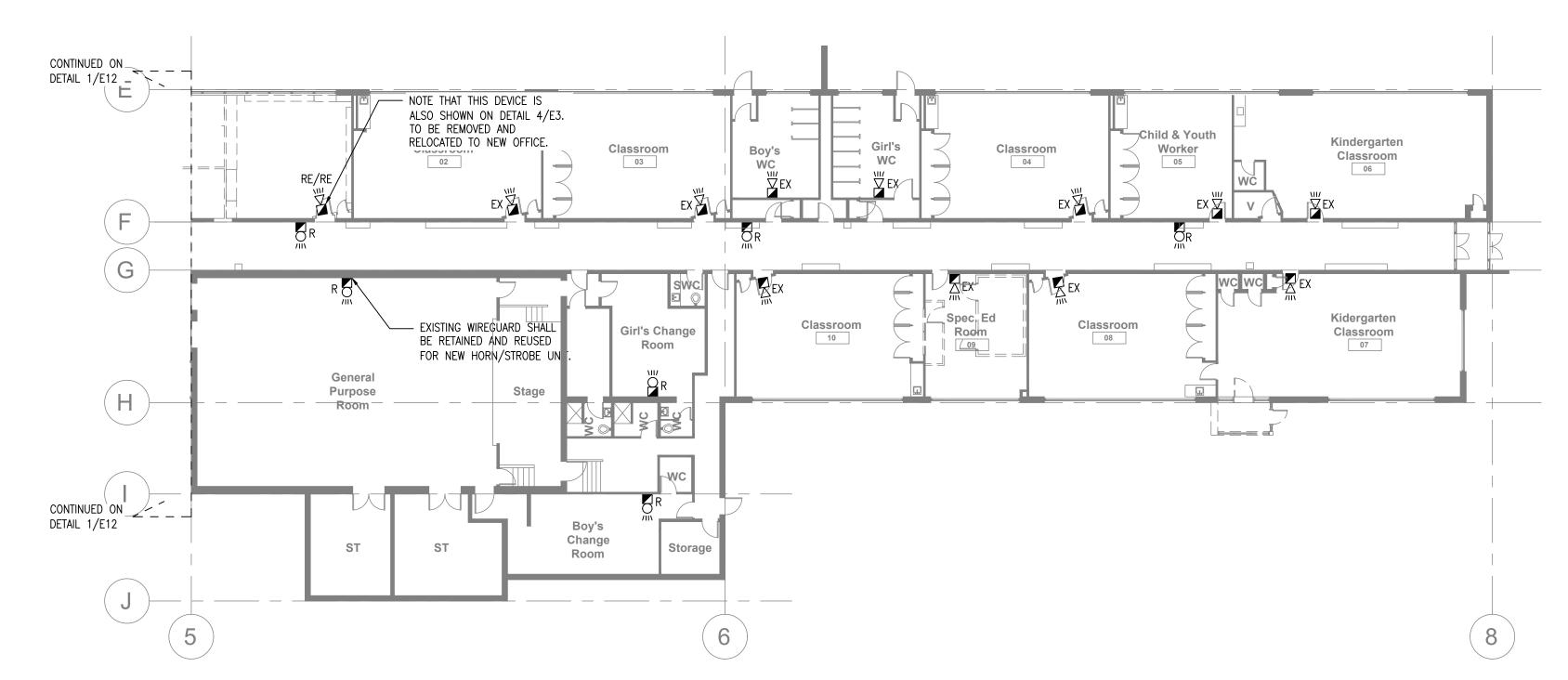
Sheet Number E11.1

Revision



EXISTING/DEMO SIGNALING DEVICE LAYOUT - WEST WING

E12 SCALE: 1:200



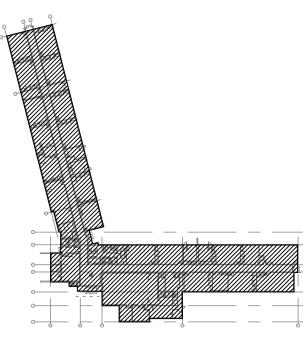


