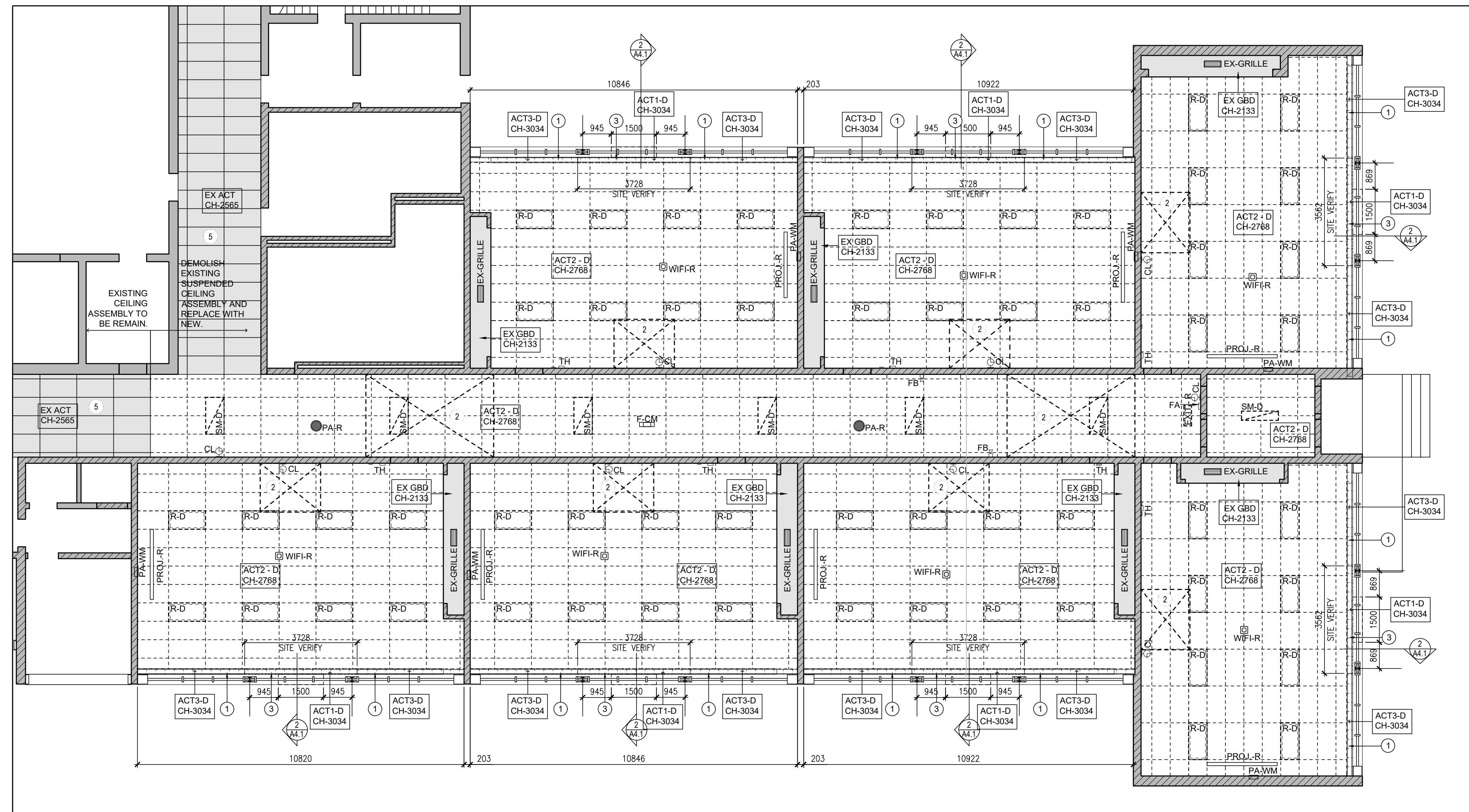


REFLECTED CEILING PLAN DEMOLITION NOTES

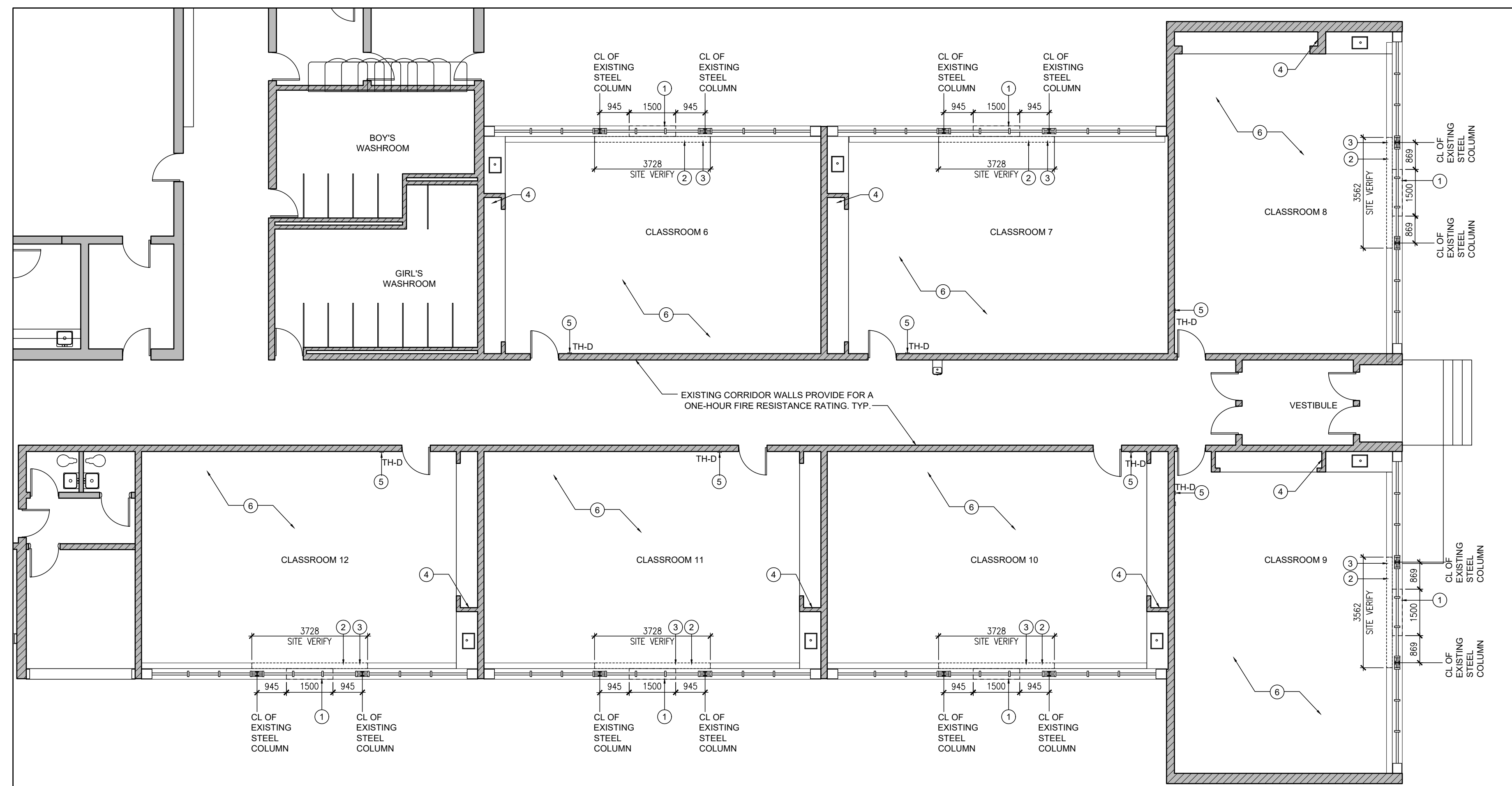
- DEMOLISH PORTION OF EXISTING CONCEALED CEILING ASSEMBLY ABOVE 305mm X 1220mm SUSPENDED CEILING ASSEMBLY. EXCEPT WHERE NOTED OTHERWISE ON THE DRAWINGS. THE EXISTING CONCEALED CEILING IS COMPRISED OF 305mm X 305mm ACUSTIC CEILING TILES ON 13mm GYPSUM BOARD FINISH. DEMOLISH PORTIONS OF THE EXISTING CONCEALED CEILING ASSEMBLY WERE REQUIRED TO COMPLETE MECHANICAL, ELECTRICAL AND STRUCTURAL WORKS. PATCH, REPAIR AND MAKE GOOD EXISTING CONCEALED CEILING ASSEMBLY WITH TWO LAYERS OF TYPE X 16mm GYPSUM BOARD, WHERE REQUIRED.
- DEMOLISH EXISTING CONCEALED CEILING ASSEMBLY ABOVE 305mm X 1220mm SUSPENDED CEILING ASSEMBLY. AS REQUIRED TO ACCOMMODATE NEW STRUCTURAL ANGLE ASSEMBLIES TO SUPPORT THE NEW CONDENSING UNITS, AT THE NEW EXHAUST GOOSENECK AND AT THE NEW MECHANICAL DOG HOUSE. THE EXISTING DEMOLISHED CONCEALED CEILING IS COMPRISED OF 305mm X 305mm ACUSTIC CEILING TILES ON 13mm GYPSUM BOARD FINISH. PATCH, REPAIR AND MAKE GOOD EXISTING CONCEALED CEILING ASSEMBLY WITH TWO LAYERS OF TYPE X 16mm GYPSUM BOARD AS REQUIRED TO ENSURE THE EXISTING WOOD ROOF DECK REMAINS