

WATERLOO REGION DISTRICT SCHOOL BOARD WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

300 HAZEL STREET WATERLOO, ON N2L 3P2

2020-0735-13

ISSUED FOR BID & PERMIT 2022-02-01 ISSUED FOR BID & PERMIT

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DRAWING LIST

ARCHITECTURE

A001	ASSEMBLIES, LEGENDS, NOTES
7,001	

A101	SITE PLAN, OBC MATRIX
A102	OVERALL FLOOR PLANS
A201	PARTIAL FLOOR PLANS - DEMOLITION
A202	PARTIAL FLOOR PLANS - RENOVATION
A203	PARTIAL FLOOR PLANS - ENLARGED
A204	PARTIAL REFLECTED CEILING PLANS
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A502	SECTION & PLAN DETAILS

STRUCTURAL

- S0-2 TYPICAL DETAILS
- S2-1 PLANS, SECTIONS AND DETAILS

ELECTRICAL

E001	ELECTRICAL NOTES, LEGEND, AND DRAWING LIST
E201	ELECTRICAL DEMOLITION AND RENOVATION LAYOUTS

WALTERFEDY

ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE
AFF	ABOVE FINISHED FLOOR
ALT ASTM	ALTERNATE AMERICAN SOCIETY FOR TESTING AND MATERIALS
AC	AIR CONDITIONING
ALUM ARCH	ALUMINUM ARCHITECTURAL
ASPH	ASPHALT
BD BLK	BOARD BLOCK
BM	BEAM
BRK BLDG	
BLKG	BLOCKING
BOT BRKT	
CB CEM	CATCH BASIN CEMENT
CER	CERAMIC
CFM CG	CUBIC FEET PER MINUTE CORNER GUARD
CGSB	CANADIAN GENERAL STANDARD BOARD
CH CHH	COAT HOOK COAT HOOK HANDICAPPED
CI	CAST IRON
CJ Cm	CONTROL JOINT CENTIMETER
CONC	CONCRETE
CORR CR	CORRIDOR CARD READER
CT CW	CERAMIC TILE COLD WATER
CL	CENTRE LINE
COL CONT	COLUMN CONTINUOUS
CPT	
CSA CTR	CANADIAN STANDARDS ASSOCIATION CENTRE
C/W	COMPLETE WITH
DBL DET	DOUBLE DETAIL
DIA	
DIM DO	DIMENSION DITTO
DR DS	DOOR DOWNSPOUT
DWG	DRAWING
E EA	EAST EACH
	EXTERIOR INSULATION FINISH SYSTEMS ELEVATION
ELEC	ELECTRIC(AL)
	ENCLOSURE
ENT	ENTRANCE
	EQUAL EXPOSED
	EXPANSION JOINT
FA	EXTERIOR FIRE ALARM
FAS FD	FIRE ALARM STATION FLOOR DRAIN
FDN	FOUNDATION
FE FEC	FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR
FFD FH	FUNNEL FLOOR DRAIN FIRE HYDRANT
FHC FHV	FIRE HOSE CABINET FIRE HOSE VALVE
FIN	FINISHED
FLUOR	FLUORESCENT FOOT or FEET
FTG	FOOTING FURRING
FVC	FIRE VALVE CABINET
GA GAL	GAUGE GALVANIZED
	GRAB BAR GENERATOR
GF	GROUND FLOOR
GL GR	GLASS GRADE
-	GRANULAR A
GRAN E GWB	GRANULAR B GYPSUM WALL BOARD
HB HC	-
НМ	HOLLOW METAL
HORIZ HP	HORIZONTAL HYDRO POLE
HR HT	HOUR HEIGHT
HW	HOT WATER
ID INCAN	INSIDE DIAMETER INCANDESCENT
INSUL	INSULATION or INSULATED
INV JAN	INVERT JANITOR'S CLOSET
JT JST	JOINT JOIST
KO	KNOCK OUT
KP	KICK PLATE

LAB LABORATORY LAM LAMINATE LAV LAVATORY LIGHT EMITTING DIODE LED Μ MEN'S METERS m MASONRY MAS MAX MAXIMUM MECH MECHANICAL MET METAL MEZZ MEZZANINE MFR MANUFACTURER MIN MINIMUM MIR MIRROR MIRH MIRROR HANDICAPPED MISC MISCELLANEOUS mm MILIMETER MO MASONRY OPENING MPH MOP HOLDER Ν NORTH ND NAPKIN DISPOSAL NIC NOT IN CONTRACT NATIONAL FIRE PREVENTION ASSOCIATION NFPA No. NUMBER NOM NOMINAL NTS NOT TO SCALE ΟA OVERALL OBC ONTARIO BUILDING CODE OC ON CENTRE OD OUTSIDE DIAMETER O/H OVERHEAD **OPPOSITE HAND** OH OPNG OPENING OPP OPPOSITE OWSJ OPEN WEB STEEL JOIST PTN PARTIITON PCONC PRECAST CONCRETE PG PIPE GUARD ΡL PLATE PLAM PLASTIC LAMINATE PLEXI PLEXIGLASS PLYWD PLYWOOD PNT PAINT POL POLISHED PR PAIR PSF POUNDS PER SQUARE FOOT PSI POUNDS PER SQUARE INCH PT POINT PVC POLYVINYL CHLORIDE QT QUARRY TILE RADIUS R RCP REFLECTED CEILING PLAN RD **ROOF DRAIN REINFORCE** REQ'D REQUIRED RESILIENT RESIL REV REVISION RM ROOM **ROUGH OPENING** RO RWL RAIN WATER LEADER SOUTH S SCH SCHEDULE SD SOAP DISPENSER SEAL SEALANT SECT SECTION SF SQUARE FEET SHROD SHOWER ROD WITH CURTAIN SHT SHEET SIMILAR SIM SN STAIR NOSING SP STANDPIPE SPEC SPECIFICATION SQ SQUARE S.S. STAINLESS STEEL STD STANDARD STL STEEL STRUCT STRUCTURAL SYM SYMMETRICAL TB TACK BOARD TD TRENCH DRAIN TEL TELEPHONE T & G **TONGUE & GROOVE** THK THICK TRESHOLD THR T.O. TOP OF TYP TYPICAL U/C UNDERCUT UNDERGROUND U/G UNFIN UNFINISHED UON UNLESS OTHERWISE NOTED U/S UNDERSIDE UTIL UTILITY VCT VINYL COMPOSITION TILE VEST VESTIBULE W WEST WATER CLOSET WC WD WOOD WHTR WATER HEATER WP WATERPROOF(ING) WR WASHROOM WS WEATHERSTRIPPING WΤ WEIGHT WWF WELDED WIRE FABRIC WWM WELDED WIRE MESH

General Annotations Building Section Tag Wall Section Tag Callout Tag O0a SIM 00a Ref 00a A000 A000 Exterior Elevation Tag Interior Elevation Tag 1 Ref \frown A000 1 (A000) Grid Marker **Revision** North Arrow (00x) /1i∖ $\langle 01 angle$ EXISTING Can be rotated for the True North in the titleblock family. Level Marker View Title 1 View Name Level Name 0000.00 A101 / Scale: 1:100 <u>Room Tags</u> ROOM NAME Name, Number ROOM NAME Name & 0000 Number 0000 & Primary Area 0.000 m² **ROOM NAME** Name, Number & Room Number Primary and 0000 0000 Secondary Areas 0,000 m² 00.000 SF Number & Number & 0000 0000 Primary Area Primary and 0.000 m² 0,000 m² Secondary Areas 00.000 SF Number & Interior Design Finishes ID Finish Tag XXX 0000 [F0] B0] W0] [F0] B0] W0] C1] <u>Family Tags</u> Wall Tag Equipment & Furniture Tag WX-0x (000) Material Tag Drawing Note Symbol ? (00) Door Tag <u>Multi-Leader</u> (0000) TEXT Curtianwall, Window, <u>Keynote Tag</u> Roof Tag Louver & Screen Tag R-00 CW1 interior Floor Tag (W22) \leftarrow 000 demolition note exterior F-00 Ceiling/Soffit Tags w/ ceiling/soffit height w/o ceiling/soffit height only ceiling/soffit height **Building Entry Symbols - Site Planning** OH ∇ V Building Building Barrier Free Barrier Free Overhead Entrance Entrance (Primary) (Secondary) Door

(Primary)

(Secondary)

(Optional)

GENERAL NOTES:

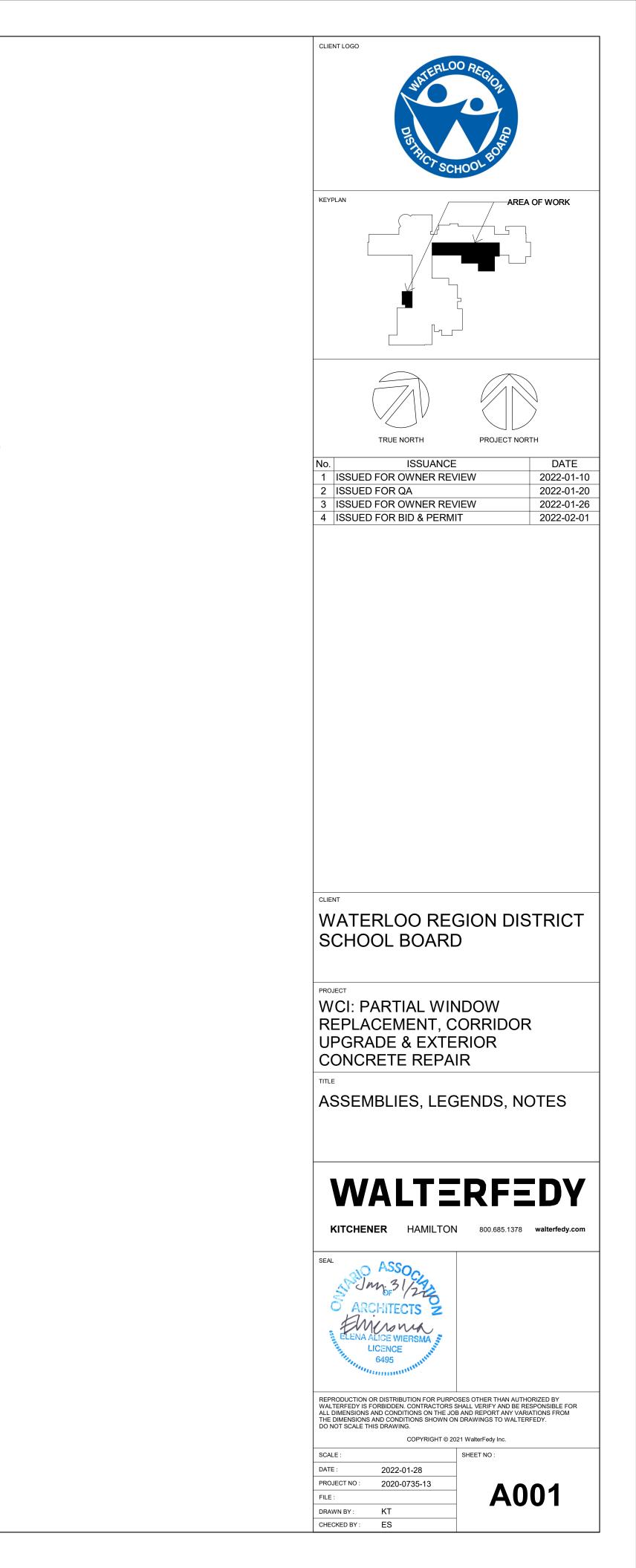
A. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND WINDOW SUB-CONTRACTOR TO VERIFY ALL DIMENSIONS AND JOB SITE CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCING CONSTRUCTION.

B. ALL WINDOWS SIZES SHOWN ARE APPROXIMATE SIZES AND MUST BE SITE VERIFIED BY WINDOW CONTRACTOR PRIOR TO FABRICATION.

- C. INJECT LOW EXPANSION URETHANE FOAM INSULATION INTO ALL CAVITIES AROUND ALL NEW WINDOW FRAMES FROM BOTH INTERIOR AND EXTERIOR LOCATIONS. CAREFULLY TRIM EXCESS FOAM AND SEAL ALL EXPOSED JOINTS c/w BACKER ROD AND EXTERIOR GRADE SEALANT.
 D. ANY DAMAGE BY WINDOW CONTRACTOR TO EXISTING ADJACENT (INTERIOR AND EXTERIOR) MASONRY. DRYWALL. SILLS, SOFFITS, A.C.T. CEILING AND GYPSUM BOARD CEILING, EQUIPMENT, LIGHT FIXTURES, MILLWORK, FURNITURE, FASCIA OR TRIM, ETC., WHICH ARE TO
- REMAIN ARE TO BE REPAIRED/REPLACED AT NO EXPENSE TO THE SCHOOL BOARD. E. CONTRACTOR TO PROTECT ALL EXISTING INTERIOR FINISHES, MECHANICAL, ELECTRICAL, MILLWORK AND FURNITURE DURING ALL PHASES
- OF CONSTRUCTION. F. MAKE GOOD ALL CEILING TILE/WALLS/SURFACES AFTER CONSTRUCTION, FIX AND PAINT WALLS DAMAGED BY CONSTRUCTION AND/OR REPLACE CEILING IF DAMAGED BY CONSTRUCTION AT NO EXPENSE TO THE SCHOOL BOARD.
- G. REFER TO ELECTRICAL DRAWINGS FOR ALL CEILING OR WALL-MOUNTED ELECTRICAL EQUIPMENT/FIXTURE SIZE, QUANTITY AND TYPE.

GENERAL DEMOLITION NOTES:

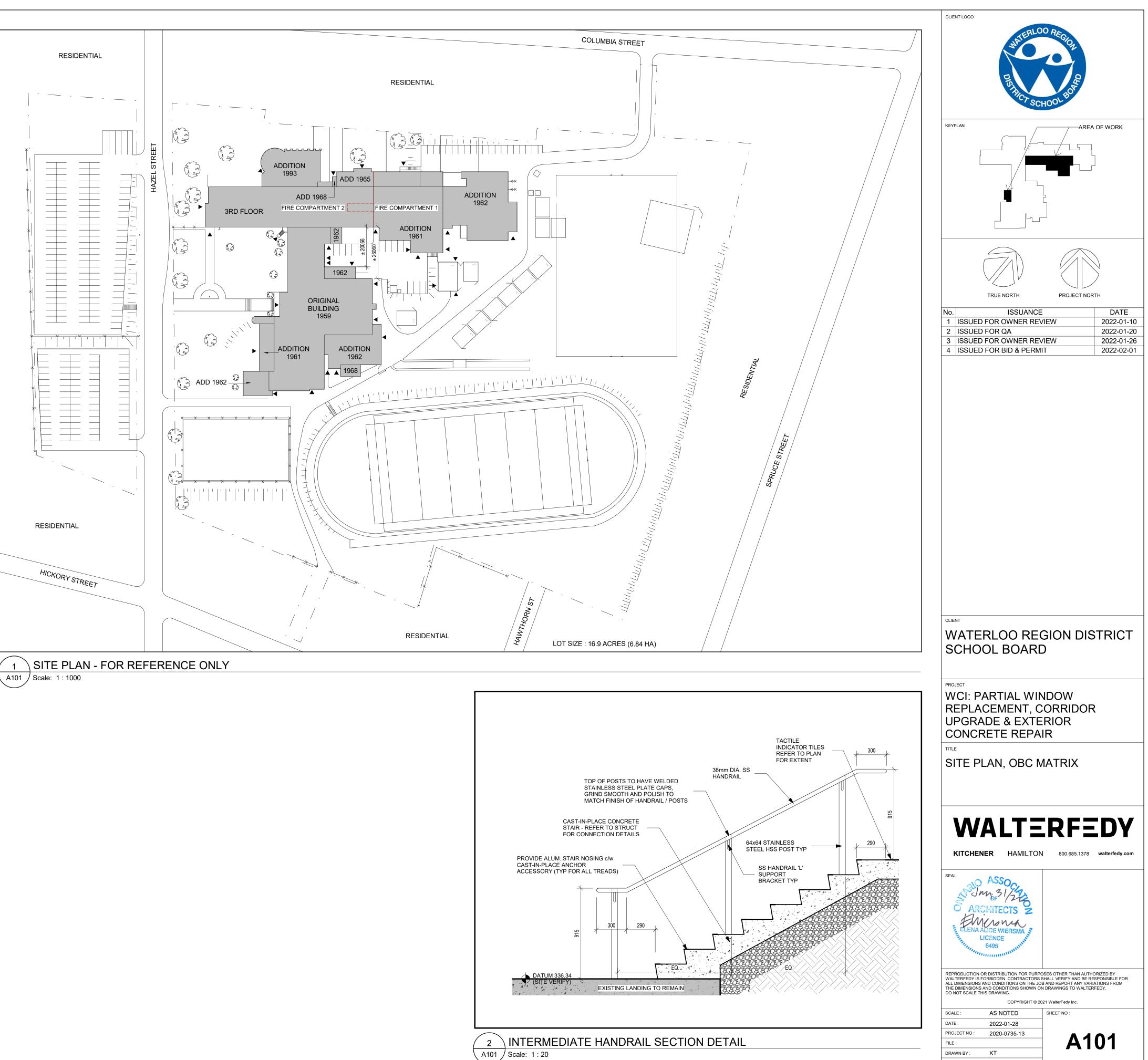
- A. DRAWING TO BE READ IN CONJUNCTION W/ ALL OTHER CONTRACT DOCUMENTS INCLUDING ABATEMENT SPECIFICATION. COORDINATE WITH OTHER TRADES PRIOR TO COMMENCING WORK.
- B. CARRY OUT ALL DEMOLITION, REMOVAL AND DISPOSAL IN ACCORDANCE WITH APPLICABLE PROVINCIAL AND LOCAL REGULATIONS.
- C. EXECUTE DEMOLITION IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ADJACENT STRUCTURES AND FINISHES.
 CONTRACTOR SHALL BE ENTIRELY RESPONSIBLE FOR, AND MAKE GOOD ALL DAMAGE TO ADJACENT FINISHED SURFACES AND ASSEMBLIES.
 D. ALL DEMOLITION DEBRIS TO BE DISPOSED BY DEMOLITION/ABATEMENT TRADE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL OBTAIN
- SCHOOL APPROVAL OF DEMOLITION SCHEDULE, LOCATION OF BINS AND ACCESS.
- E. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO GUARD AGAINST MOVEMENT OR SETTLEMENT OF THE REMAINING STRUCTURE, INCLUDING ALL NECESSARY BRACING OR SHORING THAT IS REQUIRED.
- F. ALL CONTRACTORS INCLUDING ABATEMENT TO REFER TO MECHANICAL / ELECTRICAL DRAWINGS AND DEMOLITION NOTES FOR DETAILS OF SCOPE OF MECHANICAL AND ELECTRICAL DEMOLITIONS.
- G. CONTRACTOR TO ENSURE ALL EXIT SIGNAGE TO REMAIN AS INSTALLED ALONG EGRESS ROUTES DURING DEMOLITION, AND ENSURE FIXTURES ARE OPERATIONAL. CONTRACTOR TO PROVIDE RE-SUPPORT AS REQUIRED TO SUIT PHASING.
- H. CONTRACTOR TO ENSURE ALL MANUAL PULL STATIONS AND FIRE ALARM BELLS REMAIN OPERATIONAL. IF A DEVICE MUST BE REMOVED, THE DEVICE MUST BE PROPERLY DE-PROGRAMMED BY LICENSED FIRE ALARM TECHNICIAN AND RE-ACTIVATED AT END OF WORKING DAY. FIRE WATCH MUST BE PROVIDED BY DEMOLITION/ABATEMENT TRADE WITHOUT ADDITIONAL COST TO OWNER OR CONSULTANT.
- I. CONTRACTOR TO PROVIDE DUST CONTROL AND HOARDING IN ISOLATED DEMOLITION, TYP. FOR EACH LOCATION.
- J. CONTRACTOR SHALL PATCH AND MAKE GOOD ALL FLOORS WHERE DISTURBED BY REMOVAL OF WALL ASSEMBLY AND/OR EXISTING FINISHES. K. IF AN ITEM IS NOT NOTED TO BE REINSTALLED OR TURNED OVER TO THE OWNER, IT SHALL BE THE RESPONSIBILITY OF THE GENERAL
- CONTRACTOR TO DISPOSE OF ITEMS. L. IT SHALL BE THE RESPONSIBILITY OF THE WATERLOO REGION DISTRICT SCHOOL BOARD TO REMOVE ALL LOOSE FURNITURE AND WALL
- MOUNTED DISPLAYS PRIOR TO CONSTRUCTION START.
- M. ANY MECHANICAL OR ELECTRICAL DEVICES THAT MAY BE TEMPORARILY REMOVED AND REINSTALLED FOR THIS WORK SHALL BE TESTED BY CONTRACTORS.
- N. LOCATE AND DISCONNECT, CAP AND PLUG ALL GAS, WATER, SEWER, HYDRO, TELEPHONE AND OTHER SERVICES AS REQUIRED.
- O. PREPARE ALL THE SURFACES TO BE ACCEPTABLE FOR PROPOSED FINISHING AFTER DEMOLITION WORKS



	Data M	Ontario Building Code 20 atrix, Part 11 – Renovation of Ex	12 tisting Building		OBC Reference
11.1	Existing Building Classification	Describe Existing Use: GROUP A2 Construction Index: - Hazard Index: - Not Applicable (no change of major	SCHOOL		11.2.1. T11.2.1.1A T11.2.1.1B-N
11.2	Alteration to Existing Building is	Basic Renovation ■ Extensive Renovation □			
11.3	Reduction in Performance Level	Structural By Increase in Occupant Load By Change of Major Occupancy Plumbing Sewage-System	 No No No No No No 	□ Yes □ Yes □ Yes □ Yes □ Yes	11.4.2. 11.4.2.15
11.4	Compensating Construction	Structural -	■ No	Yes (explain)	11.4.3. 11.4.3.2.
		Increase in Occupant Load -	■ No	☐ Yes (explain)	11.4.3.3.
		Change of Major Occupancy -	■ No	□ Yes (explain)	11.4.3.4.
		Plumbing -	■ No	Yes (explain)	11.4.3.5.
		Sewage System -	■ No	Yes (explain)	11.4.3.6.
11.5	Compliance Alternatives Proposed	■ No □ Yes (give number(s))			11.5.1.
11.6	Alternative Measures Proposed	■ No Yes (give number(s))			11.5.2.