EXISTING/DEMO SIGNALING DEVICE LAYOUT - EAST WING

E12 SCALE: 1:200

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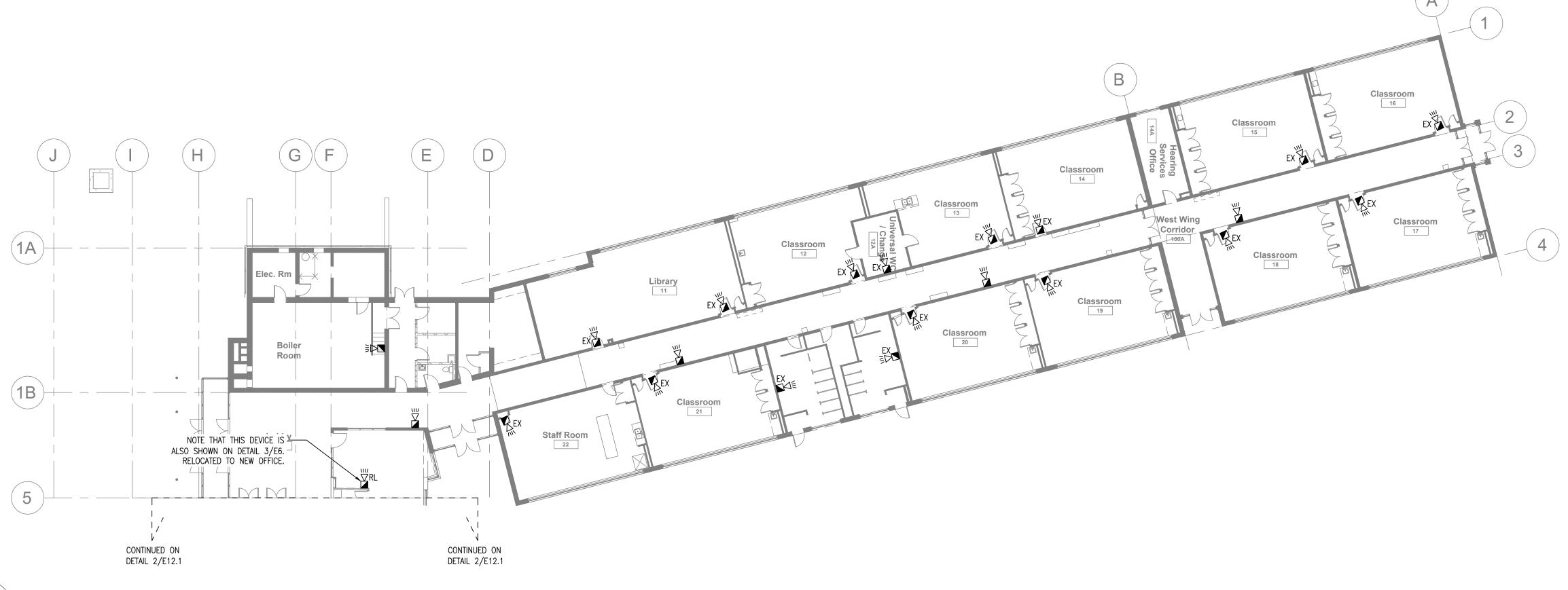
EXISTING/DEMOLITION SIGNALING DEVICE LAYOUT