CONCEALED. REFER TO TYPICAL SECTION DETAIL 1/A4.2 AT EXHAUST GOOSENECK PENETRATION AND 3/A4.2 AT MECHANICAL DOG HOUSE. REFER TO STRUCTURAL DRAWINGS FOR ALL ROOF PENETRATIONS AND SUPPORTS AT NEW CONDENSING UNITS.
- DEMOLISH EXISTING CONCEALED CEILING ASSEMBLY AND ASSOCIATED WOOD TRIM BOX AS REQUIRED TO ACCOMMODATE NEW GYPSUM BOARD FINISHED BULKHEAD ABOVE NEW MILLWORK AND NEW MECHANICAL UNIT VENTILATOR. REFER TO TYPICAL DEMOLITION SECTION DETAIL 2/A4.1.
- REFER TO GENERAL DEMOLITION NOTES ON DRAWING A2.1.
- REMOVE EXISTING SUSPENDED ACUSTIC CEILING ASSEMBLIES AS REQUIRED TO COMPLETE NEW STRUCTURAL, MECHANICAL, ELECTRICAL WORK AS REQUIRED. REINSTATE EXISTING CEILING ASSEMBLIES IN THEIR ORIGINAL CONDITION AFTER WORK IS COMPLETE. REPAIR, MAKE GOOD OR REPLACE EXISTING CEILING ASSEMBLIES AS REQUIRED. WHERE WORK IS TO OCCUR ABOVE EXISTING GYPSUM BOARD FINISHED CEILING, REMOVE PORTIONS OF THE EXISTING 13mm THICK GYPSUM BOARD CEILING AND ASSOCIATED FRAMING AS REQUIRED TO COMPLETE THE WORK. PATCH, REPAIR AND MAKE GOOD EXISTING GYPSUM BOARD FINISHED CEILING WITH NEW 13mm GYPSUM BOARD, UNLESS NOTED OTHERWISE ON THE DRAWINGS, AND PATCH, MAKE GOOD, FLUSH AND PAINT TO MATCH EXISTING.