Ontario's 2012 Building Code Data Matrix: Part 3

Wall	-	Area of EBF (m2)	L.D. (m)	L/H or H/L	Fable 3.2.3.I.B.Permitted %of Max.Openings	Proposed % of Openings	FRR (Hours)	3.2.3. Listed Design or Description	Comb. Const.	Comb. Const. Nonec. Cladding	Non-Cor Const
North - fr compart. grade		162	>16m	12:1	100%	-	-	-		-	-
North- fir compart. 2nd flr		230	>16m	17:1	100%	-	-	-	-	-	-
North- fin compart. & 4th flr	1- 3rd	125	>14m	4.6:1	100%	-	-	-	-	-	-
North- fin compart. Grade		358	12.1m	23:1	60.3%	43.8%	45 MIN.	Existing masonry as per SB-2	-	-	YES
North- fin compart. 3rd & 4th Flr.	2-	305	>18m	11.3:1	100%	-	-	-	-	-	-
South Ea fire comp Grade Fh	art2	87	10.0m	6.7:1	84%	55.1%	-	-	-	-	-
South Ea fire compart. 2rd Flr.		91	>12m	6.7:1	100%	-	-	-	-	-	-
South Ea fire compart. 3rd Flr.		90	>12m	6.8:1	100%	-	-	-	-	-	-



OBC NOTES:

1. MAJOR OCCUPANCY: GROUP A2 TO REMAIN (SCHOOL)

2. EXISTING BUILDING AREA: <u>6 448.56 m² (69 414 SF)</u>

3. GROSS BUILDING AREA: <u>16 625.85 m² (178 965 SF)</u> EXISTING

4. AREA OF RENOVATION: <u>587 m² (6 318 SF)</u> WINDOW REPLACEMENT + CORRIDOR AREA

5. EXISTING BUILDING: UNSPRINKLERED

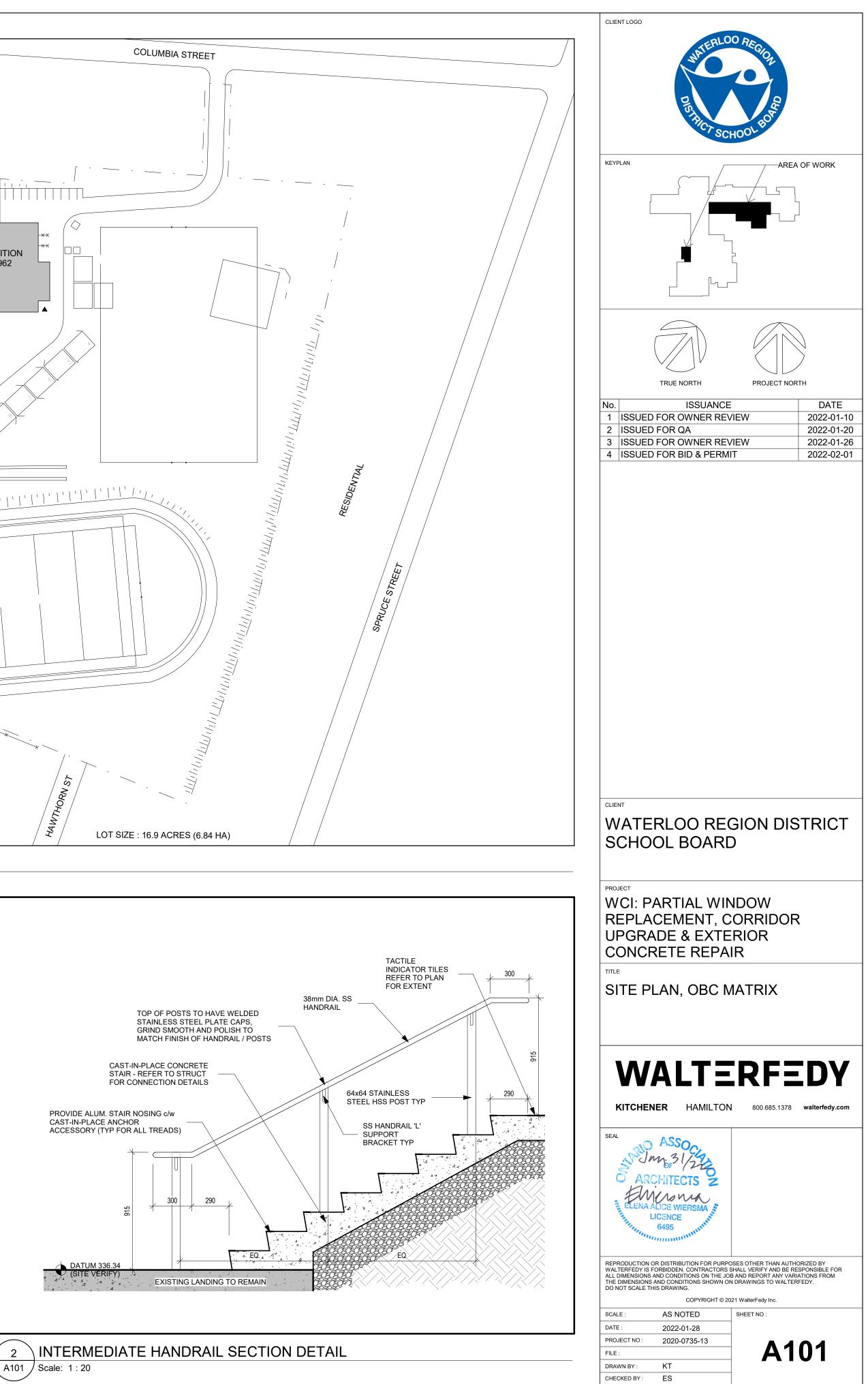
- 6. FIRE ALARM: EXISTING
- 7. TRAVEL DISTANCE FROM AREAS OF SCHOOL TO EXIT >30m. CORRIDOR WALLS ARE REQUIRED TO BE RATED.

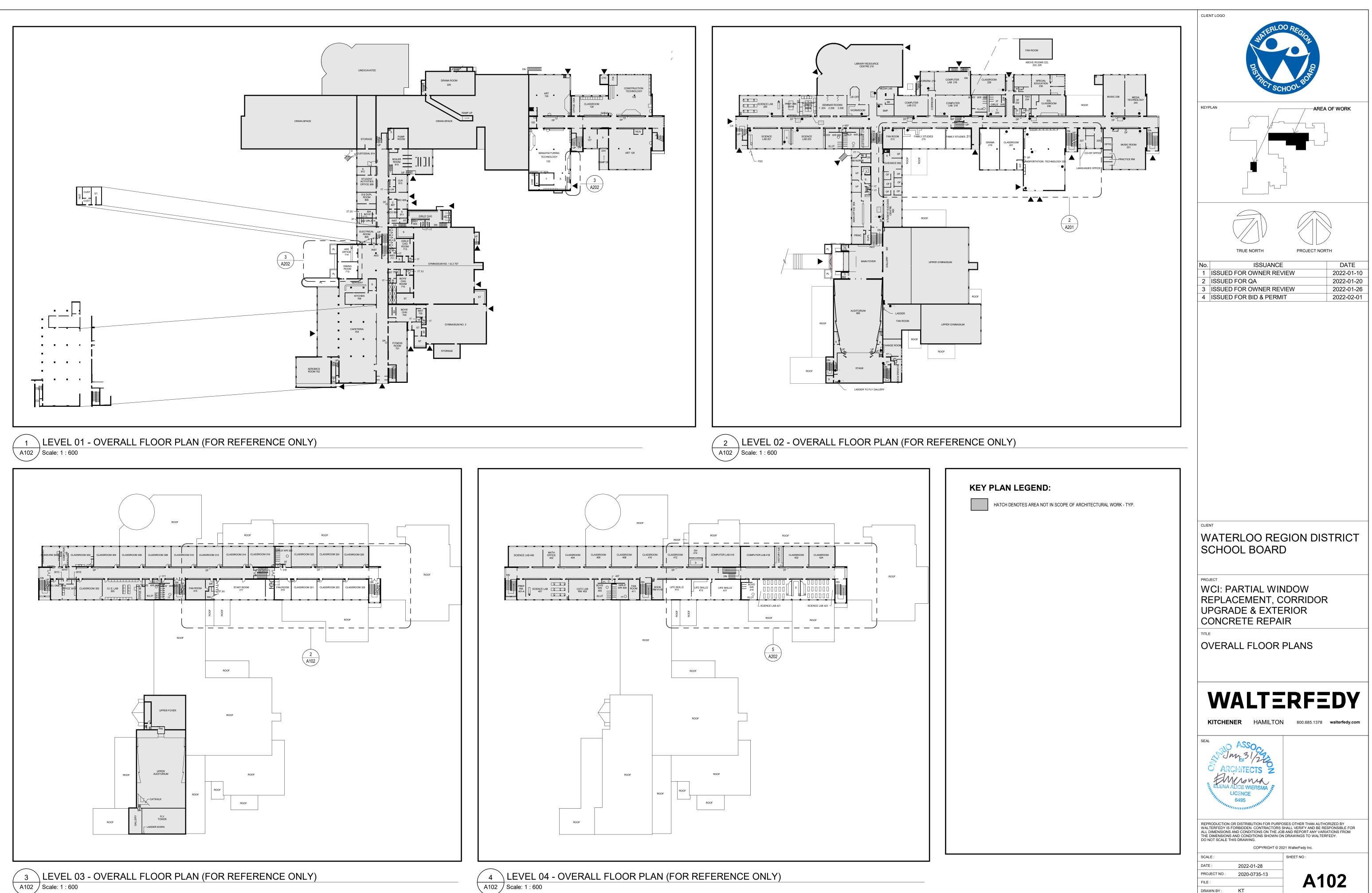
8. PROPOSED CONSTRUCTION NON-COMBUSTIBLE

9. 11.2.1.1(3) THE REQUIREMENTS OF 3.2.2.20 TO 3.2.2.83 DO NOT APPLY TO PART 11.

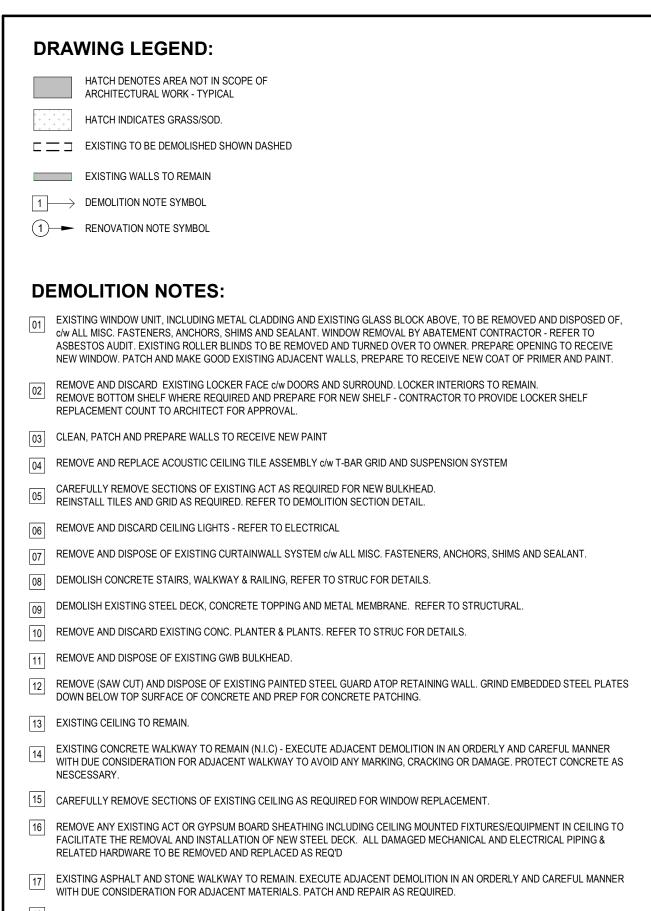
10. FOR THE PURPOSES OF THE AREA OF THE EXPOSING BUILDING FACE, EVERY FLOOR IS CALCULATED SEPARATELY AS EACH IS SEPARATED FROM THE REST OF THE BUILDING IN ACCORDANCE WITH CLAUSE 3.2.3.2.(2).