Drawn By DB Scale As Shown Designed By DB Date November 26, 2020

Project Number B20-349.02A Sheet Number

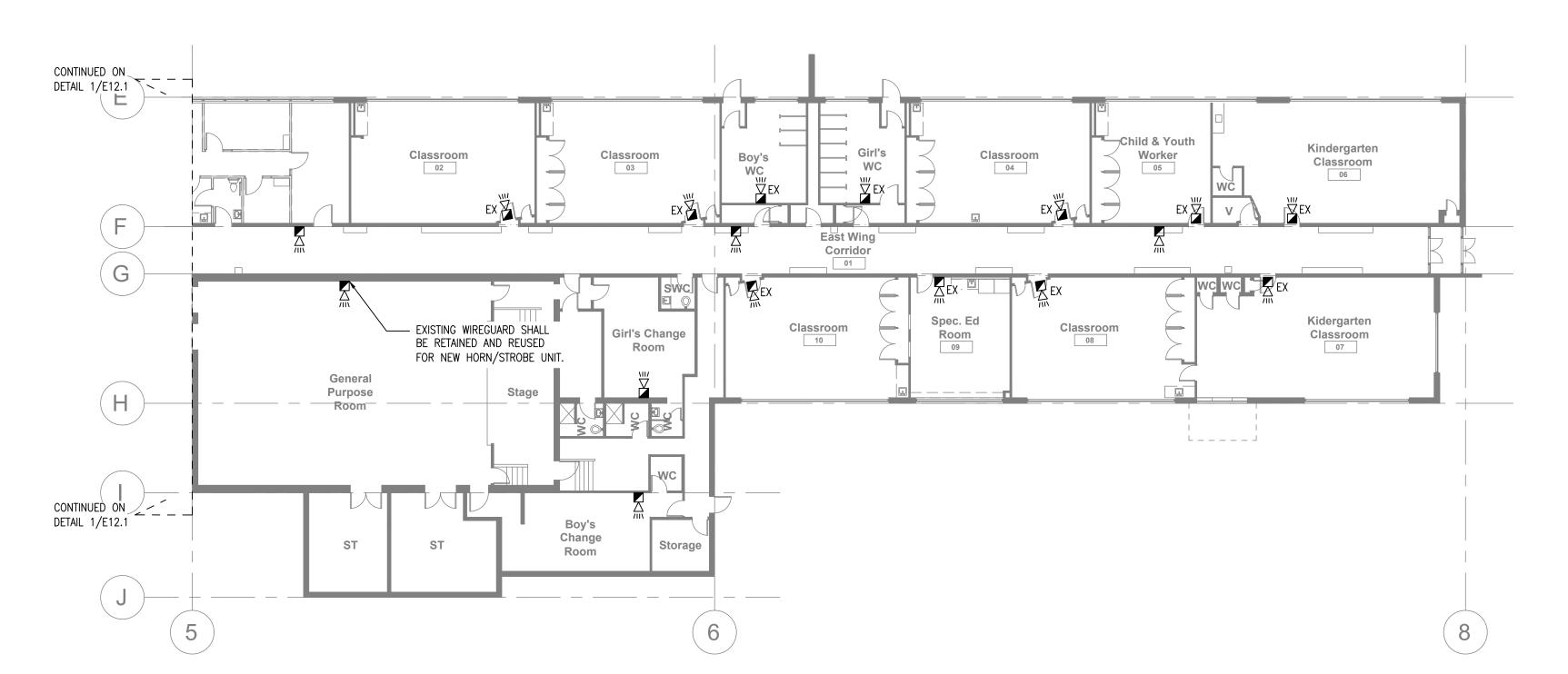
Revision

E12



1 PROPOSED SIGNALING DEVICE LAYOUT - WEST WING

E12.1 SCALE: 1:200





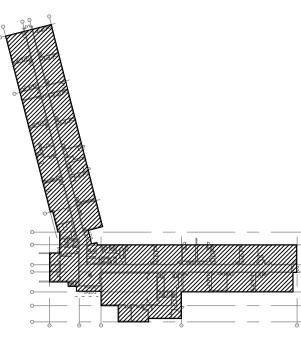
PROPOSED SIGNALING DEVICE LAYOUT - EAST WING

E12.1 SCALE: 1:200

CALE: 1:200

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WRDSB - WORKSHOP ARCHITECTURE

HVAC UPGRADES & INTERIOR RENOVATIONS SMITHSON PUBLIC SCHOOL

150 BELLVIEW AVENUE, KITCHENER

Sheet Title

PROPOSED SIGNALING DEVICE LAYOUT

Drawn By DB Scale As Shown
Designed By DB Date November 26, 2020

Project Number **B20-349.02A**Sheet Number

E12.1

•

Revision

PART 1 - GENERAL

1.1 Summary

- .1 Design, labour, Products, equipment, tools, and services necessary for glass and glazing Work in accordance with the Contract Documents.
- .2 Decorative surface glazing films.

1.2 References

- .1 Canadian Door and Window Manufacturers, Certification Program.
- .2 Canadian General Standards Board (CGSB)
 - .1 CAN/CGSB-12.1-M90, Tempered or Laminated Safety Glass.
 - .2 CAN/CGSB-12.2-M91, Flat, Clear Sheet Glass.
 - .3 CAN/CGSB-12.3-M91, Flat, Clear Float Glass.
 - .4 CAN/CGSB-12.4-M91, Heat Absorbing Glass.
 - .5 CAN/CGSB-12.5-M86, Mirrors, Silvered.
 - .6 CAN/CGSB-12.6-M91, Transparent (One-Way) Mirrors.
 - .7 CAN/CGSB-12.8-97, Insulating Glass Units.
 - .8 CAN/CGSB-12.9-M91, Spandrel Glass.
 - .9 CAN/CGSB-12.10-M76, Glass, Light and Heat Reflecting.
 - .10 CAN/CGSB-12.11-M90, Wired Safety Glass.
 - .11 CAN/CGSB-12.12-M90, Plastic Safety Glazing.
 - .12 CAN/CGSB-12.13-M91, Patterned Glass.
 - .13 CAN/CGSB-12.20-M, Structural Design of Glass for Buildings
- .3 Flat Glass Manufacturers Association (FGMA), Glazing Manual

1.3 Submittals

.1 Submit shop drawings in accordance with Section 01 33 00 - Submittal Procedures. Where indicated, Shop drawings shall be sealed by a qualified professional engineer licensed to designs structures and registered in Place of the Work.