2 PARTIAL EXISTING GROUND FLOOR REFLECTED CEILING DEMOLITION PLAN
A2.1 1:100

GROUND FLOOR PLAN DEMOLITION NOTES

- DEMOLISH THE WALL ASSEMBLY BELOW THE EXISTING WINDOW TO ACCOMMODATE THE NEW EXTERIOR LOUVER FOR THE NEW HORIZONTAL UNIT VENTILATOR. REFER TO DEMOLITION SECTION DRAWING 2/A4.1 FOR DEMOLITION OF EXTERIOR WALL ASSEMBLY. NEW EXTERIOR WALL OPENING TO BE 1500mm WIDE X 300mm HIGH TO ACCOMMODATE A NEW STEEL LINTEL AND A 1200mm WIDE X 300mm HIGH LOUVER. REFER TO MECHANICAL DRAWINGS AND SPECIFICATIONS FOR LOUVER SIZE AND TYPE.
- DEMOLISH A PORTION OF EXISTING RADIATOR TO ACCOMMODATE NEW HORIZONTAL UNIT VENTILATOR AND NEW LOW MILLWORK COUNTERCHASE. REFER TO MECHANICAL DRAWINGS.
- DEMOLISH PORTION OF EXISTING RUBBER WALL BASE BELOW DEMOLISHED RADIATOR. EXISTING FLOOR MASTICS CONTAIN ASBESTOS. REFER TO ASBESTOS AUDIT REPORT IN PROJECT MANUAL. ANY REQUIRED ABATEMENT IS TO BE INCLUDED IN BASE BID PRICE.
- REFER TO MECHANICAL DRAWINGS FOR REPLACEMENT OF VALVES IN EXISTING MILLWORK AND PARTITIONS. REPLACEMENT IS TO BE ACCESSED THROUGH EXISTING ACCESS BY PROVIDING NEW MILLWORK ACCESS PANELS.
- TH-D = DEMOLISH EXISTING THERMOSTAT AND REPLACE WITH NEW THERMOSTAT. REFER TO MECHANICAL DRAWINGS.
- ALL EXISTING CONCRETE BLOCK WALLS AND GYPSUM BOARD WALLS AND BULKHEADS ARE TO BE PAINTED. EXISTING TACKBOARDS, WHITEBOARDS, BLACKBOARDS AND MILLWORK ARE TO REMAIN IN PLACE. PAINTING IS TO OCCUR AROUND ALL EXISTING WALL MOUNTED FITMENTS AND MILLWORK. TEMPORARILY REMOVE EXISTING WALL MOUNTED DEVICES LIKE CLOCKS, TO COMPLETE PAINTING AND REINSTALL DEVICES IN THEIR ORIGINAL LOCATION ONCE PAINTING IS COMPLETE. PAINT ALL WALL MOUNTED CONDUITS. PAINT EXISTING WALL MOUNTED RADIATORS TO REMAIN. PAINT EXISTING STEEL DOORS AND FRAMES (BOTH SIDES TYP.). CONTRACTOR IS RESPONSIBLE TO REVIEW THE EXISTING CONDITIONS AND LAYOUT OF ALL ROOMS TO DETERMINE THE EXTENT OF PAINTING WORK TO BE COMPLETED. A MINIMUM OF TWO PAINT COLOURS FOR ROOM WALLS (ONE FIELD PAINT COLOUR AND ONE ACCENT PAINT COLOUR) WILL BE SELECTED. CONTRACTOR IS RESPONSIBLE TO TEMPORARILY REMOVE LOOSE FURNITURE TO ACCOMMODATE PAINTING AND TO REINSTATE FURNITURE AFTER PAINTING IS COMPLETE.