____ ___ DENOTES FIRE COMPARTMENT SEPARATION

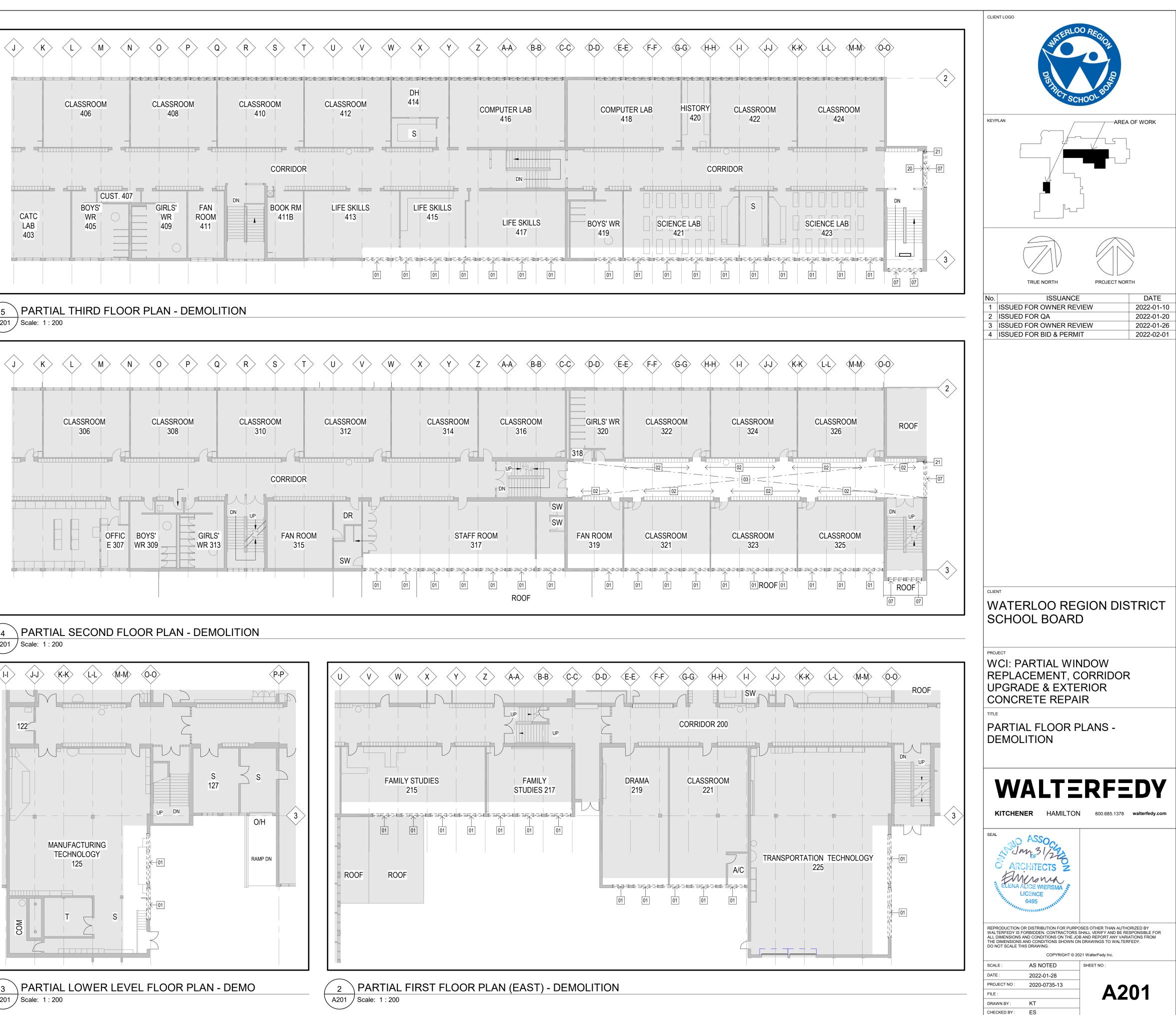


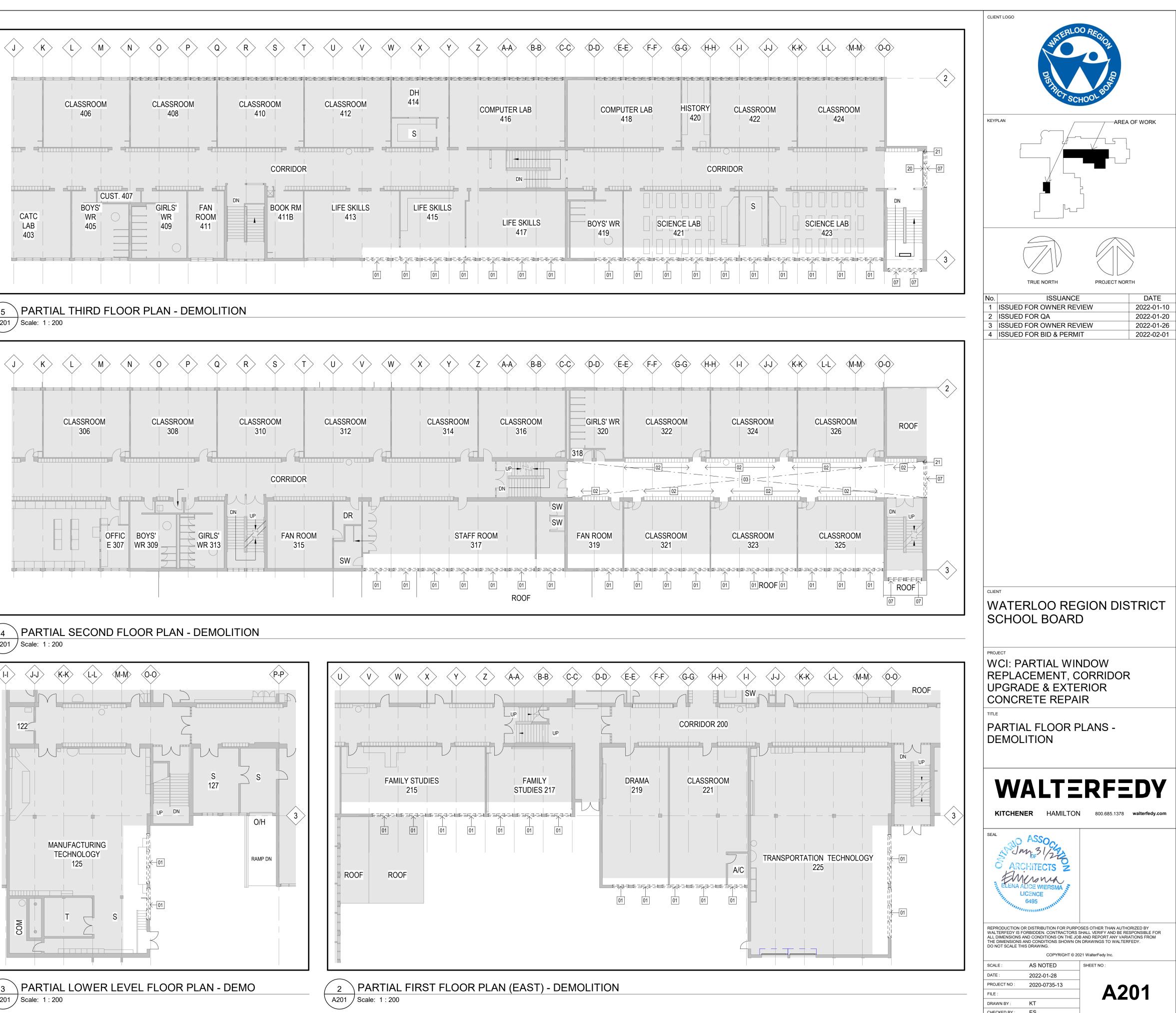


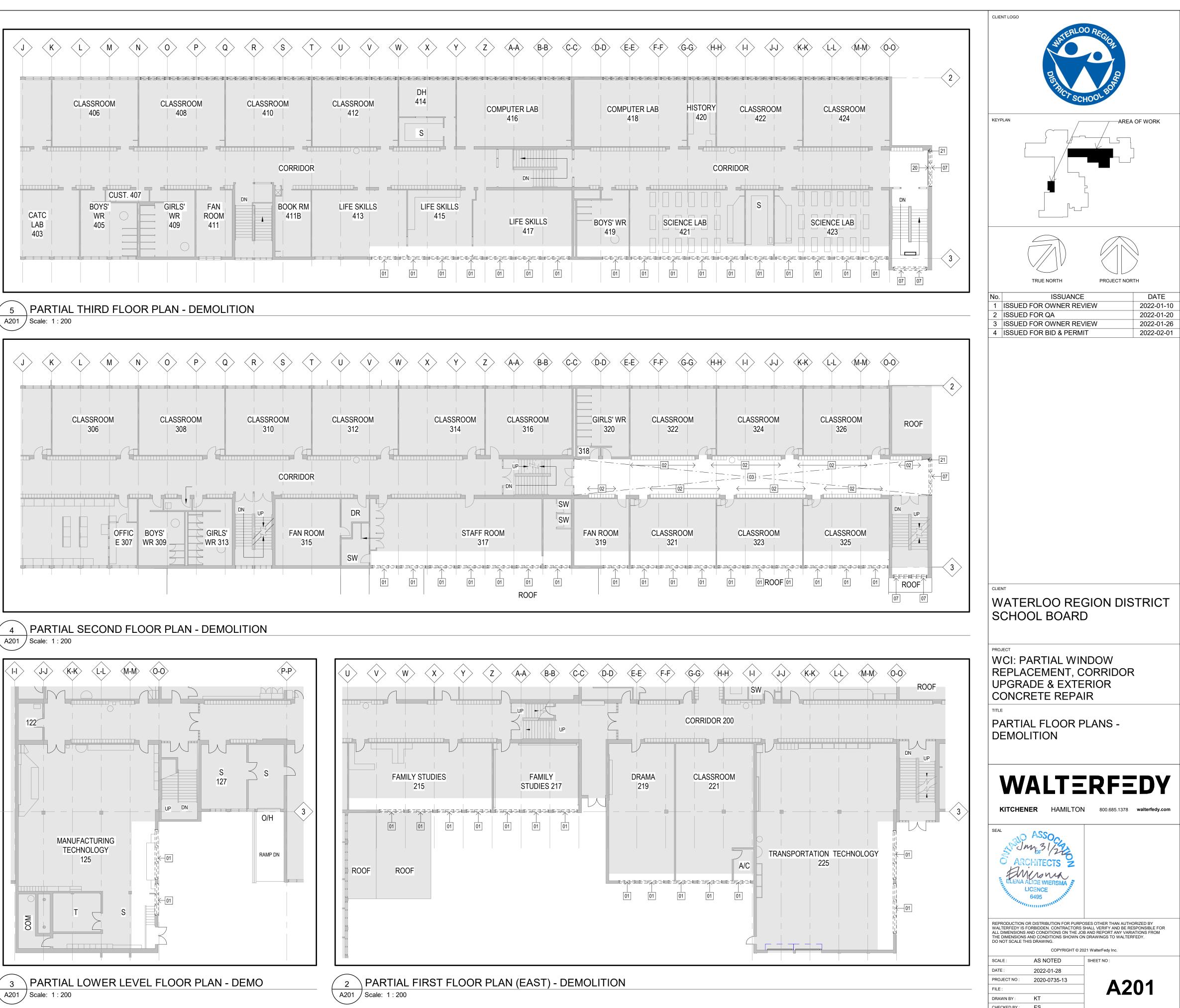
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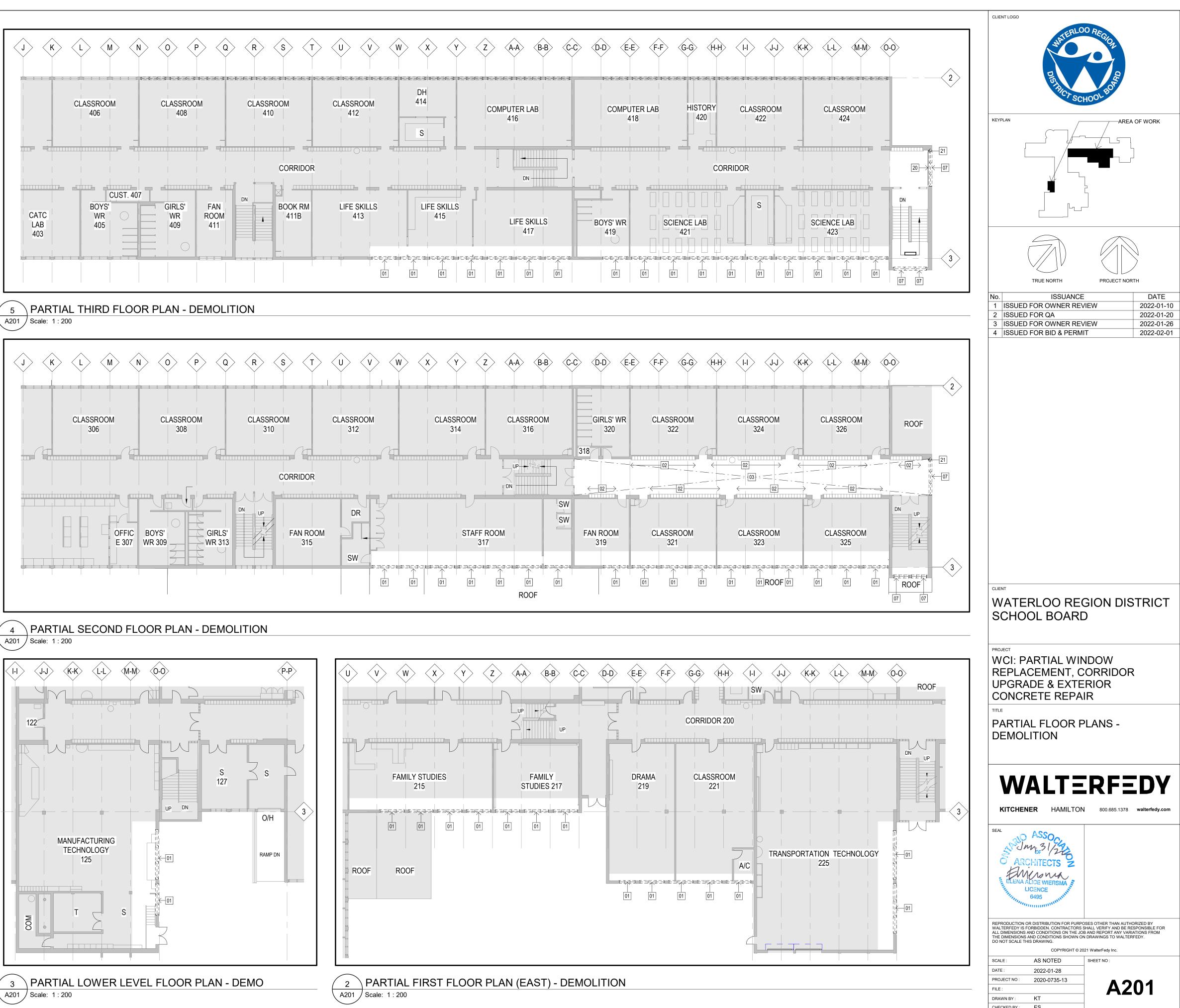


- 18 REMOVE AND REINSTALL EXISTING WALL MOUNTED CONDUIT AS REQUIRED FOR DEMOLITION.
- 19 REMOVE AND DISPOSE OF EXISTING DOOR THRESHOLD. PREP FOR NEW.
- 20 REMOVE EXISTING STEEL GUARD AND RETAIN FOR REINSTALLATION.
- 21 REMOVE AND DISPOSE OF PIPE INSULATION JACKETS