.2 Samples:

- .1 Submit following samples in accordance with Section 01 33 00.
- .2 Submit one 300 x 300mm sample of ultra clear low iron glass

1.4 Closeout Submittals

.1 Provide maintenance data including cleaning instructions for incorporation into manual specified in Section 01 78 00 - Closeout Submittals.

1.5 Quality Assurance

- .1 Installer shall comply with GANA (Glass Association of North America) Glazing Manual other relevant standards, guidelines, and the Ontario Building Code
- .2 Tempered glass:
 - 1 Tempered and heat strengthened glass shall be horizontally treated; vertical treatment will not be acceptable. Fabrication and treatment shall be such that distortion lines (where they occur) run horizontally (parallel to sill and head) after installation.

- .2 Tempered glass shall bear the manufacturer's identification as to thickness. Such identification for glazing shall be permanently etched so as to be visible after glass has been installed. Glass other than fully tempered (FT) glass shall not have etched labels.
- .3 Identification: Label each pane of glass and glass unit with type, thickness, quality, and colour of glass and with manufacturer's trade name
- .4 Glazing: Glazing compounds and methods shall conform with applicable requirements of GANA Glazing Manual.
- .5 Where glass and glazing is located less than 1m (40") above finished floor, it shall be designed as a guardrail as per OBC 4.1.5.14. and shall be tempered.

PART 2 – PRODUCTS

2.1 General:

.1 Glazing to be used for interior glass doors and partitions shall be heat treated to strengthen glass in bending to not less than 4.5 times annealed strength. Glass shall have minimal waviness or distortion and with all areas free of tong marks

2.2 Materials

- .1 General: All materials under work of this Section, including but not limited to, primers, coatings, sealers, sealants, adhesives and cleaners are to have low VOC content limits.
- .2 Tempered glass (TGL): CAN/CGSB-12.1-M, Type 2, Class B, Category II, minimum 6 mm thick, clear or tinted as per drawings/schedules.
 - .1 Provide tinted glass at outboard light of all new exterior glazing unless noted otherwise. Acceptable colour/product: CrystalBlue by Guardian.
- .3 Annealed Clear Float Glass (FGL): ASTM C 1036, Type 1, Class 1, Quality q3, minimum 6 mm thick, clear.
- .4 Fire Rated Glass (FRG): Clear and wireless ceramic fire rated glass material; listed for use in firerated or fire/impact safety-rated insulated glass units in locations with fire rating requirements ranging from 20 to 90 minutes with required hose stream test.
 - .1 Passes positive pressure test standards UL 10C.
 - .2 Fire Protective Rated Glass: Each lite shall bear permanent, nonremovable label of UL certifying it for use in tested and rated fire protective assemblies.
 - .3 Fire Rating: Fire rating classified and labeled by UL for fire rating scheduled at opening locations on drawings, when tested in accordance with ASTM E2010-01; ULC Standards CAN4 S-104 and CAN4 S-106; NPFA 252 and NFPA 257; and UL 9 and UL 10B.
 - .4 Acceptable products: Firelite NT Premium Grade; Keralite Select F.
- .5 Insulating glass units: To CAN/CGSB-12.8-M and IGMA requirements utilizing approved non-metallic PVC or Fibreglass edge spacer in black. Dual seal with a PIB primary seal and silicone secondary seal.
- .6 Airspace: 90% air, 10% argon.
- .7 Low-E coating: High performance sputtered low-E coating. Provide insulating glass units with low-E coating edge deletion and low-E coating. Apply low-E coating to second surface unless otherwise indicated. Solarban 60 by PPG Industries Inc, SunGuard SN68 by Guardian or Cardinal LoE-270.
- .8 Glazing and rebate primers, sealants, sealers, and cleaners: Compatible with each other. Type as recommended by glass manufacturer.
- .9 Glazing sealant: Silicone sealant as recommended by glazing manufacturer. Verify compatibility with insulating glass unit secondary sealant.