1 PARTIAL EXISTING GROUND FLOOR DEMOLITION PLAN
A2.1 1:100

REFLECTED CEILING PLAN DEMOLITION LEGEND

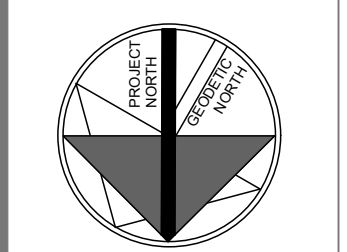
- HD** UNINSTALL STORE AND PROTECT EXISTING HEAT DETECTOR AS REQUIRED TO COMPLETE DEMOLITION AND NEW WORK. REINSTATE THE DEVICE ONCE WORK IS COMPLETED. REFER TO ELECTRICAL DRAWINGS.
- EX-HWM** DEMOLISH EXISTING EXHAUST FAN MOUNTED IN WINDOW ASSEMBLY. REFER TO MECHANICAL DRAWINGS. DEMOLISH EXISTING INSULATED METAL PLAN IN EXISTING ALUMINUM FRAMED WINDOW AND REPLACE WITH NEW INSULATED ALUMINUM PANEL WITH ANODIZED FINISH TO MATCH ANODIZED ALUMINUM WINDOW FRAME. SITE VERIFY PANEL SIZE.
- EX-GRILLE** EXISTING AIR GRILLE TO REMAIN. REFER TO MECHANICAL DRAWINGS.
- SD** EXISTING SURFACE MOUNTED FIRE ALARM SMOKE DETECTOR. REFER TO ELECTRICAL DRAWINGS.
- SD-R** UNINSTALL STORE AND PROTECT EXISTING SURFACE MOUNTED FIRE ALARM SMOKE DETECTOR AS REQUIRED TO COMPLETE DEMOLITION AND NEW WORK. REINSTATE THE DEVICE ONCE WORK IS COMPLETE. REFER TO ELECTRICAL DRAWINGS.
- R-D** DEMOLISH EXISTING RECESSED LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- R** EXISTING RECESSED LIGHT FIXTURE TO REMAIN. REFER TO ELECTRICAL DRAWINGS.
- SME** EXISTING SURFACE MOUNTED LIGHT FIXTURE TO REMAIN. REFER TO ELECTRICAL DRAWINGS.
- SM-D** DEMOLISH EXISTING SURFACE MOUNTED LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- EXIT-R** UNINSTALL EXISTING RUNNING PERSON EXIT LIGHT AND PROTECT AND STORE TO REMAIN. REFER TO ELECTRICAL DRAWINGS.
- EM-L** EXISTING CEILING MOUNTED EMERGENCY LIGHT FIXTURE TO REMAIN. REFER TO ELECTRICAL DRAWINGS.
- EM-L-D** DEMOLISH EXISTING CEILING MOUNTED EMERGENCY LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- PA** EXISTING PUBLIC ADDRESS. REFER TO ELECTRICAL DRAWINGS.
- PA-R** RELOCATE EXISTING PUBLIC ADDRESS. REFER TO ELECTRICAL DRAWINGS.
- PA-WM** EXISTING WALL MOUNTED PUBLIC ADDRESS PANEL TO REMAIN.
- WIFIR** UNINSTALL EXISTING CEILING MOUNTED WIFI DEVICE AND HAND-OVER TO OWNER. REINSTATE ONTO NEW CEILING ASSEMBLY. REFER TO ELECTRICAL DRAWINGS.
- PROJ-R** UNINSTALL EXISTING CEILING MOUNTED PROJECTOR SCREEN ASSEMBLY AND HAND-OVER TO OWNER. REINSTATE ONTO NEW CEILING ASSEMBLY.
- CL** EXISTING WALL MOUNTED CLOCK TO REMAIN. TEMPORARILY REMOVE FOR COMPLETION OF PAINTING WORK. REFER TO ELECTRICAL DRAWINGS.
- MS** EXISTING WALL MOUNTED MOTION SENSOR TO REMAIN. REFER TO ELECTRICAL DRAWINGS.
- MS-R** RELOCATE EXISTING CEILING MOUNTED MOTION SENSOR. REFER TO ELECTRICAL DRAWINGS.
- FB** EXISTING WALL MOUNTED FIRE BELL TO REMAIN. REFER TO ELECTRICAL DRAWINGS.