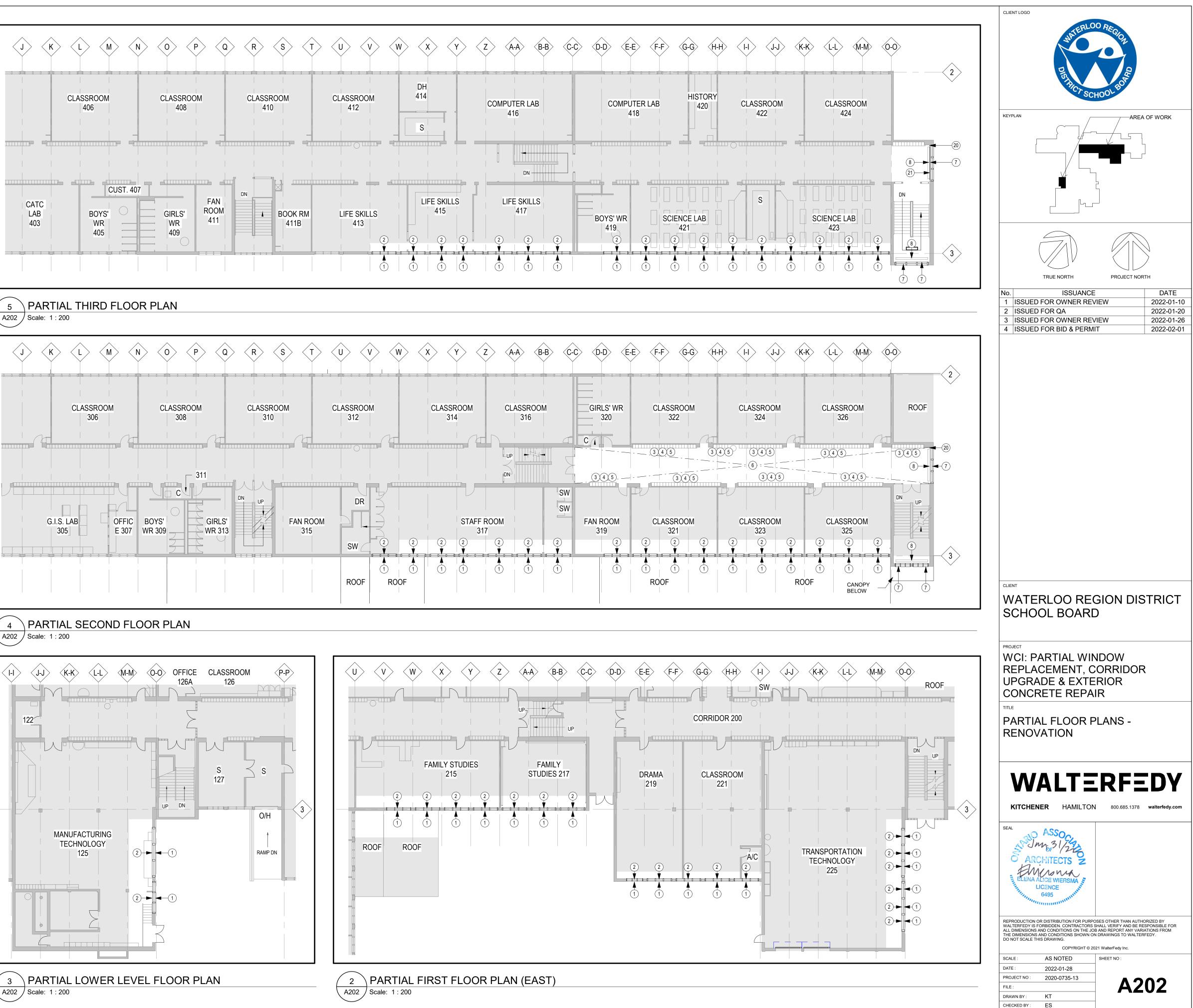




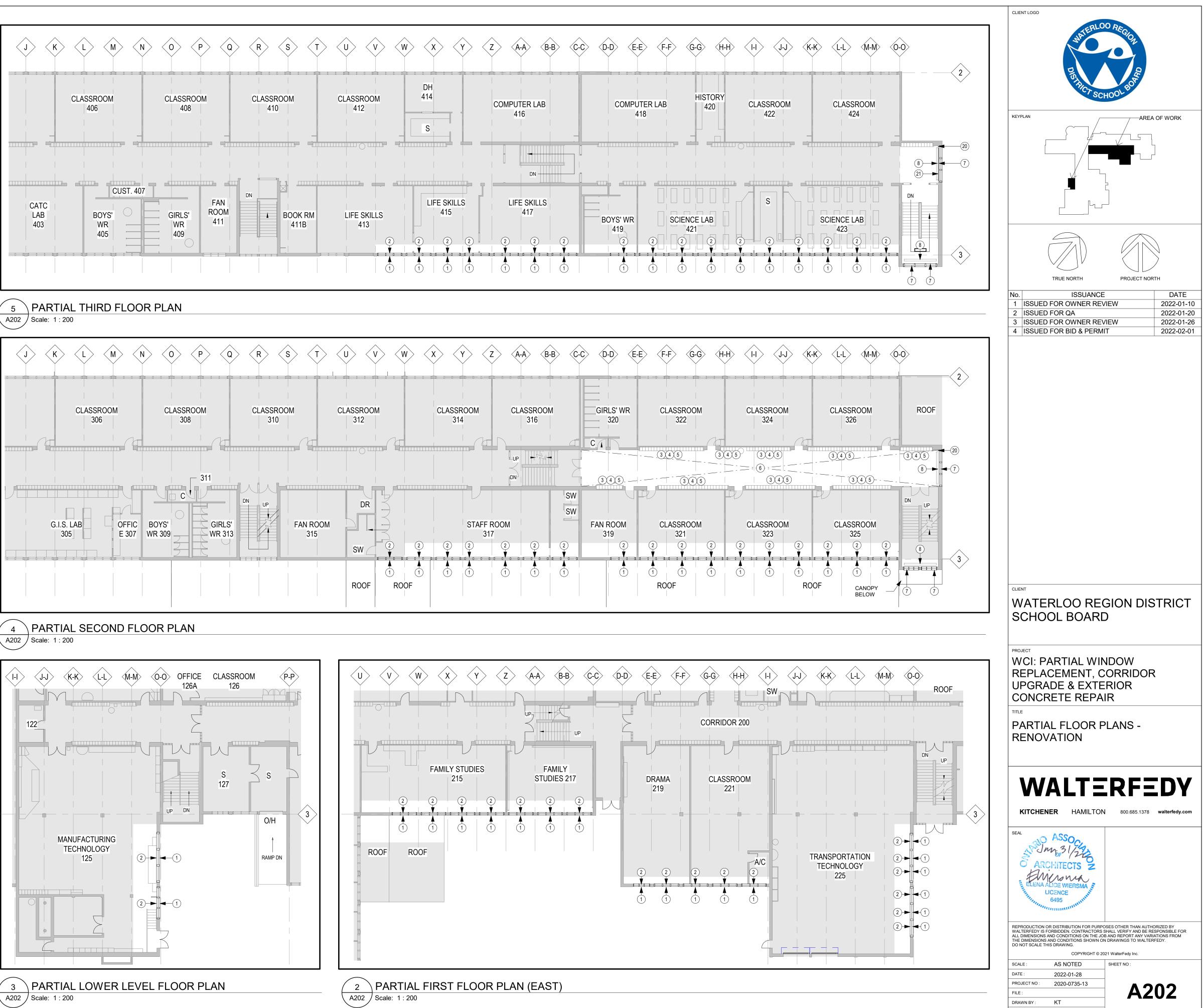


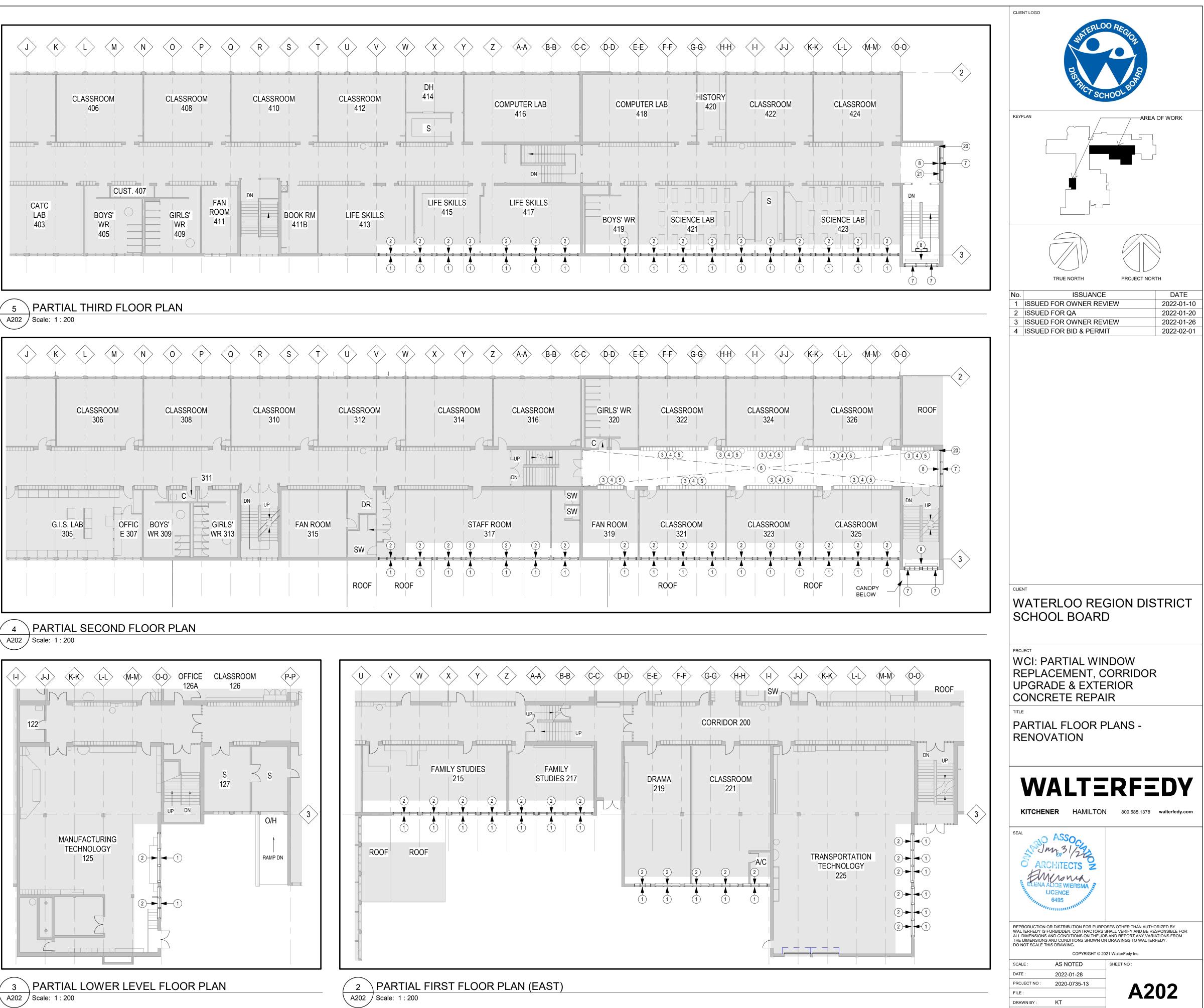
	RAWING LEGEND:
	AWING LEGEND.
	HATCH DENOTES AREA NOT IN SCOPE OF ARCHITECTURAL WORK - TYPICAL
+ + + + + + + + + + + + + + + + + + + +	HATCH INDICATES GRASS/SOD.
	EXISTING TO BE DEMOLISHED SHOWN DASHED
	EXISTING WALLS TO REMAIN
1-	→ DEMOLITION NOTE SYMBOL
1-	RENOVATION NOTE SYMBOL
DR	AWING NOTES:
(1)	NEW THERMALLY BROKEN EXTRUDED ANODIZED ALUMINUM FRAME c/w DOUBLE GLAZED SEALED UNITS.
(2)	NEW ROLLER BLINDS.
3	NEW LOCKER FACE AND SURROUND c/w DOOR TO BE INSTALLED TO EXISTING LOCKER BODY. SIZES TO BE SITE VERIFIED.
4	PROVIDE NEW HOOKS AS NECESSARY IN LOCKERS WHERE THEY ARE CURRENTLY NOT INSTALLED. BOTTOM SHELF TO BE REPLACE WHERE REQUIRED. REFER TO SPECIFICATION.
5	EXISTING LOCKER FRAMES TO REMAIN TO RECEIVE NEW POWDER COAT FINISH, INCLUDING ALL SHELVING, INTERIOR AND EXTERIOR EXPOSED ELEMENTS.PAINT COLOUR TO MATCH PREVIOUS LOCKER REPLACEMENT. PROTECT ADJACENT SURFACES FROM OVER-SPRAY.
(6)	EXISTING WALLS TO RECEIVE NEW COAT OF PRIMER AND PAINT. PATCH AND MAKE GOOD AS NECESSARY.
7	NEW CURTAIN WALL SYSTEM - GLAZED HERMETICALLY SEALED GLASS UNITS W/ CLEAR ANODIZED ALUMINUM THERMALLY BROKEN FRAME.
8	REMOVE AND RESERVE EXISTING RADIATOR AS REQUIRED FOR REPLACEMENT OF NEW CURTAINWALL GLAZING.
9	PROVIDE 100mm Ø PERFORATED WEEPING TILE, FILTER SOCK AND 19mm CLEAR STONE SURROUND. EXISTING RETAINING WALL TO BE CORED AS REQ'D TO INSERT NEW TILE - HIGH END TO HAVE SOLID CAP, LOW END (@ RETAINING WALL) TO HAVE PERFORATED STAINLESS STEEL CAP/COVER FASTENED TO EXTERIOR FACE OF RETAINING WALL.
(10)	INSTALL NEW STRUCTURAL DECK, WATERPROOFING, C.I.P. CONCRETE & PEDESTRIAN TRAFFIC COATING. REFER TO STRUC FOR DETAILS.
(11)	PROVIDE WATERPROOFING MEMBRANE 925 BELOW T/O FOUNDATION WALL AND TIE-IN TO CONCRETE LANDING WATERPROOFING MEMBRANE. REFER TO STRUC FOR DETAILS.
(12)	PROVIDE NEW CAST-IN-PLACE CONCRETE STAIR & WALKWAY. REFER TO STRUC FOR DETAILS.
(13)	PROVIDE NEW SS HANDRAIL, REFER TO DETAILS ON A502
(14)	RESERVED
(15)	PROVIDE NEW HOT DIP GALV. GUARD (SIDE MOUNTED, TYPE 2) - REFER TO DETAILS.
(16)	PROVIDE NEW HOT DIP GALV. GUARD (TOP MOUNTED, TYPE 1) - REFER TO DETAILS.

- (17) PROVIDE NEW CAST-IN-PLACE CONCRETE PLANTER & PLANTING.
- (18) PROVIDE NEW SPRAY FOAM INSULATION (MIN R-22) & COVER w/ SPRAYED THERMAL BARRIER @ u/s OF NEW LANDING STEEL DECK. INSTALL NEW ACT CEILING (GRID & PANELS) TO MATCH EXISTING LAYOUT, FINISH AND HEIGHT IN AFFACTED AREAS.
- (19) PROVIDE NEW ALUMINUM DOOR THRESHOLD.
- (20) REPLACE INSULATED PIPE JACKETS
- (21) REINSTALL RETAINED STEEL GUARD
- (22) VISUALLY CONTRASTING TACTILE INDICATORS
- (23) VISUALLY CONTRASTING ALUMINUM STAIR NOSING (TYP)