- .10 Heel & toe bead: Silicone sealant as recommended by glazing manufacturer.
- .11 Glazing gasket: 'Visionstrip' by Tremco Ltd., extruded composite glazing seal, size as recommended by manufacturer.
- .12 Glazing tape: 'Polyshim II' glazing tape EPDM shim.
- .13 Glazing splines: EPDM or neoprene, extruded shape to suit glazing channel retaining slot, colour as selected.
- .14 Setting blocks (regular): EPDM, 80 90 Shore A durometer hardness to ASTM D2240, 100 mm long x 6 mm high x rebate width minimum, size designed for glass size and weight of glass unit.
- .15 Edge blocks: EPDM, 60-70 Shore A Durometer hardness, sized with 3 mm clearance from glass edge and spanning glass thickness(es). Capable of withstanding weight of glass unit, self adhesive on face.
- .16 Glass presence markers: Easily removable, non-residue depositing.
- .17 Isolation coating: CAN/CGSB 1.108-M; Bitumastic paint.
- .18 Screws, bolts and fasteners: Type 304 stainless steel.

PART 3 – EXECUTION

3.1 Installation of Glazing

- .1 Obtain field dimensions for each opening that is to receive glass and cut each glass to provide the optimal bit on, and clearance from, the sash or frame.
- .2 Clean the surfaces that are to receive the glass and glazing materials. Surfaces shall be free of dirt, corrosion, residue, oils, and any other substance that may impair adhesion of glazing materials.
- .3 Clean contact surfaces with solvent and apply primers to surfaces to receive tapes and sealants in accordance with the glass manufacturer's written instructions.
- .4 Ensure all finishes are fully dry before installing the glazing.
- .5 Seal porous glazing channels or recesses with substrate compatible primer or sealer. Prime surfaces scheduled to receive glazing compound.
- .6 Do not perform glazing when ambient temperature is below 4 degrees Celsius
- .7 Ensure humidity level is low before installation.
- .8 Install glazing according to manufacturers' specifications.
- .9 Ensure space between double-glazing is perfectly clean before installing the second panel.

3.2 General Glazing requirements:

- .1 Comply with the general provisions of GANA Glazing Manual and the Ontario Building Code for minimum glazing requirements, and ensure that minimum frame lap (minimum grip of glass) and edge clearances are provided as required for the size of openings. Provide for expansion and contraction of glass as required.
- .2 Conform with the manufacturers' latest published installation instructions and recommendations for glazing of tempered glass, laminated glass, and insulating glass. Follow manufacturer's latest published instructions for protection of edges and sizing of glass.
- .3 Provide setting blocks at quarter points along the bottom of the glass pane. Blocks shall support the glass 1.5875 mm above the metal. Provide spacers to hold glass in centre between stops
- .4 Provide spacers for glass panes where length plus width is greater than 1270 mm
 - .1 Locate spacers directly opposite each other on both inside and outside faces of the glass. Install correct size of spacers and spacing to preserve required face clearances, unless

- gaskets and glazing tapes are used that have demonstrated ability to maintain required face clearances and to comply with system performance requirements
- .2 Provide 3.2 mm minimum bite of spacers on glass and use thickness equal to sealant width.
- .5 Adjust glazing channel dimensions as required by conditions during installation to provide necessary bite on glass, minimum edge and face clearances, and adequate sealant thicknesses, with reasonable tolerances.
- .6 Protect glass edges from damage during handling and installation. Remove damaged glass from project site and dispose in accordance with municipal waste management and recycling requirements. Glass is considered to be damaged if edge damage, or other imperfections that, when installed, could weaken the glass and impair performance and/or appearance.
- .8 Glazing of hollow metal doors and frames: glass shall be set around all edges with glazing gaskets hereinbefore specified. Provide setting blocks and spacers blocks as required. Set gasket legs on both sides of glass. Gasket shall be continuous, notched only at top rail in the centre. Compress gasket at least 15 percent to form a tight seal.
- .9 For indoor glass panels: set glass panes with proper orientation so that coating faces the correct specified direction

3.4 Finishing

.1 Immediately remove sealant and compound droppings from finished surfaces. Remove labels after work is completed.

3.5 Cleaning and Replacement

- .1 Upon completion of glazing, remove paint spots, splatters, and other blemishes from glass
- .2 Assure that each light is identified as to type and grade of glass
- .3 Remove and replace glass panes that are cracked or broken and where distortion is evident and distracting, as determined by the Consultant.
- .4 Remove paper labels, wash, and polish glass just before acceptance by Consultant.
- .5 Protect glass against damage from subsequent construction activities and damage.

END OF SECTION