- EXISTING GYPSUM BOARD FINISHED STEEL FRAMED HEADER ABOVE EXISTING WALL OPENING TO REMAIN.
- EXISTING MASONRY HEADER ABOVE EXISTING WALL OPENING TO REMAIN.
- DEMOLISH EXISTING SUSPENDED ACUSTIC CEILING TILE ASSEMBLY INCLUDING T-BAR GRID SYSTEM IN ITS ENTIRETY. SIZE: 610mm X 1220mm ±. REMOVE EXISTING ELECTRICAL AND MECHANICAL FIXTURES AND FITMENTS FROM EXISTING CEILING ASSEMBLY AS REQUIRED TO COMPLETE DEMOLITION OF ASSEMBLY AND AS NOTED ON THE DRAWINGS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS. RETAIN EXISTING CONCEALED ACUSTIC CEILING TILE ASSEMBLY ABOVE COMPRISED OF THE FOLLOWING: 305mm X 305mm ACUSTIC CEILING TILES ADHERED TO 13mm THICK GYPSUM BOARD ON METAL FRAMING SYSTEM TO UNDERSIDE OF EXISTING ROOF JOISTS. HEIGHT OF CEILING ASSEMBLY IS 305mm FROM FINISHED FLOOR TO UNDERSIDE OF CEILING ASSEMBLY. DEMOLISH ONLY PORTIONS OF EXISTING CONCEALED CEILING ASSEMBLY AS REQUIRED TO COMPLETE STRUCTURAL, MECHANICAL AND ELECTRICAL WORKS.
- DEMOLISH PORTION OF EXISTING SUSPENDED CONCEALED CEILING ASSEMBLY COMPRISED OF ACUSTIC TILE (305mm X 305mm) ON 13mm GYPSUM BOARD FINISH ON METAL FRAMING SECURED TO UNDERSIDE OF EXISTING STEEL ROOF JOISTS. REFER TO DETAIL 2/A4.1 CH = HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF EXISTING FINISHED CEILING.
- DEMOLISH A PORTION OF THE EXISTING SUSPENDED TRIM BOX AND CONCEALED CEILING ASSEMBLY (COMPRISED OF ACUSTIC TILE (305mm X 305mm) ON 13mm GYPSUM BOARD FINISH ON METAL FRAMING SECURED TO UNDERSIDE OF EXISTING STEEL ROOF JOISTS) AS REQUIRED TO ACCOMMODATE NEW GYPSUM BOARD FINISHED BULKHEAD ABOVE NEW MILLWORK AND NEW UNIT VENTILATOR. REFER TO DETAIL 2/A4.1 CH = HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF EXISTING FINISHED CEILING.
- EXISTING GYPSUM BOARD FINISHED CEILING AND/OR BULKHEAD TO REMAIN. CH = HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF EXISTING FINISHED CEILING.
- EXISTING SUSPENDED ACUSTIC CEILING TILE AND T-BAR GRID SYSTEM TO REMAIN. TEMPORARILY REMOVE, PROTECT AND STORE TO COMPLETE THE WORK AS REQUIRED TO COMPLETE THE WORK, INCLUDING TO ACCOMMODATE STRUCTURAL, MECHANICAL AND ELECTRICAL REMOVALS AND NEW WORK. TEMPORARILY REMOVE EXISTING MECHANICAL AND ELECTRICAL DEVICES AND LIGHT FIXTURES AS REQUIRED TO ACCOMMODATE STRUCTURAL, MECHANICAL AND ELECTRICAL REMOVALS AND NEW WORK. REINSTATE IN ORIGINAL CONDITION ONCE WORK IS COMPLETE. CH = HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF EXISTING FINISHED CEILING.
- DEMOLISH EXISTING GYPSUM BOARD FINISHED CEILING. CH = HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF EXISTING FINISHED CEILING.