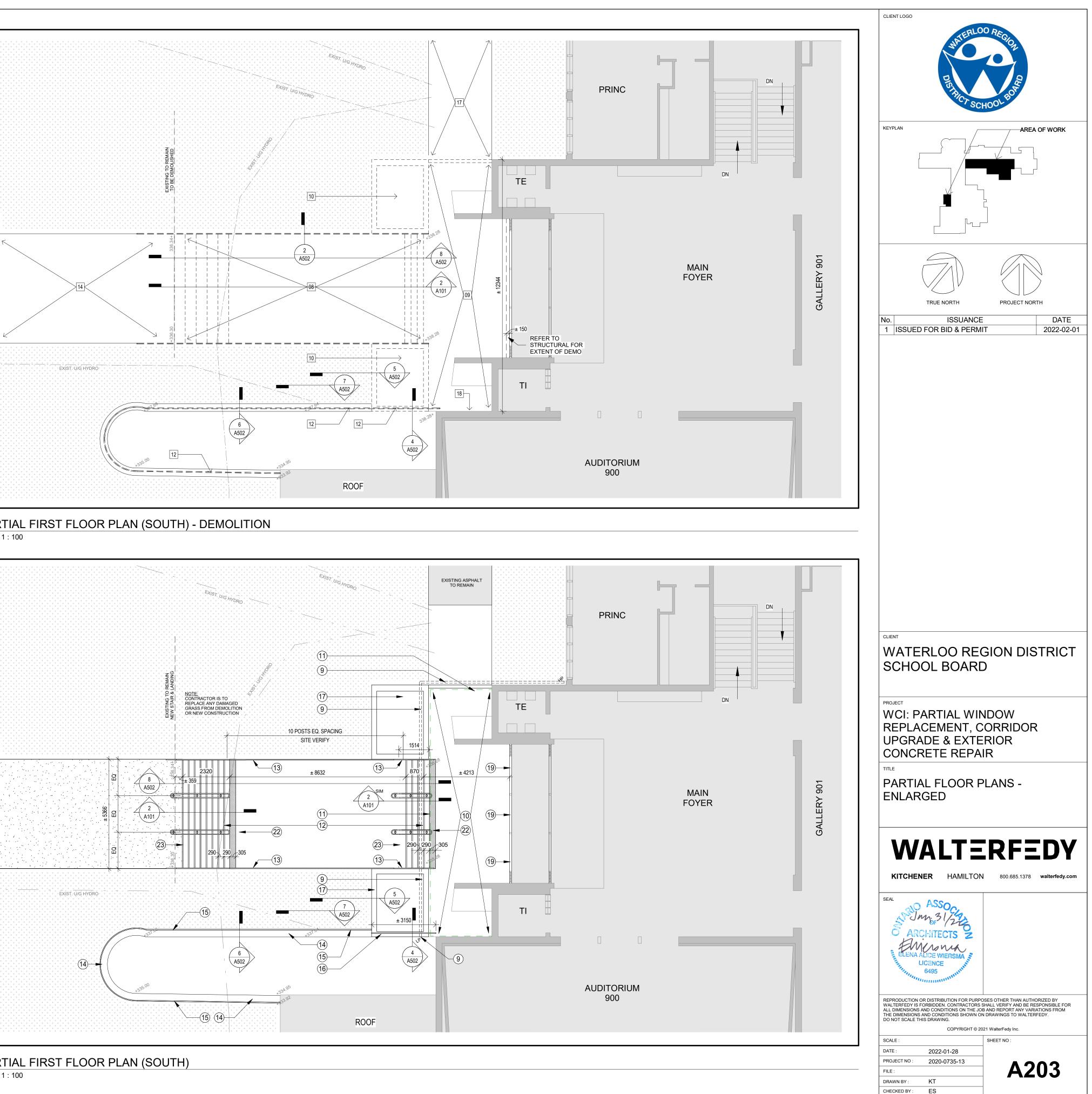


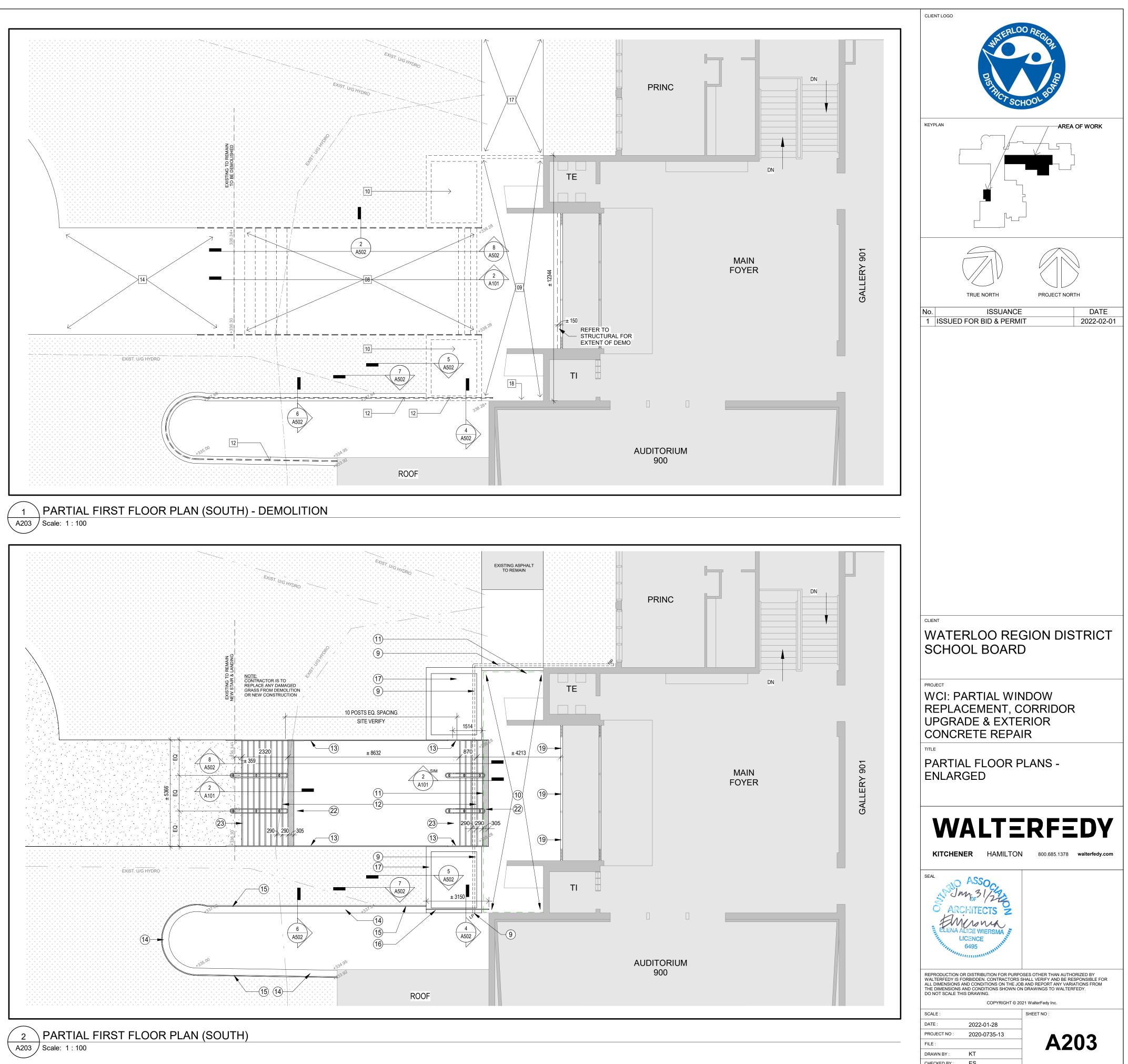




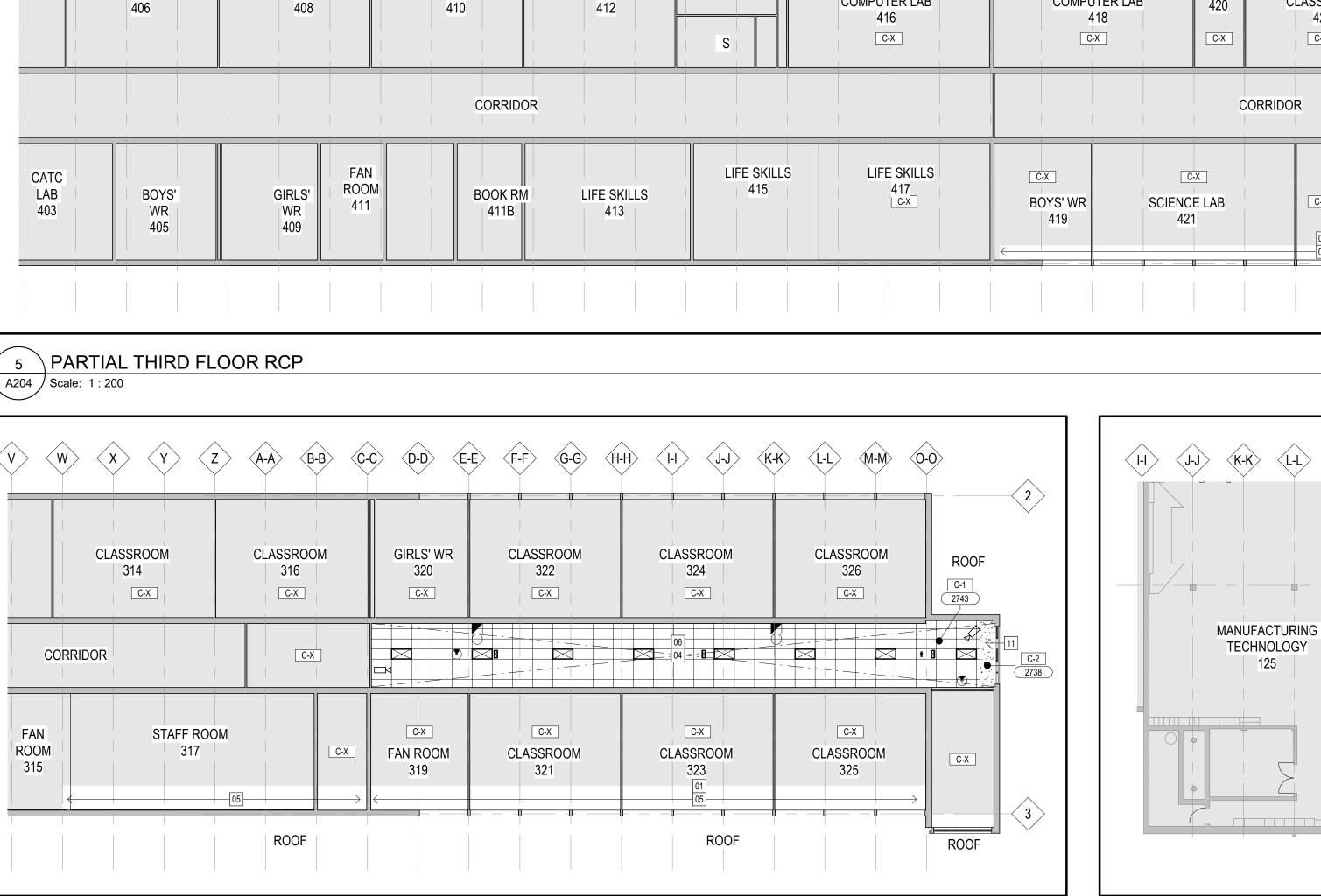


 HATCH DENOTES AREA NOT IN SCOPE OF ARCHITECTURAL WORK - TYPICAL HATCH INDICATES GRASS/SOD. EXISTING TO BE DEMOLISHED SHOWN DASHED EXISTING TO BE DEMOLISHED SHOWN DASHED EXISTING WALLS TO REMAIN DEMOLITION NOTE SYMBOL RENOVATION NOTE SYMBOL RENOVE AND DISCAPE CANCHORS, SMACKAS, SMACKAS,	
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WITH DUE CONSIDERATION FOR ADJACENT WALKWAT TO AVOID ANT MARKING, CRACKING OR DAMAGE. PROTECT CONCRETE AS	
15 CAREFULLY REMOVE SECTIONS OF EXISTING CEILING AS REQUIRED FOR WINDOW REPLACEMENT.	
16 REMOVE ANY EXISTING ACT OR GYPSUM BOARD SHEATHING INCLUDING CEILING MOUNTED FIXTURES/EQUIPMENT IN CEILING TO FACILITATE THE REMOVAL AND INSTALLATION OF NEW STEEL DECK. ALL DAMAGED MECHANICAL AND ELECTRICAL PIPING & RELATED HARDWARE TO BE REMOVED AND REPLACED AS REQ'D	
17 EXISTING ASPHALT AND STONE WALKWAY TO REMAIN. EXECUTE ADJACENT DEMOLITION IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ADJACENT MATERIALS. PATCH AND REPAIR AS REQUIRED.	
18 REMOVE AND REINSTALL EXISTING WALL MOUNTED CONDUIT AS REQUIRED FOR DEMOLITION.	
19 REMOVE AND DISPOSE OF EXISTING DOOR THRESHOLD. PREP FOR NEW.	(1) PA A203) Scale
 REMOVE EXISTING STEEL GUARD AND RETAIN FOR REINSTALLATION. REMOVE AND DISPOSE OF PIPE INSULATION JACKETS 	A200 Scale
21 REMOVE AND DISPOSE OF PIPE INSULATION JACKETS	
DRAWING NOTES:	
1 NEW THERMALLY BROKEN EXTRUDED ANODIZED ALUMINUM FRAME c/w DOUBLE GLAZED SEALED UNITS.	
	+ + + + + + + + + + + + + + + + + + +
3 NEW LOCKER FACE AND SURROUND d/w DOOR TO BE INSTALLED TO EXISTING LOCKER BODY. SIZES TO BE SITE VERIFIED.	
4 REPLACE WHERE REQUIRED. REFER TO SPECIFICATION.	
EXISTING LOCKER FRAMES TO REMAIN TO RECEIVE NEW POWDER COAT FINISH, INCLUDING ALL SHELVING, INTERIOR AND EXTERIOR EXPOSED ELEMENTS.PAINT COLOUR TO MATCH PREVIOUS LOCKER REPLACEMENT. PROTECT ADJACENT SURFACES FROM OVER-SPRAY.	
6 EXISTING WALLS TO RECEIVE NEW COAT OF PRIMER AND PAINT. PATCH AND MAKE GOOD AS NECESSARY.	
NEW CURTAIN WALL SYSTEM - GLAZED HERMETICALLY SEALED GLASS UNITS W/ CLEAR ANODIZED ALUMINUM THERMALLY BROKEN FRAME.	
8 REMOVE AND RESERVE EXISTING RADIATOR AS REQUIRED FOR REPLACEMENT OF NEW CURTAINWALL GLAZING.	
9 PROVIDE 100mm Ø PERFORATED WEEPING TILE, FILTER SOCK AND 19mm CLEAR STONE SURROUND. EXISTING RETAINING WALL 9 TO BE CORED AS REQ'D TO INSERT NEW TILE - HIGH END TO HAVE SOLID CAP, LOW END (@ RETAINING WALL) TO HAVE 9 PERFORATED STAINLESS STEEL CAP/COVER FASTENED TO EXTERIOR FACE OF RETAINING WALL.	
10 INSTALL NEW STRUCTURAL DECK, WATERPROOFING, C.I.P. CONCRETE & PEDESTRIAN TRAFFIC COATING. REFER TO STRUC FOR DETAILS.	
1 PROVIDE WATERPROOFING MEMBRANE 925 BELOW T/O FOUNDATION WALL AND TIE-IN TO CONCRETE LANDING WATERPROOFING MEMBRANE. REFER TO STRUC FOR DETAILS.	(1, 2, 3, 3) (1, 2, 3) (2, 3, 3) (2, 3, 3) (2, 3, 3) (2, 3, 3)
12 PROVIDE NEW CAST-IN-PLACE CONCRETE STAIR & WALKWAY. REFER TO STRUC FOR DETAILS.	
13 PROVIDE NEW SS HANDRAIL, REFER TO DETAILS ON A502	
 PROVIDE NEW HOT DIP GALV. GUARD (SIDE MOUNTED, TYPE 2) - REFER TO DETAILS. PROVIDE NEW HOT DIP GALV. GUARD (TOP MOUNTED, TYPE 1) - REFER TO DETAILS. 	+ + + + + + + + + + + + + + + + + + +
 PROVIDE NEW HOT DIP GALV. GUARD (TOP MOUNTED, TYPE 1) - REFER TO DETAILS. PROVIDE NEW CAST-IN-PLACE CONCRETE PLANTER & PLANTING. 	$\begin{array}{cccccccccccccccccccccccccccccccccccc$
PROVIDE NEW SPRAY FOAM INSULATION (MIN R-22) & COVER w/ SPRAYED THERMAL BARRIER @ u/s OF NEW LANDING STEEL	
DECK. INSTALL NEW ACT CEILING (GRID & PANELS) TO MATCH EXISTING LAYOUT, FINISH AND HEIGHT IN AFFACTED AREAS.	
19 PROVIDE NEW ALUMINUM DOOR THRESHOLD.	+ + + + + + + + + + + + + + + + + + +
20 REPLACE INSULATED PIPE JACKETS	
 REINSTALL RETAINED STEEL GUARD VISUALLY CONTRASTING TACTILE INDICATORS 	+ $+$ $+$ $+$ $+$ $+$ $++$ $+$ $+$ $+$ $+$ $++$ $+$ $+$ $+$ $+$ $++$ $+$ $+$ $+$ $+$ $++$ $+$ $+$ $+$ $+$ $+$ $+$
 22) VISUALLY CONTRASTING TACTILE INDICATORS 23) VISUALLY CONTRASTING ALUMINUM STAIR NOSING (TYP) 	
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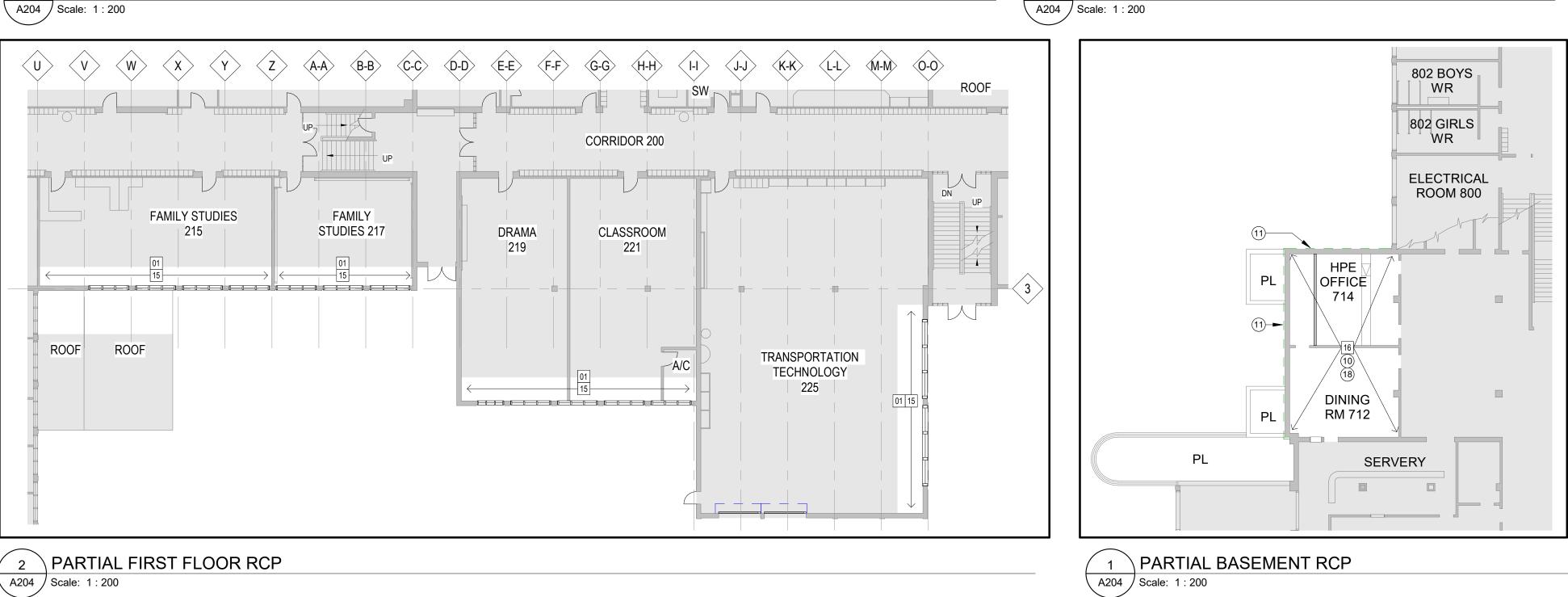




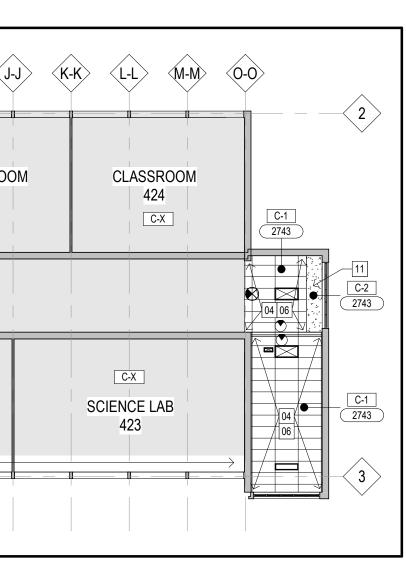
		HATCH DENOTES AREAS NOT II	N SCOPE	C-X	EXISTING 610 x 610 ACOUSTIC CEILING TILE WITH PREFINISHED METAL T-BAR SUSPENSION SYSTEM TO	
	-1 XX)	CEILING ASSEMBLY CEILING HEIGHT ABOVE FINISH	ED FLOOR TO	C-1	BE LEFT UNDISTURBED UNLESS OTHERWISE NOTED 610 x 1220 ACOUSTIC CEILING TILE WITH PREFINISHE	
		MATCH EXISTING RECESSED LED LIGHT FIXTURE		C-2	METAL T-BAR SUSPENSION SYSTEM	
	\leq	REFER TO ELEC. DRAWINGS FC		0-2	22 METAL FURRING CHANNELS 400 O.C. 64 METAL CARRYING CHANNELS 600 O.C.	
		DEMOLITION NOTE SYMBOL			SUSPENSION SYSTEM	
(1)-		RENOVATION NOTE SYMBOL				
DE	MO	LITION NOTES:				
01	c/w ALL ASBES	MISC. FASTENERS, ANCHORS, TOS AUDIT. EXISTING ROLLER E	SHIMS AND SEALANT BLINDS TO BE REMOV	: Window Re Ed and Turi	LASS BLOCK ABOVE, TO BE REMOVED AND DISPOSED O EMOVAL BY ABATEMENT CONTRACTOR - REFER TO NED OVER TO OWNER. PREPARE OPENING TO RECEIVE REPARE TO RECEIVE NEW COAT OF PRIMER AND PAINT.	
02	REMO\		JIRED AND PREPARE		DUND. LOCKER INTERIORS TO REMAIN. HELF - CONTRACTOR TO PROVIDE LOCKER SHELF	
03	CLEAN	, PATCH AND PREPARE WALLS	TO RECEIVE NEW PAI	NT		
04					RID AND SUSPENSION SYSTEM	
05		ULLY REMOVE SECTIONS OF EX TALL TILES AND GRID AS REQUI				
06	REMO\	/E AND DISCARD CEILING LIGHT	S - REFER TO ELECT	RICAL		
07					SC. FASTENERS, ANCHORS, SHIMS AND SEALANT.	l l
00		ISH CONCRETE STAIRS, WALKV	,			
09 10		ISH EXISTING STEEL DECK, COI /E AND DISCARD EXISTING CON			MBRANE. REFER TO STRUCTURAL.	
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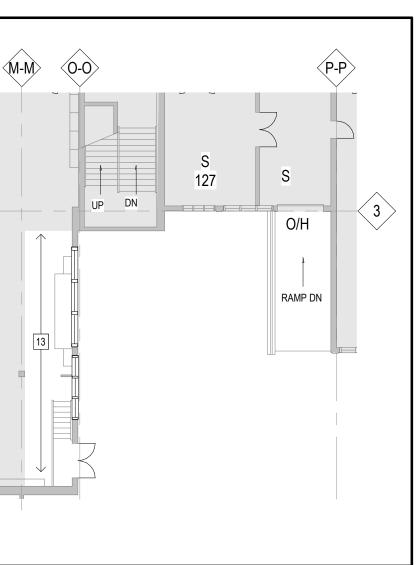




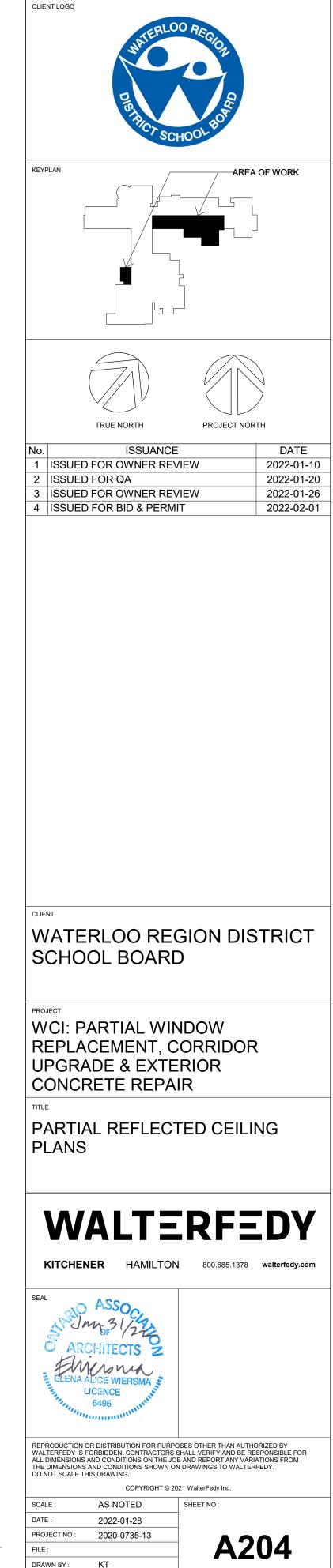


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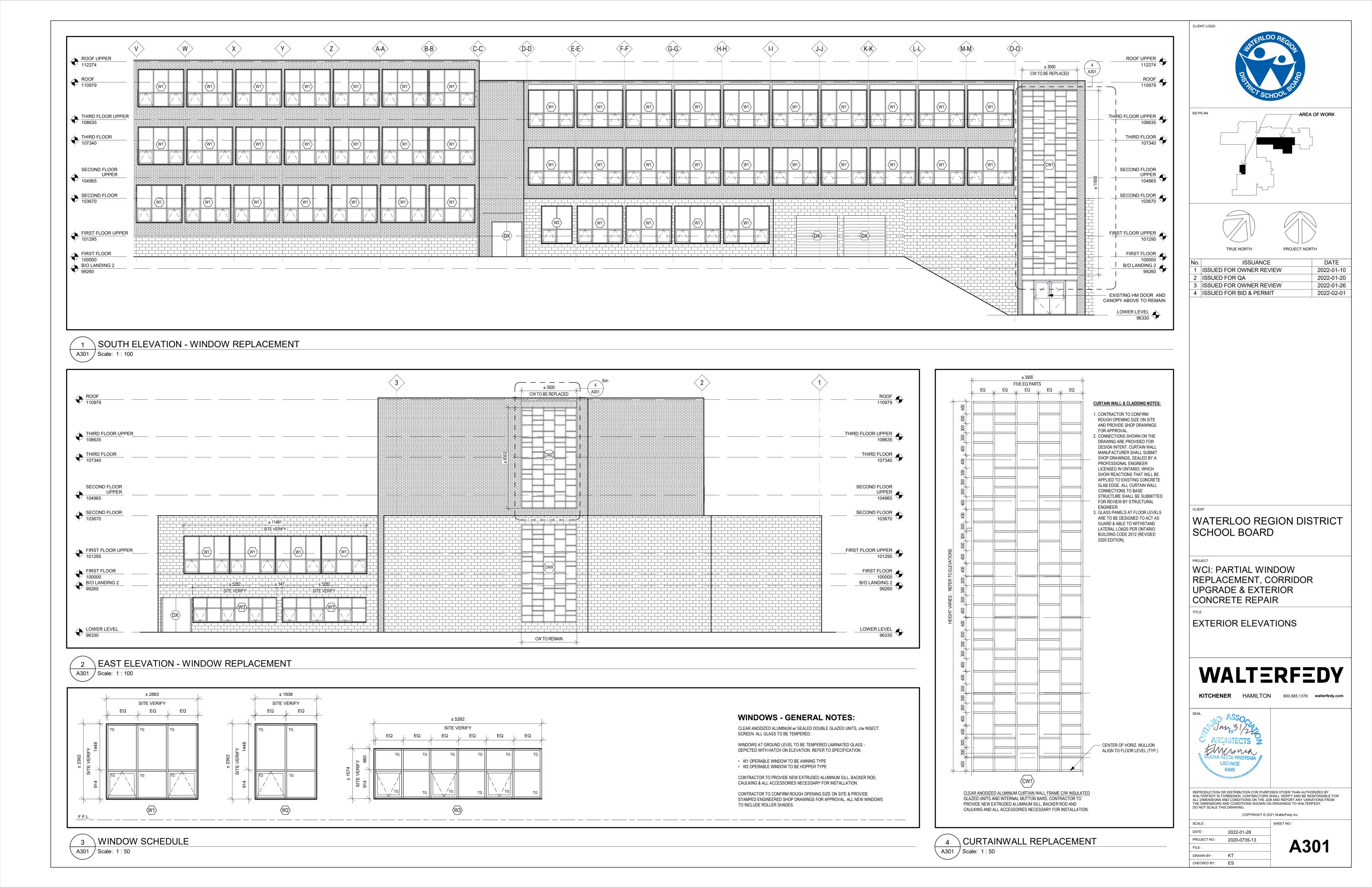