GENERAL FLOOR PLAN DEMOLITION NOTES

- DEMOLITION DRAWINGS ON A2.1 SHALL BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL DRAWINGS AND ALL OTHER STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION, DETAILS, NOTES AND DIMENSIONS.
- ROOM TITLE: ROOM NAME ROOM NUMBER AREA IN SQUARE METRES.
- WHERE WALL DEVICES ARE REMOVED AS NOTED ON ELECTRICAL AND MECHANICAL DRAWINGS, AND NO DEVICES ARE REINSTATED IN THEIR PLACE, PROVIDE RECEPTACLE COVERS.
- TEMPORARILY REMOVE WINDOW SHADES AND ASSOCIATED CHAIN FASTENERS AT ALL WINDOWS IN ALL ROOMS AS REQUIRED TO COMPLETE THE WORK. REINSTATE WINDOW SHADES AND ASSOCIATED FASTENERS AFTER ALL WORK IS COMPLETE.
- PIPE INSULATION AT ALL EXISTING PIPING AND FITTINGS CONTAINS ASBESTOS AND CAN BE FOUND IN ALL ROOMS WHERE WORK IS TO OCCUR. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS WHERE ADDITIONAL WORK IS OCCURRING. ABATEMENT IS REQUIRED TO COMPLETE THE WORK AND IS INCLUDED IN THE BASE BID CONTRACT. REFER TO THE ASBESTOS AUDIT INCLUDED IN THE PROJECT MANUAL.
- LEAD PAINT EXISTS THROUGHOUT THE RENOVATION AREA. FOLLOW HAZARDOUS ASSESSMENT AND REMOVAL PROCEDURES AS DESCRIBED IN THE PROJECT MANUAL AND AS REQUIRED TO COMPLETE NEW WORK. ALL ASSOCIATED WORK IS INCLUDED IN THE BASE BID PRICE.

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE DIMENSIONS AND FOR NOTIFYING THE ARCHITECT OF ANY SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

no.	revision	date
1	issued for Schematic Design Report	April 19, 2021
2	issued for Permit and Tender	Jan. 31, 2022

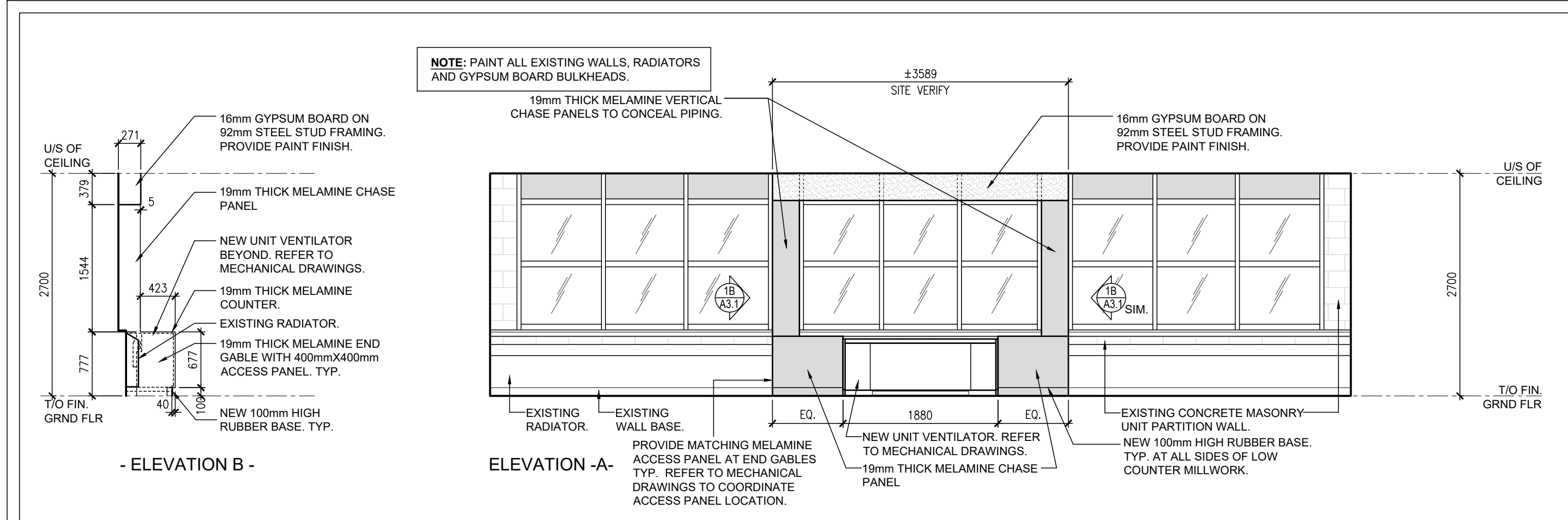


project: WRDSB STEWART AVENUE PUBLIC SCHOOL HVAC RENOVATIONS TENDER #7269-RW-22
 WATERLOO REGION DISTRICT SCHOOL BOARD
 145 STEWART AVE, CAMBRIDGE N1R 2V5
 drawing: PARTIAL GROUND FLOOR DEMOLITION PLAN AND REFLECTED CEILING DEMOLITION PLAN AND LEGEND

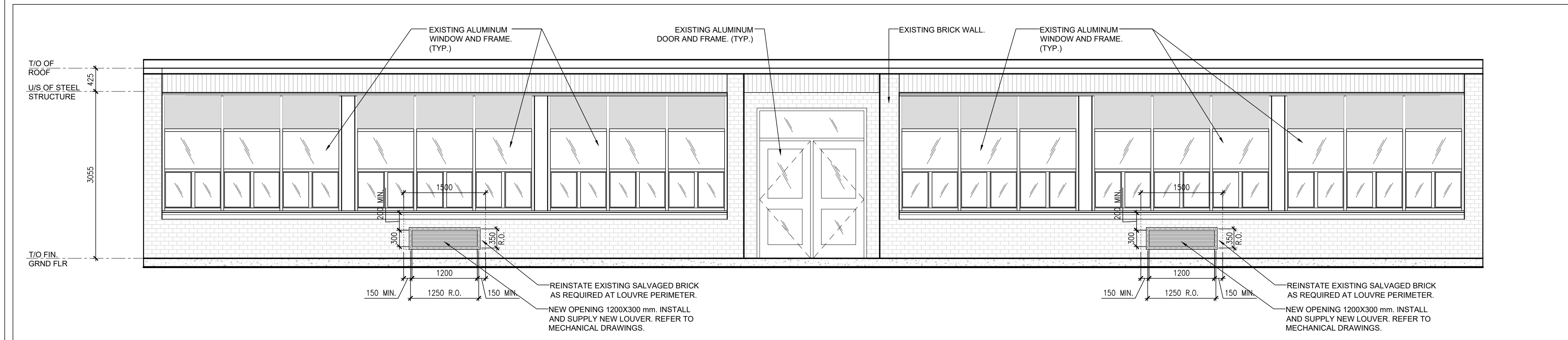
AS NOTED
 ward99 project number
 21009 - STEWART