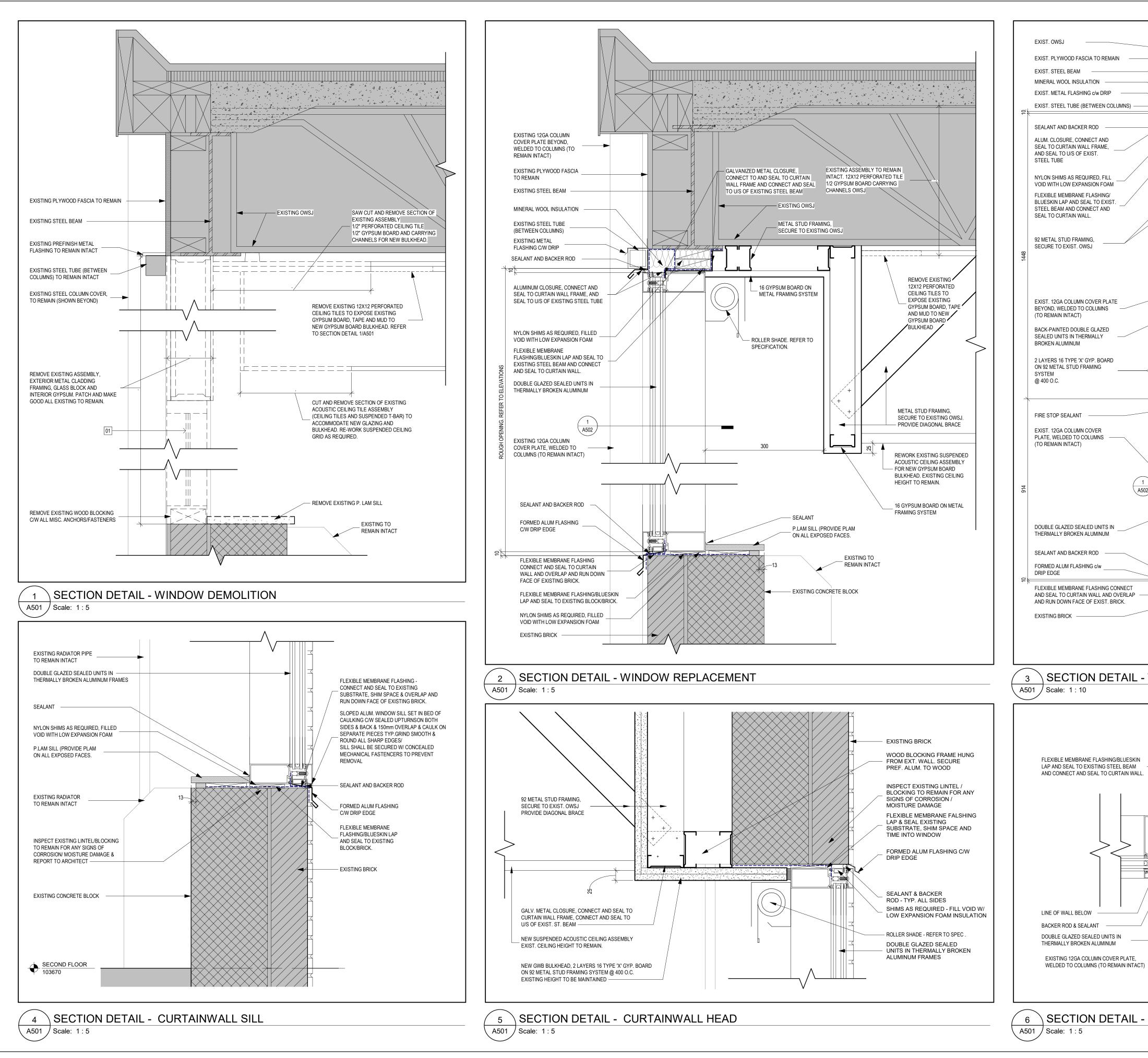


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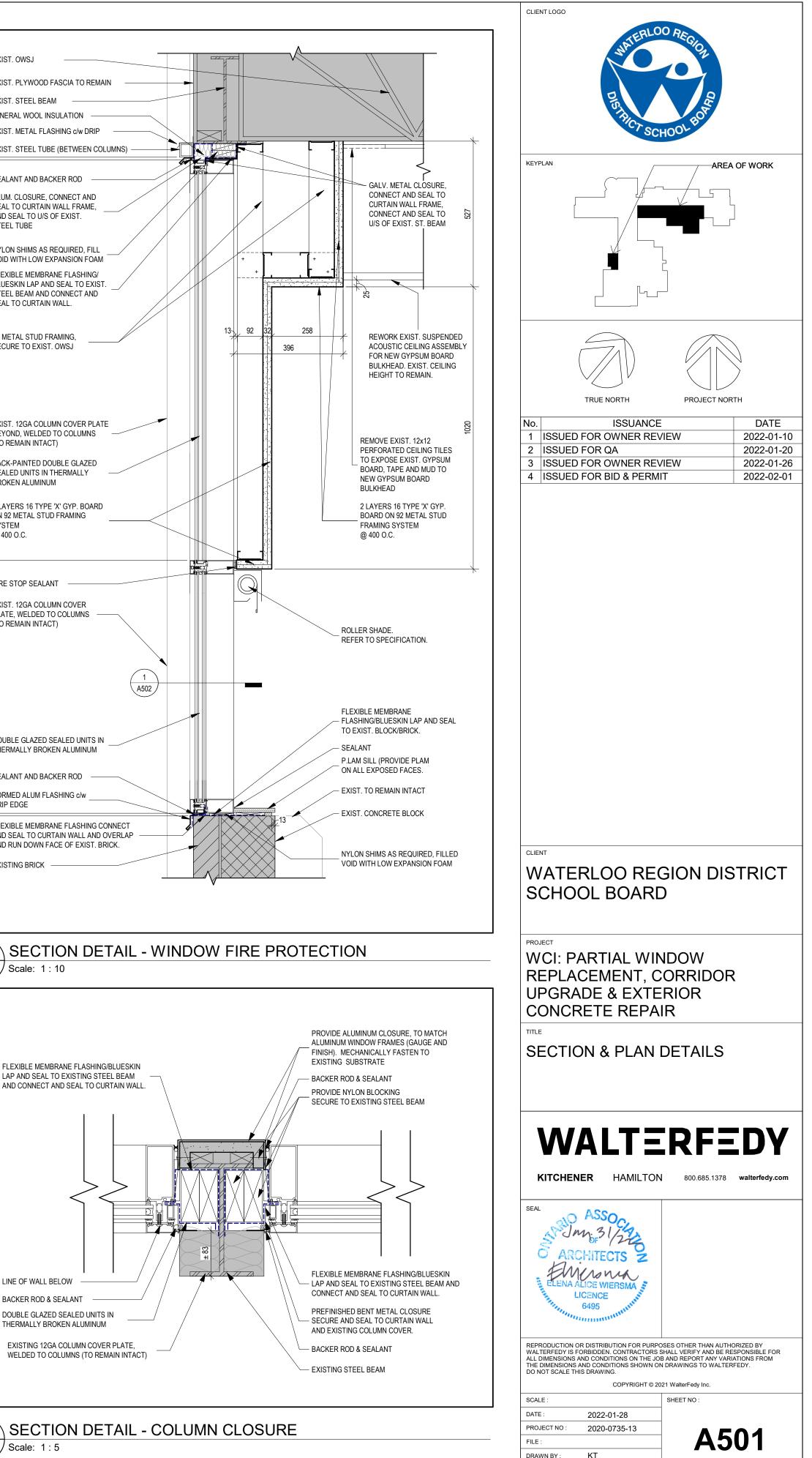
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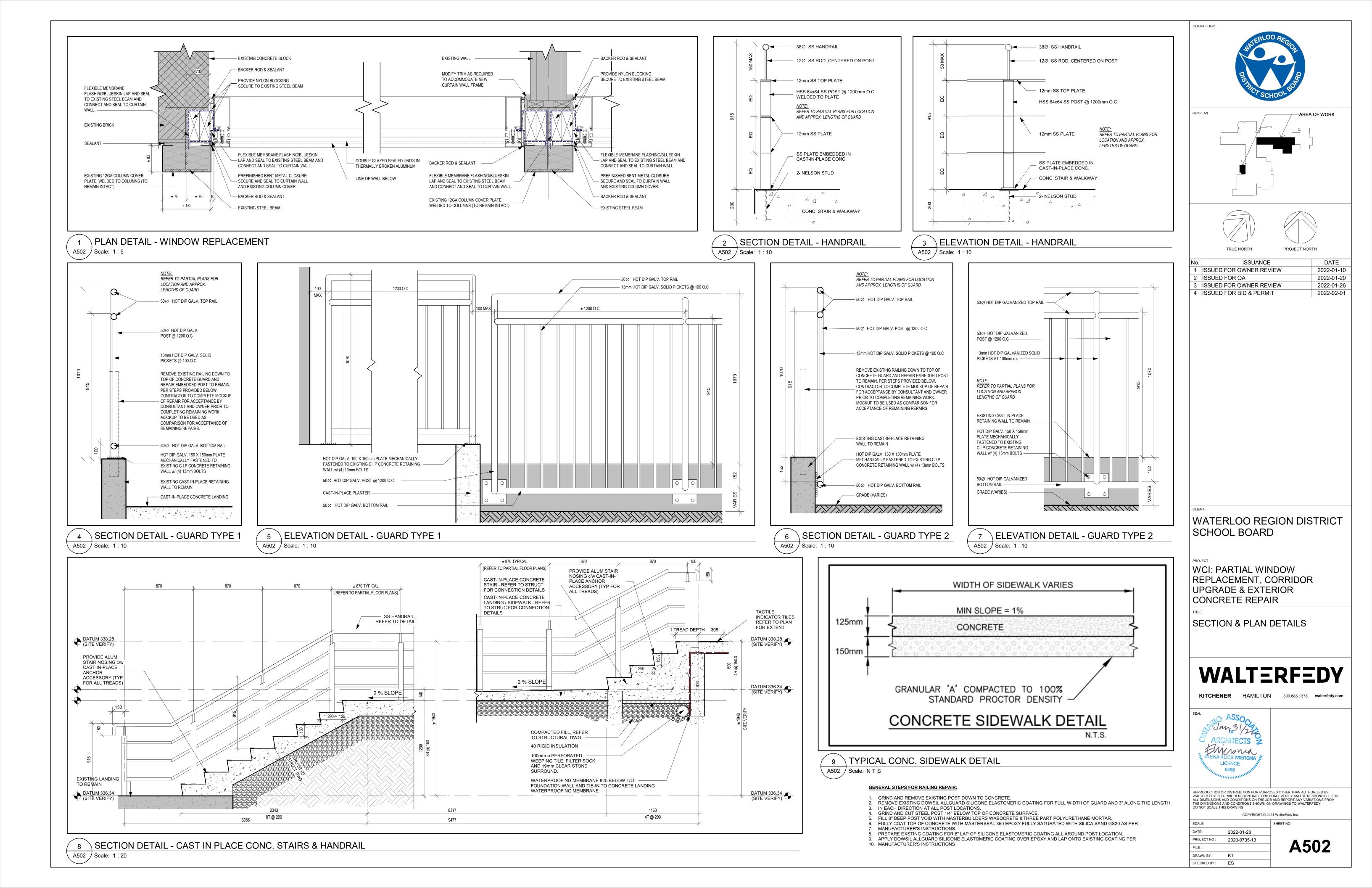
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A. GENERAL NOTES

- MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE AND ANY APPLICABLE ACTS OF THE AUTHORITY HAVING JURISDICTION.
- 2. CONTRACTORS AND TRADES SHALL BE EXPERIENCED IN THE WORK REQUIRED. WORK SHALL BE COMPLETED IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
- 3. READ THE STRUCTURAL DRAWINGS IN CONJUNCTION WITH THE SPECIFICATIONS, AND ALL OTHER CONTRACT DOCUMENTS.
- 4. THE MOST STRINGENT REQUIREMENT GOVERNS WHERE DISCREPANCIES OCCUR WITHIN THE CONTRACT DOCUMENTS, INCLUDING APPLICABLE CODES, STANDARDS AND ACTS.
- 5. DO NOT CUT, DRILL OR ALTER STRUCTURAL MEMBERS WITHOUT PERMISSION FROM THE CONSULTANT, UNLESS NOTED ON THE DRAWINGS.
- 6. THE STRUCTURAL DRAWINGS ARE FOR THE COMPLETED PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, TEMPORARY WORKS AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
- 7. THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND REINSTATE ANY SURFACE MOUNTED SERVICES AS REQUIRED TO COMPLETE THE WORK. REMOVAL AND REINSTATEMENT OF SERVICES SHALL BE COORDINATED WITH THE OWNER.
- 8. PROVIDE ALL TEMPORARY SHORING, BRACING, HOARDING AND PROTECTION NECESSARY TO COMPLETE THE WORK AND COMPLY WITH APPLICABLE REGULATIONS. TEMPORARY WORKS TO BE DESIGNED AND INSPECTED BY A PROFESSIONAL ENGINEER WHO IS RETAINED BY THE CONTRACTOR.
- 9. TEMPORARY SHORING IS SHOWN ON THE STRUCTURAL DRAWINGS ONLY TO PROVIDE LOADING REQUIREMENTS AND CLARIFY SHORING DESIGN INTENT, IF NECESSARY, FOR ALTERATIONS EXPLICITLY SHOWN ON THE STRUCTURAL DRAWINGS. IT DOES NOT REPRESENT A COMPLETE SHORING SYSTEM, NOR ALL THE TEMPORARY WORKS NECESSARY TO COMPLETE CONSTRUCTION OF THE PROJECT.
- 10. THE CONTRACTOR SHALL COORDINATE WORK TO BE COMPLETED WITH THE OWNER AND THE CONSULTANT PRIOR TO MOBILIZING. THE CONSULTANT MUST BE NOTIFIED OF ANY CHANGES OR DEVIATION FROM THE DRAWINGS.
- 11. THE CONTRACTOR TO INSTALL FENCING TO DIRECT PEDESTRIAN TRAFFIC SAFELY AROUND WORK AREA ACCORDING TO OCCUPATIONAL HEALTH & SAFETY ACT. REG. 213/91, S.65.
- 12. EXISTING STRUCTURES AND DIMENSIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE, AND ARE PROVIDED TO CONVEY DESIGN INTENT ONLY. THE DESIGN IS BASED ON THE INFORMATION CONTAINED IN THE RECORD DRAWINGS FOR THE EXISTING. AND ON LIMITED SITE OBSERVATIONS AND MEASUREMENTS. VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING THE WORK. NOTIFY THE CONSULTANT OF ANY DISCREPANCIES OR CONDITIONS ENCOUNTERED THAT COULD POTENTIALLY AFFECT THE WORK, AND OBTAIN DIRECTION BEFORE PROCEEDING.
- 13. LOCATE ALL EXISTING BURIED UTILITIES AND STRUCTURES. APPROXIMATE LOCATION OF ALL KNOWN EXISTING SERVICES ARE SHOWN ON THE DRAWINGS. REMOVE, RELOCATE OR PROVIDE PROTECTION DURING CONSTRUCTION, AS DIRECTED BY THE CONSULTANT.
- 14. PROTECT EXISTING STRUCTURES FROM DAMAGE DURING CONSTRUCTION. PATCH AND MAKE GOOD ALL EXISTING BUILDING ELEMENTS DISTURBED OR DAMAGED AS PART OF THE WORK, DOCUMENT PREEXISTING DAMAGE AND DETERIORATION UNRELATED TO THE WORK, INCLUDING FINISHES OF SURFACES, BEFORE STARTING THE WORK
- 15. CARRY OUT ALL DEMOLITION. REMOVAL AND DISPOSAL IN ACCORDANCE WITH APPLICABLE PROVINCIAL AND LOCAL REGULATIONS.
- 16. EXECUTE DEMOLITION IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ADJACENT STRUCTURES AND FINISHES.
- 17. ALL DEMOLITION DEBRIS TO BE DISPOSED OFF-SITE.
- 18. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND MAKE MODIFICATIONS TO SUIT EXISTING SITE CONDITIONS
- 19. CONTRACTOR TO PROVIDE TEMPORARY PARTITIONS AS REQUIRED TO CONTROL DUST, NOISE AND FUME MIGRATION INTO ADJACENT SPACES.

C. MATERIALS

- 1. STRUCTURAL CONCRETE
- 1.1. CONCRETE: CONFORMING TO CSA A23.1, C-1 EXPOSURE CLASS WITH 35MPa COMPRESSIVE STRENGTH AT 28 DAYS. ADD INTEGRAL CORROSION INHIBITOR TO CONCRETE MIX.
- 1.2. REINFORCING BARS: CONFORMING TO CSA G30.18, GRADE 400R (OR 400W WHERE WELDING IS REQUIRED). ALL REINFORCING TO BE BLACK STEEL UNLESS NOTED.
- 1.3. WELDED WIRE REINFORCING: CONFORMING TO ASTM A185/A185M, WITH MINIMUM YIELD STRENGTH OF 450 MPa, OR 386 MPa FOR DIAMETERS LESS THAN MW7.7 (3.1mm). GALVANIZED.
- 1.4. STEEL ANGLES: CONFORMING TO CSA G40.20/G40.21 GRADE 300W OR BETTER.

G. WATERPROOFING

- 1. ALL SURFACES TO RECEIVE WATERPROOFING SHALL BE PREPARED UNDER THE STIPULATIONS WITHIN THIS SECTION, AND TO THE SATISFACTION OF THE WATERPROOFING MANUFACTURER. THE CONTRACTOR IS RESPONSIBLE TO ARRANGE A MEETING WITH THE WATERPROOFING MANUFACTURER TO REVIEW EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR ARRANGING ONE SITE MEETING WITH THE CONSULTANT AND MANUFACTURERS REPRESENTATIVE TO CREATE A MOCK-UP OF THE WATERPROOFING. THE CONTRACTOR MUST ENSURE THAT THE QUALITY OF THE ENTIRE WATERPROOFING INSTALLATION IS CONSISTENT WITH THE QUALITY OF THE MOCK-UP.
- 3. REMOVE EXISTING WATERPROOFING SYSTEM ON EXISTING CONCRETE FOUNDATION WALL TO REMAIN TO THE SATISFACTION OF THE CONSULTANT.
- 3. CONCRETE SURFACES TO RECEIVE WATERPROOFING SHALL BE SOUND AND FREE OF SHARP PROTRUSIONS. THE CONTRACTOR SHALL USE REPAIR METHODS THAT ARE ACCEPTABLE TO THE WATERPROOFING MANUFACTURER.
- 4. REMOVE ALL DUST, DIRT, GREASE, OR ANY OTHER CONTAMINANTS FROM SURFACES TO RECEIVE WATERPROOFING.
- 5. CONCRETE SURFACES SHALL BE PREPARED WITH A HIGH PRESSURE WATER BLAST AS A MINIMUM.
- 6. ENSURE THAT ALL CONCRETE AND/OR REPAIR MATERIALS HAVE ADEQUATELY CURED PRIOR TO WATERPROOFING INSTALLATION.
- 7. PROVIDE CANT BEADS AT ALL INTERNAL CORNERS OF WATERPROOFED SURFACES PER R205. 8. ROUT AND SEAL CRACKS, CONTROL JOINTS, AND CONSTRUCTION JOINTS ON THE CONCRETE SURFACES TO RECEIVE WATERPROOFING PER THE MANUFACTURER'S RECOMMENDATIONS AND R201/R202a.
- 9. WATERPROOFING LAPS/TIE-INS SHALL BE A MINIMUM OF 150(6"), UNLESS DIRECTED OTHERWISE BY THE WATERPROOFING MANUFACTURER.
- 10. PROVIDE WATERPROOFING UPTURNS AT ALL HORIZONTAL TO VERTICAL TRANSITIONS PER R207.

J. STRUCTURAL CONCRETE

- 1. PERFORM WORK IN ACCORDANCE WITH CSA A23.1 AND CSA A23.3. 2. DO NOT LOAD CONCRETE ELEMENTS UNTIL DESIGN STRENGTH HAS BEEN REACHED. 3. SUPPLY AND PLACEMENT:
- 3.1. CONCRETE IS SPECIFIED UNDER THE PERFORMANCE ALTERNATIVE, AND RESPONSIBILITIES OF THE CONTRACTOR AND CONCRETE SUPPLIER, ARE AS DEFINED IN CSA A23.1 TABLE 5. THE CONTRACTOR SHALL WORK WITH THE SUPPLIER TO ESTABLISH THE CONCRETE MIX PROPERTIES TO MEET PERFORMANCE CRITERIA FOR PLASTIC AND HARDENED CONCRETE, CONSIDERING THE CONTRACTOR'S CRITERIA FOR CONSTRUCTION AND PLACEMENT AND THE SPECIFIED PERFORMANCE CRITERIA.
- 3.2. PROTECT CONCRETE FROM FREEZING AND HOT WEATHER IN ACCORDANCE WITH THE COLD AND HOT WEATHER CONCRETE PROCEDURES OF CSA A23.1.

4. REINFORCING:

- REINFORCING STEEL INSTITUTE OF CANADA MANUAL OF STANDARD PRACTICE. 4.2. PROVIDE REINFORCING BAR EMBEDMENT AND LAP SPLICES IN ACCORDANCE WITH CSA A23.3,
- AND NOT LESS THAN 300mm FOR WELDED WIRE MESH, 400mm FOR 15M REBARS. 4.3. ALL TENSION LAP SPLICES ARE CLASS B UNLESS NOTED OTHERWISE.
- 4.4. DETAIL REINFORCING IDENTIFIED AS CONTINUOUS WITH CLASS B TENSION LAP SPLICES. TYPICAL CORNER BARS AT CORNERS AND INTERSECTIONS OF SIMILAR ELEMENTS, AND TERMINATE WITH STANDARD HOOKS.
- 4.5. REINFORCING LENGTHS, QUANTITIES, SPACING AND SIZES SHOWN IN TYPICAL DETAILS ARE MINIMUM REQUIREMENTS, UNLESS NOTED OTHERWISE. 4.6. TIE AND SECURE ALL REINFORCING IN PLACE USING PURPOSE MADE ACCESSORIES, WITH
- COVER AND MAINTAIN POSITION DURING CONCRETE PLACEMENT. PROVIDE SIDE CHAIRS IN ALL VERTICAL ELEMENTS.
- AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING CONCRETE. 4.8. DO NOT FIELD-BEND OR FIELD-CUT REINFORCING STEEL UNLESS DETAILED ON THE DRAWINGS
- OR APPROVED BY THE CONSULTANT. 5. COVER:
- 5.1. MINIMUM COVER FOR ALL CONCRETE CAST AGAINST EARTH: 75 (3") 5.2. MINIMUM COVER FOR ALL CONCRETE EXPOSED TO EARTH: 50 (2") 6. REPAIR ANY DEFECTS IN HARDENED CONCRETE USING APPROVED METHODS, AND OBTAIN
- CONSULTANT'S APPROVAL OF FINISHED REPAIR PRIOR TO BACKFILLING OR COVERING.