ward99 architects drawing no. **A2.1**

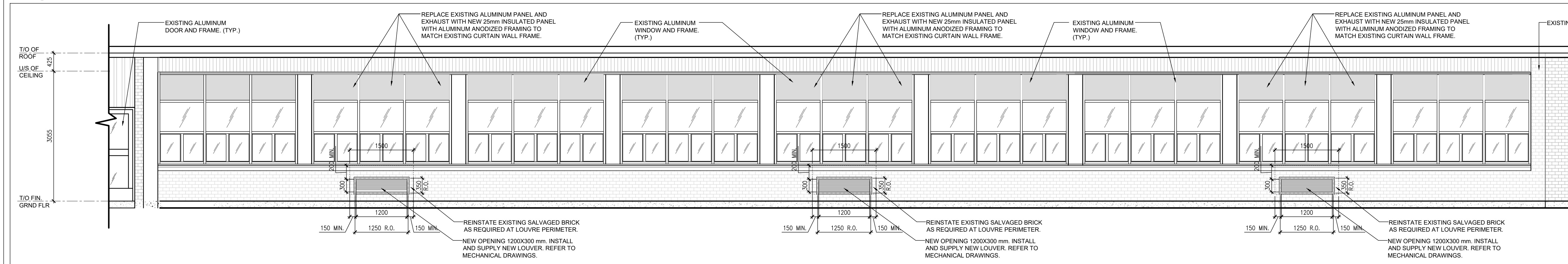
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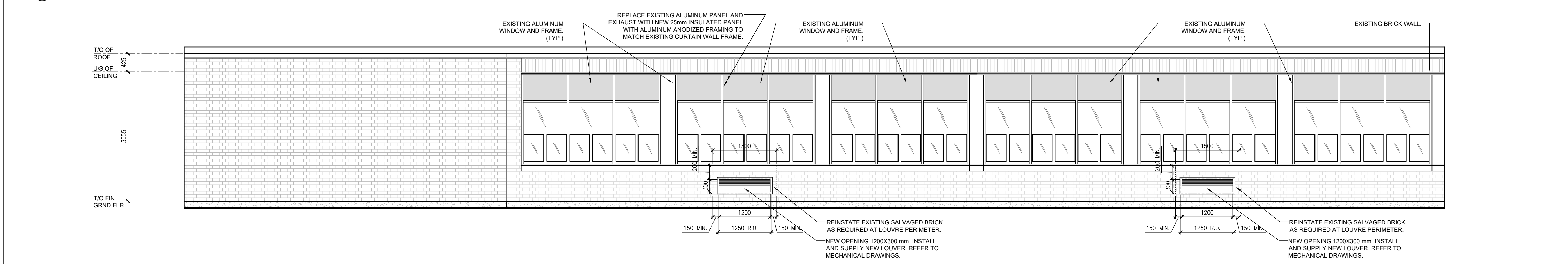
1 TYPICAL INTERIOR CLASSROOM ELEVATIONS
A3.1 (FOR CLASSROOMS 6, 7, 8, 9, 10, 11, & 12) 1:50



2 PARTIAL EXTERIOR WEST ELEVATION
A3.1 1:50



3 PARTIAL EXTERIOR NORTH ELEVATION
A3.1 1:50



4 PARTIAL EXTERIOR SOUTH ELEVATION
A3.1 1:50

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project
WRDSB STEWART AVENUE PUBLIC SCHOOL HVAC RENOVATIONS
TENDER #7269-RW-22

WATERLOO REGION DISTRICT SCHOOL BOARD
145 STEWART AVE. CAMBRIDGE N1R 2V5

drawing
TYPICAL CLASSROOM INTERIOR ELEVATIONS AND
PROPOSED EXTERIOR ELEVATIONS

drawing scale
1:50

ward99 project number
21009 - STEWART

ward99 architects

drawing no. **A3.1**

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