K. SUBMITTALS

- 1. SUBMIT SHOP DRAWINGS TO THE CONSULTANT FOR REVIEW PRIOR TO FABRICATION, ALLOW 10 BUSINESS DAYS FOR CONSULTANT'S REVIEW OF SHOP DRAWINGS.
- 2. SHOP DRAWINGS WILL BE REVIEWED SOLELY TO ASCERTAIN GENERAL CONFORMANCE WITH THE DESIGN CONCEPT. THE CONSULTANT'S REVIEW DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SHOP DRAWING OR RESPONSIBILITY FOR MEETING THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- 3. SHOP DRAWINGS FOR ITEMS WITH DELEGATED DESIGN REQUIREMENTS (DESIGN BY OTHERS) SHALL BE STAMPED BY PROFESSIONAL ENGINEER LICENSED IN ONTARIO.
- 4. PROVIDE THE FOLLOWING SHOP DRAWING SUBMITTALS AS APPLICABLE: CONCRETE REINFORCING CONCRETE MIX DESIGN INTEGRAL CORROSION INHIBITOR (TYPE, NAME, QUANTITY) SHORING AND BRACING (STAMPED)
 - ARCHITECTURAL STEEL FABRICATIONS (STAMPED) PACKAGED REPAIR MATERIALS (DATA SHEETS) CORROSION INHIBITING COATINGS (DATA SHEETS) ADMIXTURES (DATA SHEETS) CURING COMPOUNDS (DATA SHEETS)
 - STEEL DECK (STAMPED)
- DAMAGE AND DETERIORATION UNRELATED TO THE WORK, INCLUDING FINISHES OF SURFACES, PRIOR TO PROCEEDING WITH THE WORK.

... GENERAL REVIEW

- 1. WALTERFEDY WILL PERFORM PERIODIC FIELD REVIEWS OF A REPRESENTATIVE SAMPLE OF THE WORK TO CONFIRM THAT THE WORK FOR WHICH WE ARE RESPONSIBLE IS IN GENERAL CONFORMANCE WITH THE DRAWINGS AND SPECIFICATIONS.
- 2. GENERAL REVIEW OF WORK DESIGNED BY OTHER PROFESSIONAL ENGINEERS FOR DELEGATED DESIGN ITEMS (STAMPED SHOP DRAWINGS) IS TO BE PERFORMED BY THE ENGINEER RESPONSIBLE FOR THAT DESIGN. SUBMIT FIELD REVIEW REPORTS TO THE CONSULTANT.
- 3. COOPERATE WITH CONSULTANTS RETAINED TO PERFORM FIELD REVIEW. PROVIDE ACCESS AND ASSISTANCE AS REQUIRED FOR THE SAFE PERFORMANCE OF THEIR WORK. 4. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE CONSULTANT REASONABLE NOTICE FOR
- FIELD REVIEWS, AT LEAST 2 BUSINESS DAYS PRIOR TO CONCEALING OR ATTACHING TO THE WORK. TO ENSURE THAT FIELD REVIEWS OCCUR AT THE APPROPRIATE STAGE OF THE CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE WALTERFEDY WITH A CONSTRUCTION SCHEDULE PRIOR TO STARTING THE WORK, AND GIVE PERIODIC PROGRESS UPDATES. 5. NOTIFY CONSULTANT FOR GENERAL REVIEW AS FOLLOWS:
- 5.1. AFTER DEMOLITION OF THE EXISTING CONCRETE ON METAL DECK FLOOR SLAB: ALLOW THE CONSULTANT TO VISUALLY REVIEW THE EXISTING STEEL STRUCTURE. SEE PLAN NOTES FOR INTENT.
- 5.2. PRIOR TO THE INSTALLATION OF THE CONCRETE TOPPING: ALLOW THE CONSULTANT TO VISUALLY EXAMINE THE WATERPROOFING MEMBRANE ONCE COMPLETELY INSTALLED, AND COLLABORATIVELY EXECUTE A 30 MINUTE FLOOD TEST OF THE MFMBRANE
- 6. FIELD REVIEW DOES NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR ACCURACY, QUALITY AND CONFORMANCE OF THE WORK WITH THE CONTRACT DOCUMENTS.

M. TESTING AND INSPECTION

- 1. AN INDEPENDENT TESTING AND INSPECTION COMPANY WILL BE RETAINED ON BEHALF OF
- 2. COORDINATE TESTING AND INSPECTION OF THE WORK, PROVIDE REASONABLE NOTICE FOR INSPECTION TIMES, AND ENSURE COPIES OF ALL INSPECTION REPORTS ARE DISTRIBUTED TO THE CONSULTANT AND OWNER IN A TIMELY MANNER.
- 3. COOPERATE WITH TESTING AND INSPECTION COMPANIES. PROVIDE ACCESS AND ASSISTANCE AS REQUIRED FOR THE SAFE PERFORMANCE OF THEIR WORK.
- 4. TESTING AND INSPECTION IS REQUIRED FOR THE FOLLOWING: CONCRETE REINFORCING STEEL PLACEMENT PLASTIC CONCRETE PROPERTIES
 - CONCRETE COMPRESSIVE STRENGTH
- 5. TESTING AND INSPECTION DOES NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR ACCURACY, QUALITY AND CONFORMANCE OF THE WORK WITH THE CONTRACT DOCUMENTS.

3.3. PLACE CONCRETE IN A MANNER TO MINIMIZE SEGREGATION AND VIBRATE AFTER PLACEMENT.

4.1. DETAIL AND PLACE REINFORCING STEEL IN ACCORDANCE WITH CSA A23.1, CSA A23.3 AND THE

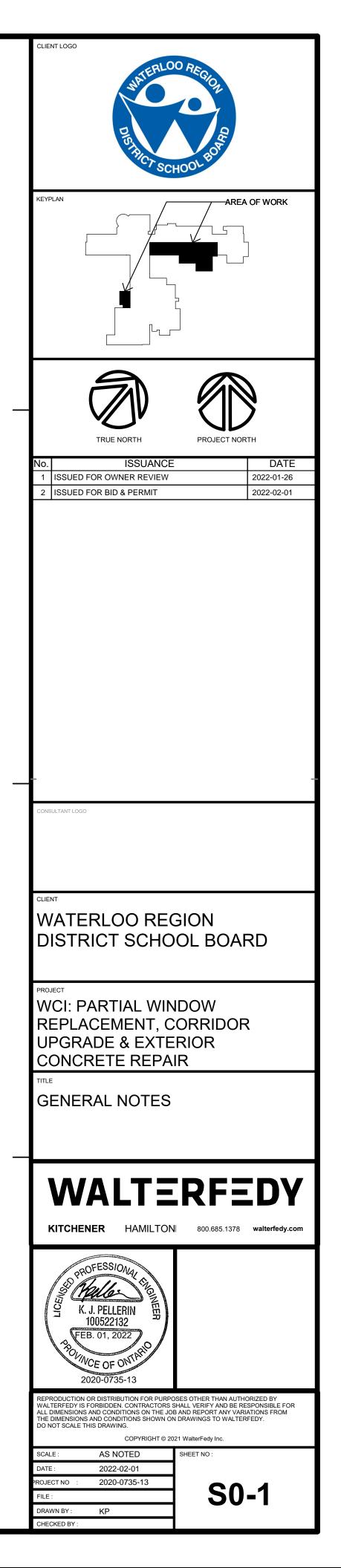
MAXIMUM SPACING 1200 (48") BETWEEN SUPPORT POINTS, IN ORDER ACHIEVE SPECIFIED

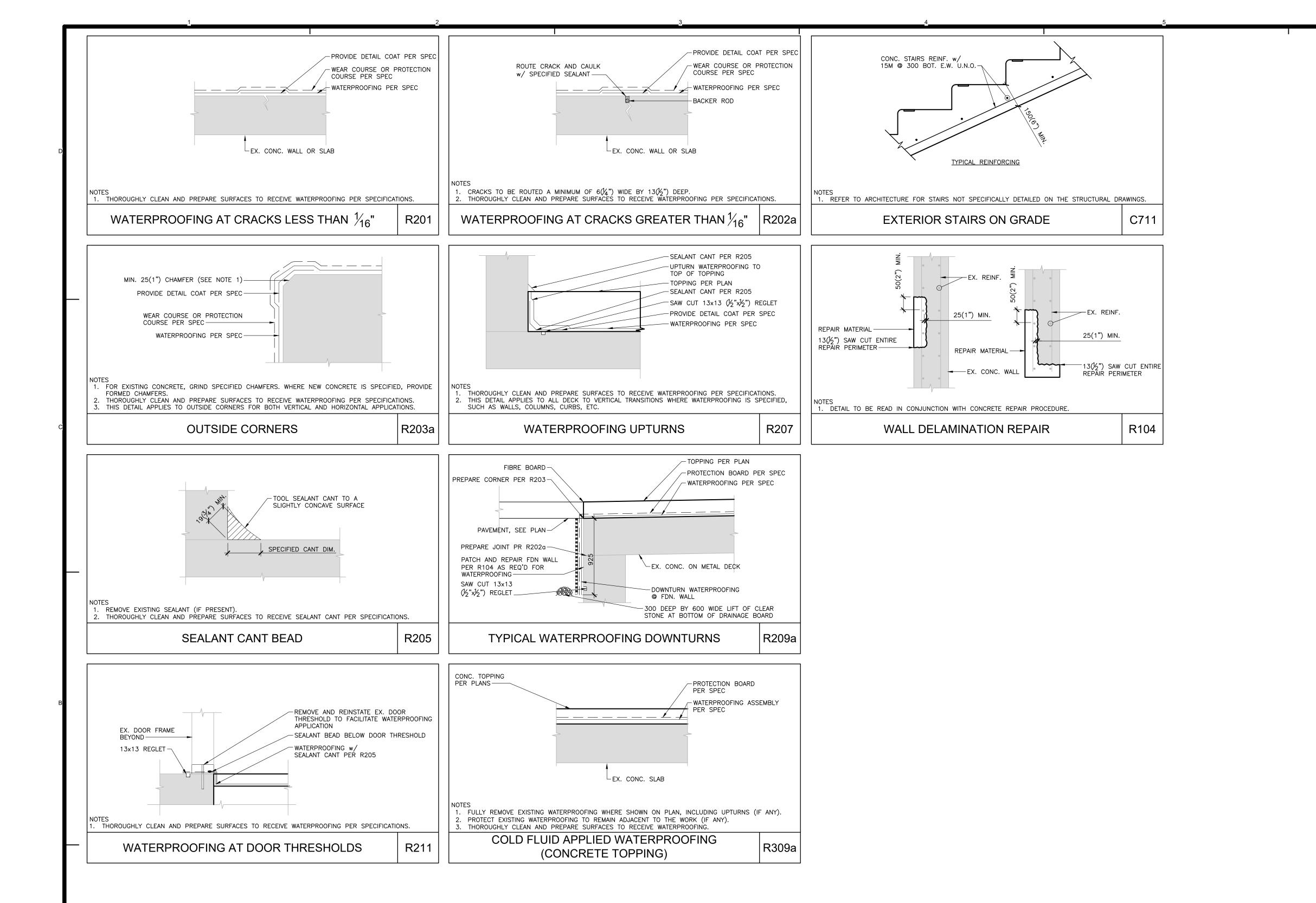
4.7. REINFORCING STEEL SHALL BE FREE OF ALL DIRT, FORM OIL, SIGNIFICANT CORROSION, GREASE,

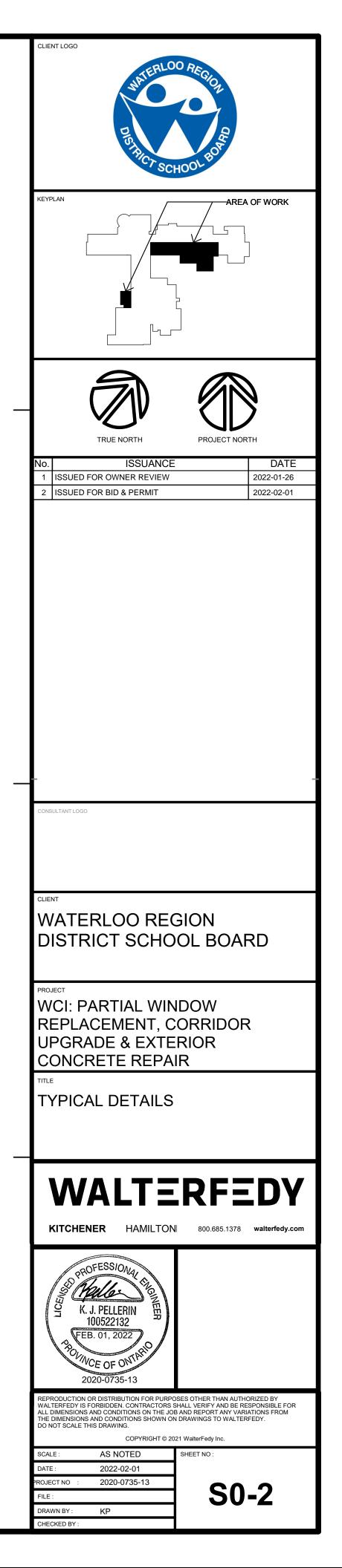
5. SUBMIT DOCUMENTATION OF EXISTING CONDITIONS, ESPECIALLY AROUND AREAS OF PREEXISTING

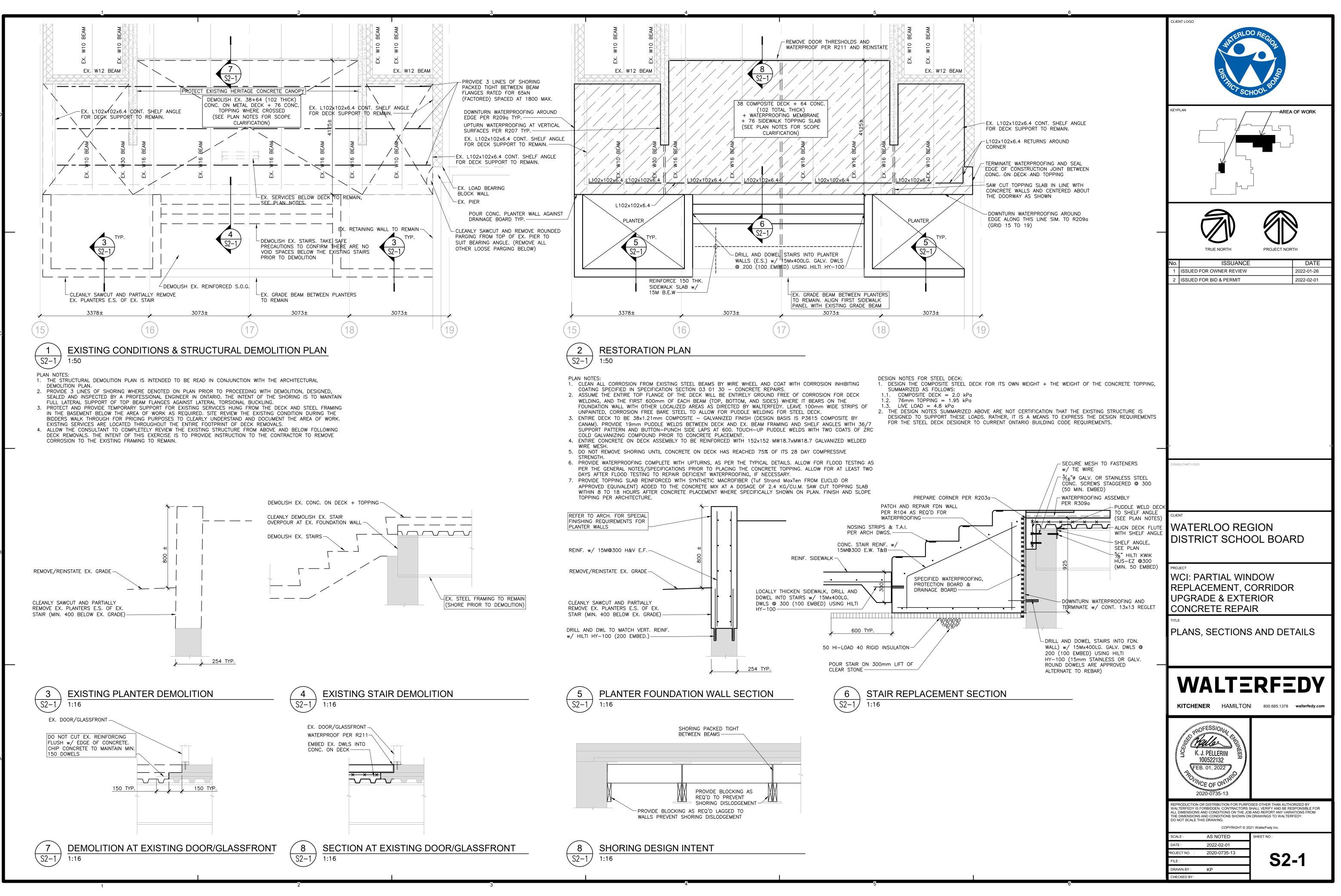
THE OWNER TO PERFORM QUALITY ASSURANCE VERIFICATION OF THE WORK.

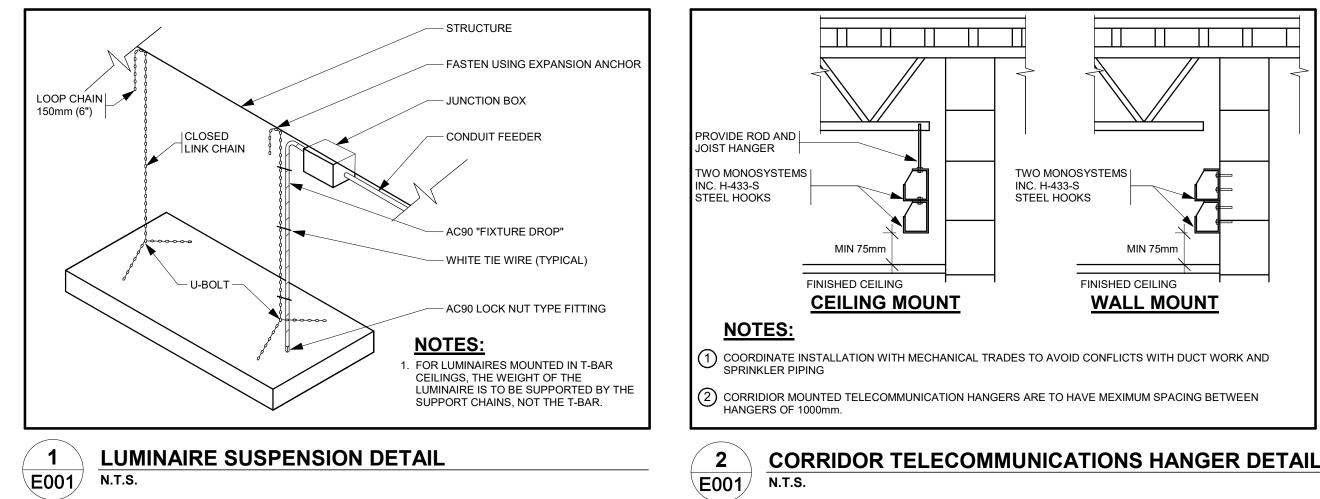
FLOOD TESTING FOR WATERPROOFING (IN COLLABORATION WITH THE CONSULTANT)











	LIGHTING FIXTURE SCHEDULE											
TYPE	TYPE DESCRIPTION MANUFACTURER MODEL CATALOGUE NUMBER VOLTAGE WATTAGE TEMPERATURE MOUNTING HEIGHT REMARKS											
A	RECESSED LED TROFFER	COOPER/METALUX	24GR LED	24GR-LD5-38-F1-UNV-L840-CD1-U	120 V	32 VA	3800lm, 4000K	RECESSED	CEILING			
В	SUSPENDED LED WRAPAROUND	COOPER/METALUX	LW LED	4NLW4040C-SCF	120 V	38 VA	4617lm, 4000K	SUSPENDED	3600mm A.F.F.	FIXED STEM SET (1500mm)		
E1	VANDAL RESISTANT BATTERY UNIT	AIMLITE	EBQV	EBQV12036-26LALMR16-WHT-ATD	120 V	0 VA	LED MR16	SURFACE	CEILING			
Х	EXISTING EXIT SIGN	EXISTING	EXIT SIGN		120 V			SURFACE	CEILING	REINSTALL ON NEW CEILING		

GENERAL RENOVATION NOTES:

- 1. EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN AS PRESENTLY INSTALLED, UNLESS OTHERWISE NOTED.
- 2. ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- 3. DEVICES CIRCUITED FROM EXISTING PANEL MAY NOT REFLECT THE ACTUAL CIRCUIT NUMBERS BUT ARE SHOWN FOR CONFIGURATION ONLY. CONNECT TO EXISTING SPARE BREAKERS OR PROVIDE BREAKERS AS REQUIRED TO SUIT LOADS.
- 4. REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).
- 5. WHEN UTILIZING EXISTING BRANCH CIRCUIT, PROVIDE NEW BRANCH CIRCUIT WIRING AS REQUIRED MEETING THE ONTARIO ELECTRICAL SAFETY CODE LATEST EDITION REQUIREMENTS.
- 6. EXISTING CONDUIT MADE EMPTY BY THE REMOVAL OF EQUIPMENT MAY BE REUSED TO FEED NEW EQUIPMENT AND OR DEVICES. EXTEND EXISTING CONDUIT TO PANEL AND DEVICES WHERE EVER POSSIBLE.
- 7. ALL CEILING MOUNTED DEVICES NOTED AS RELOCATED SHALL BE CLEANED, REPLACED AND RECONNECTED ON NEW CEILING AFTER CEILING TILES HAVE BEEN REPLACED WITH NEW TILES.
- 8. ALL WALL MOUNTED DEVICES NOTED AS RELOCATED SHALL BE CLEANED, REPLACED AND RECONNECTED IN NEW LOCATION.
- 9. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN AND DETAILS FOR THE EXACT LOCATION OF ALL LIGHTING FIXTURES AND ANY OTHER EQUIPMENT INSTALLED IN THE CEILING SYSTEM. VERIFY EXACT MOUNTING HEIGHTS AND FINISHES PRIOR TO ROUGH-IN.
- 10. ELECTRICAL CONTRACTOR TO COORDINATE LOCATION AND MOUNTING HEIGHTS OF ALL DEVICES WITH ARCHITECTURAL ELEVATIONS AND DETAILS, MECHANICAL DUCTWORK AND PLUMBING PRIOR TO FINAL PLACEMENT.
- 11. ELECTRICAL CONTRACTOR TO PROVIDE SEPARATE NEUTRALS TO ALL CIRCUITS.

GENERAL DRAWING NOTES

- 1. THESE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ARE NOT TO BE SCALED. THIS TRADE MUST COORDINATE SCOPE OF WORK WITH ALL CONTRACT DRAWINGS AND COORDINATE INSTALLATIONS WITH MECHANICAL, ARCHITECTURAL SYSTEMS, AND OTHER TRADES TO AVOID CONFLICT AND DELAYS.
- 2. THE ELECTRICAL CONTRACTOR SHALL REVIEW ALL CONTRACT DRAWINGS AND VISIT THE SITE PRIOR TO SUBMITTING HIS BID TO VERIFY ALL INSTALLATIONS AND EXISTING FIELD CONDITIONS. SUBMISSION OF THE BID IS EVIDENCE THAT THIS TRADE THOROUGHLY UNDERSTANDS THE SCOPE OF THE WORK AND HAS INCLUDED ALL COSTS FOR THE COMPLETE SCOPE OF WORK FOR ALL OPERATING SYSTEMS IN THE BID, INCLUDING COORDINATION WITH OTHER TRADES, PRIOR TO ORDERING MATERIALS AND ROUGH-IN.
- 3. THESE DRAWINGS ARE TO BE CONSIDERED AN INTEGRAL PART OF THE SPECIFICATIONS WHICH ACCOMPANY THEM. ANY ITEM OR SUBJECT OMITTED FROM ONE BUT WHICH IS MENTIONED OR REASONABLY IMPLIED IN THE OTHER, OR AS REQUIRED BY CODE OR FOR A PROPERLY FUNCTIONING SYSTEM, SHALL NOT RELIEVE THIS TRADE OF ITS RESPONSIBILITY.
- 4. COORDINATE ALL WORK WITH OTHER TRADES FOR AVAILABLE SPACE, AVOID INTERFERENCES, SEQUENCE OF INSTALLATIONS AND INSTALLATION REQUIREMENTS PRIOR TO COMMENCING CONSTRUCTION. PLAN WORK WELL IN ADVANCE TO ELIMINATE INSTALLATION AND COORDINATION DIFFICULTIES.
- 5. COOPERATE WITH OTHER TRADES ON SITE TO RESOLVE INTERFERENCES TO SATISFACTORILY COMPLETE THE PROJECT. IMMEDIATELY NOTIFY THE CONSULTANT OF ANY CONFLICTS WHICH IMPACT THE DESIGN INTENT PRIOR TO INSTALLATION, UNDER NO CIRCUMSTANCES SHALL THE TRADE PROCEED IN UNCERTAINTY.

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101	EXIT LIG
82	DOUBLE
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	ELECTRICAL LEGEND	
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	RECESSED LIGHT FIXTURE (LETTER DENOTES TYPE)	
	FIXTURE ON UNSWITCHED CIRCUIT (E = EMERGENCY POWER, N/L = NIGHT LIGHT)	
101	EXIT LIGHT CEILING MOUNTED (ARROW INDICATES DIRECTION OF EXIT)	
82	DOUBLE EMERGENCY LIGHTING HEADS	
\diamond	OCCUPANCY SENSOR - CEILING MOUNTED	
	POWER AND SYSTEMS	
J	JUNCTION BOX	
\odot	WIRELESS ACCESS POINT	
XX-XX	ELECTRICAL EQUIPMENT DESIGNATION	
	SOUND	
S	PAGING SPEAKER]
HSI	WALL MOUNTED SPEAKER	
	FIRE ALARM	
	MANUAL PULL STATION (NC - NORMALLY CLOSED AUXILLARY CONTACTS)	
۲	SMOKE DETECTOR - IONIZATION TYPE (R=RELAY BASE)	
DHC	DOOR HOLDER/CLOSER	No.
	ABBREVIATION	
СМ	CEILING MOUNTED	
AFF	ABOVE FINISHED FLOOR	
WP	WEATHERPROOF	
	RENOVATION	
	EXISTING DEVICE TO REMAIN AS PRESENTLY INSTALLED	
	DISCONNECT AND REMOVE EXISTING DEVICE COMPLETELY	
	DISCONNECT AND REMOVE EXISTING DEVICE FOR RELOCATION	
	EXISTING DEVICE IN RELOCATED POSITION AND RECONNECTED AS PREVIOUS UNLESS NOTED OTHERWISE	
		-
	ELECTRICAL DRAWING LIST]
	DRAWING NAME	-
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	ELECTRICAL LEGEND
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\geq	FIXTURE ON UNSWITCHED CIRCUIT (E = EMERGENCY POWER, N/L = NIGHT LIGHT)
101	EXIT LIGHT CEILING MOUNTED (ARROW INDICATES DIRECTION OF EXIT)
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DR	DISCONNECT AND REMOVE EXISTING DEVICE COMPLETELY
REL	DISCONNECT AND REMOVE EXISTING DEVICE FOR RELOCATION
	EXISTING DEVICE IN RELOCATED POSITION AND RECONNECTED AS PREVIOUS UNLESS NOTED OTHERWISE
	ELECTRICAL DRAWING LIST
10.	DRAWING NAME

DOUBLE EMERGENCY LIGHTING HEADS OCCUPANCY SENSOR - CEILING MOUNTED POWER AND SYSTEMS JUNCTION BOX WIRELESS ACCESS POINT ELECTRICAL EQUIPMENT DESIGNATION SOUND PAGING SPEAKER WALL MOUNTED SPEAKER FIRE ALARM MANUAL PULL STATION (NC - NORMALLY CLOSED AUXILLARY CONTACTS) SMOKE DETECTOR - IONIZATION TYPE (R=RELAY BASE)	
SUSPENDED/SURFACE MOUNTED LIGHT FIXTURE (LETTER DENOTES TYPE) RECESSED LIGHT FIXTURE (LETTER DENOTES TYPE) FIXTURE ON UNSWITCHED CIRCUIT (E = EMERGENCY POWER, NL = NIGHT LIGHT) EXIT LIGHT CEILING MOUNTED (ARROW INDICATES DIRECTION OF EXIT) DOUBLE EMERGENCY LIGHTING HEADS OCCUPANCY SENSOR - CEILING MOUNTED POWER AND SYSTEMS JUNCTION BOX WIRELESS ACCESS POINT ELECTRICAL EQUIPMENT DESIGNATION SOUND PAGING SPEAKER WALL MOUNTED SPEAKER FIRE ALARM MANUAL PULL STATION (NC - NORMALLY CLOSED AUXILLARY CONTACTS) SMOKE DETECTOR - IONIZATION TYPE (R=RELAY BASE)	
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EXIT LIGHT CEILING MOUNTED (ARROW INDICATES DIRECTION OF EXIT) DOUBLE EMERGENCY LIGHTING HEADS OCCUPANCY SENSOR - CEILING MOUNTED POWER AND SYSTEMS JUNCTION BOX WIRELESS ACCESS POINT ELECTRICAL EQUIPMENT DESIGNATION SOUND PAGING SPEAKER WALL MOUNTED SPEAKER FIRE ALARM MANUAL PULL STATION (NC - NORMALLY CLOSED AUXILLARY CONTACTS) SMOKE DETECTOR - IONIZATION TYPE (R=RELAY BASE)	
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	DHC
ABBREVIATION 1 IS	
CEILING MOUNTED	СМ
ABOVE FINISHED FLOOR	AFF
WEATHERPROOF	WP
RENOVATION	
K EXISTING DEVICE TO REMAIN AS PRESENTLY INSTALLED	
R DISCONNECT AND REMOVE EXISTING DEVICE COMPLETELY	
EL DISCONNECT AND REMOVE EXISTING DEVICE FOR RELOCATION	REL
EXISTING DEVICE IN RELOCATED POSITION AND RECONNECTED AS PREVIOUS UNLESS NOTED OTHERWISE	
ELECTRICAL DRAWING LIST	
	NO.

	ELECTRICAL LEGEND	
	LIGHTING	
	SUSPENDED/SURFACE MOUNTED LIGHT FIXTURE (LETTER DENOTES TYPE)	
\times	RECESSED LIGHT FIXTURE (LETTER DENOTES TYPE)	
\square	FIXTURE ON UNSWITCHED CIRCUIT (E = EMERGENCY POWER, N/L = NIGHT LIGHT)	
1 9 1	EXIT LIGHT CEILING MOUNTED (ARROW INDICATES DIRECTION OF EXIT)	
<u>م</u>	DOUBLE EMERGENCY LIGHTING HEADS	
\diamond	OCCUPANCY SENSOR - CEILING MOUNTED	
	POWER AND SYSTEMS	
J	JUNCTION BOX	
\bigotimes	WIRELESS ACCESS POINT	
(X-XX)	ELECTRICAL EQUIPMENT DESIGNATION	
	SOUND	
S	PAGING SPEAKER	
HSI	WALL MOUNTED SPEAKER	
	FIRE ALARM	
	MANUAL PULL STATION (NC - NORMALLY CLOSED AUXILLARY CONTACTS)	
۲	SMOKE DETECTOR - IONIZATION TYPE (R=RELAY BASE)	
DHC	DOOR HOLDER/CLOSER	Nc
	ABBREVIATION	1
СМ	CEILING MOUNTED	
AFF	ABOVE FINISHED FLOOR	
WP	WEATHERPROOF	
	RENOVATION	
CEX	EXISTING DEVICE TO REMAIN AS PRESENTLY INSTALLED	
	DISCONNECT AND REMOVE EXISTING DEVICE COMPLETELY	
	DISCONNECT AND REMOVE EXISTING DEVICE FOR RELOCATION	
	EXISTING DEVICE IN RELOCATED POSITION AND RECONNECTED AS PREVIOUS UNLESS NOTED OTHERWISE	
NO.	ELECTRICAL DRAWING LIST	

Oex	EXISTIN
	DISCON
	DISCON
	EXISTIN

NO.	
E001	ELECTRIC
E201	ELECTRIC



CLIENT LOGO

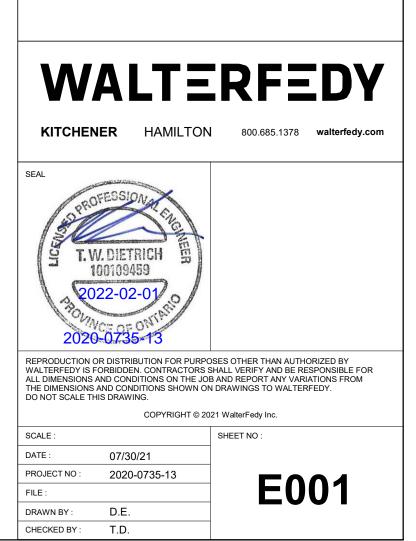
ISSUANCE DATE ISSUED FOR OWNER REVIEW 2022-01-26 **ISSUED FOR BID & PERMIT** 2022-02-01

CLIENT WATERLOO REGION DISTRICT SCHOOL BOARD

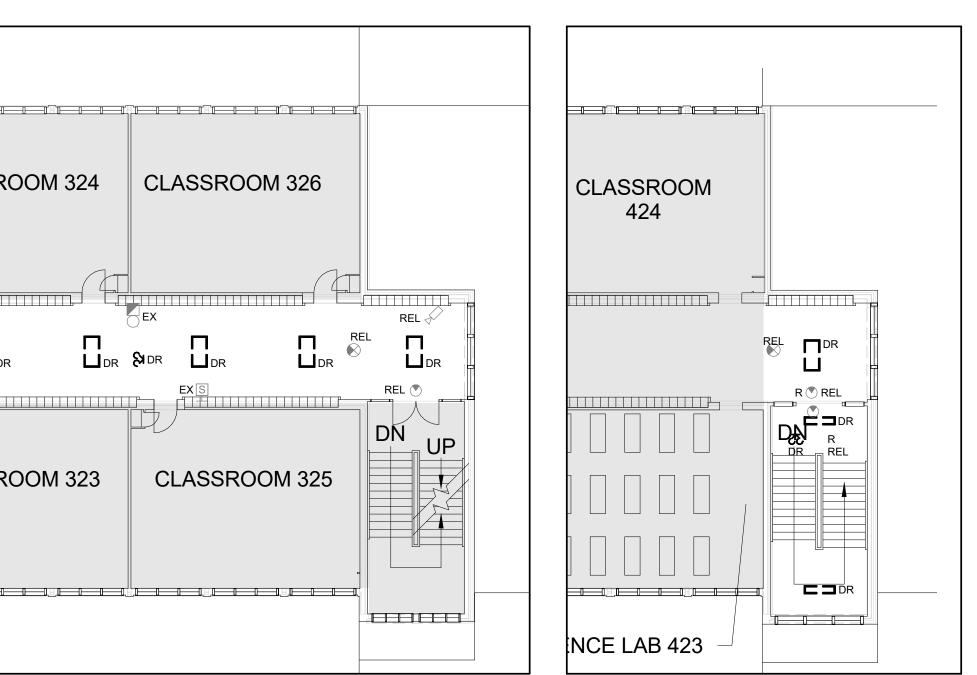
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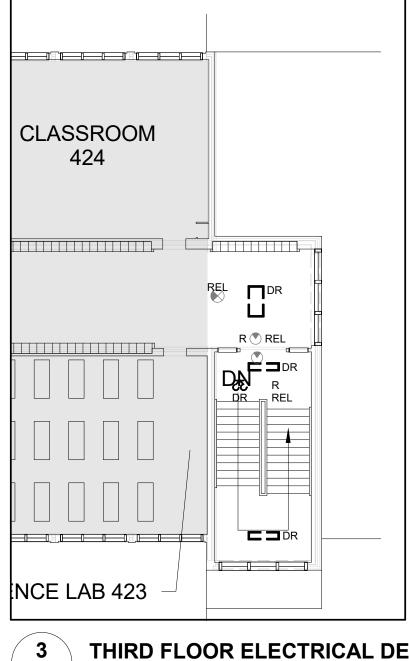
PROJECT WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

ELECTRICAL NOTES, LEGEND, AND DRAWING LIST

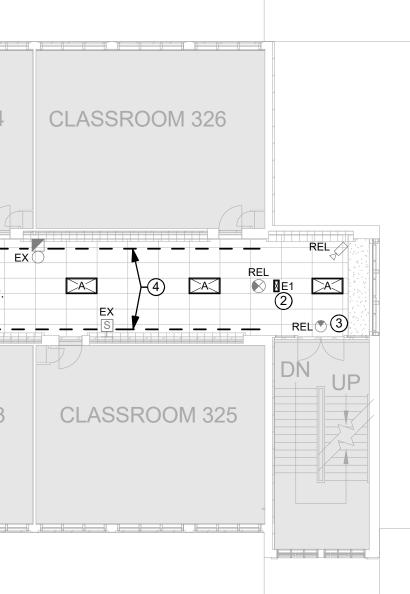


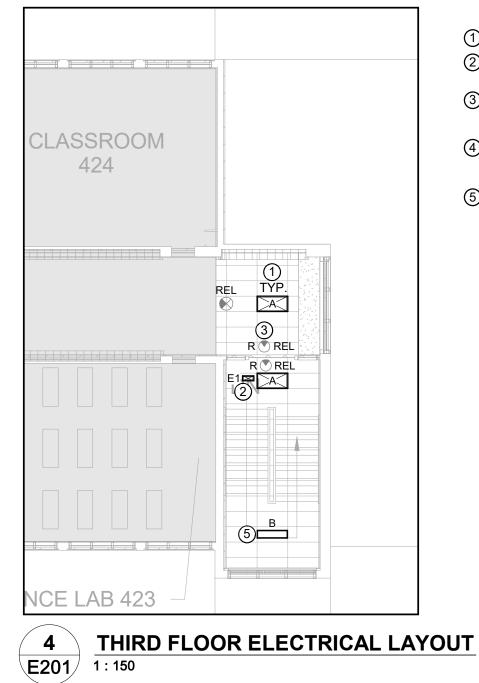
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			- 318 REL O				
STAFF ROOM 317		SW-1T SW FAN	ROOM 319	CLASSROOM	321	CLASSROO	И (
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1 201 SECOND FLOOF 1 : 150	R ELECTRICAL E	DEMOLITION	LAYOUT				
	RELECTRICAL D	GIRL	LAYOUT S' WR 320	CLASSROOM	322	CLASSROO	
			S' WR 320	CLASSROOM		2	
		16 GIRL GIRL C C C T REL T SW 1T 1T FAN	S' WR 320	CLASSROOM			
1 : 150		16 GIRL GIRL C C C T REL T SW 1T 1T FAN	S' WR 320	CLASSROOM			





THIRD FLOOR ELECTRICAL DEMOLITION LAYOUT E201 1:150





ELECTRICAL NOTES:

- (1) RECONNECT LIGHTING TO EXISTING CIRCUITS AND CONTROLS. CONNECT NEW EMERGENCY LIGHTING TO UNSWITCHED SIDE OF CORRIDOR LIGHTING CIRCUIT.
- REINSTALL SMOKE DETECTORS IN NEW ACT CEILING WITHIN 1500mm OF DOORS WITH HOLD OPEN DEVICES. REVERIFY DEVICES AS REQUIRED.
- (4) INSTALL J-HOOK COMMUNICATION WIRING SUPPORT SYSTEM ON WALLS AS INDICATED. RELOCATION OF EXISTING WIRING IS NOT PART OF THIS SCOPE OF WORK.
- 5 LIGHT FIXTURE IS TO BE STEM MOUNTED OVER STAIR LANDING AT NO MORE THAN 3600mm (12'-0") A.F.F. STEM LENGTH TO BE APPROX. 1500mm LONG.

GENERAL NOTES:

2.

- 1. REMOVE AND DISPOSE OF ALL LIGHTING AND EMERGENCY LIGHTING FIXTURES.
- EXISTING EXIT SIGNS (2 TOTAL) ARE TO BE TESTED FOR PROPER
- 3. REMOVE EXISTING SMOKE DETECTORS FOR CEILING REPLACEMENT AND PROPERLY SUPPORT FOR REINSTALLATION.
- OPERATION PRIOR TO REMOVAL AND STORAGE FOR REINSTALLATION.

