



DRAWING LIST

ARCHITECTURE

A001	ASSEMBLIES, LEGENDS, NOTES
A101	SITE PLAN, OBC MATRIX
A102	OVERALL FLOOR PLANS
A201	PARTIAL FLOOR PLANS - DEMOLITION
A202	PARTIAL FLOOR PLANS - RENOVATION
A203	PARTIAL FLOOR PLANS - ENLARGED
A204	PARTIAL REFLECTED CEILING PLANS
A301	EXTERIOR ELEVATIONS
A501	SECTION & PLAN DETAILS
A502	SECTION & PLAN DETAILS

STRUCTURAL

S0-1	GENERAL NOTES
S0-2	TYPICAL DETAILS
S2-1	PLANS, SECTIONS AND DETAILS

ELECTRICAL

E001	ELECTRICAL NOTES, LEGEND, AND DRAWING LIST
E201	ELECTRICAL DEMOLITION AND RENOVATION LAYOUTS

WATERLOO REGION DISTRICT SCHOOL BOARD WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

300 HAZEL STREET
WATERLOO, ON
N2L 3P2

2020-0735-13

ISSUED FOR BID & PERMIT 2022-02-01 ISSUED
FOR BID & PERMIT

Ontario Building Code 2012 Data Matrix, Part 11 – Renovation of Existing Building			OBC Reference
11.1	Existing Building Classification	Describe Existing Use: GROUP A2 SCHOOL Construction Index: - Hazard Index: - ■ Not Applicable (no change of major occupancy)	11.2.1. T11.2.1.1A T11.2.1.1B-N
11.2	Alteration to Existing Building is	Basic Renovation ■ Extensive Renovation □	
11.3	Reduction in Performance Level	Structural ■ No □ Yes By Increase in Occupant Load ■ No □ Yes By Change of Major Occupancy ■ No □ Yes Plumbing ■ No □ Yes Sewage System ■ No □ Yes	11.4.2. 11.4.2.1-5
11.4	Compensating Construction	Structural ■ No □ Yes (explain) - Increase in Occupant Load ■ No □ Yes (explain) - Change of Major Occupancy ■ No □ Yes (explain) - Plumbing ■ No □ Yes (explain) - Sewage System ■ No □ Yes (explain)	11.4.3. 11.4.3.2. 11.4.3.3. 11.4.3.4. 11.4.3.5. 11.4.3.6.
11.5	Compliance Alternatives Proposed	■ No □ Yes (give number(s))	11.5.1.
11.6	Alternative Measures Proposed	■ No □ Yes (give number(s))	11.5.2.

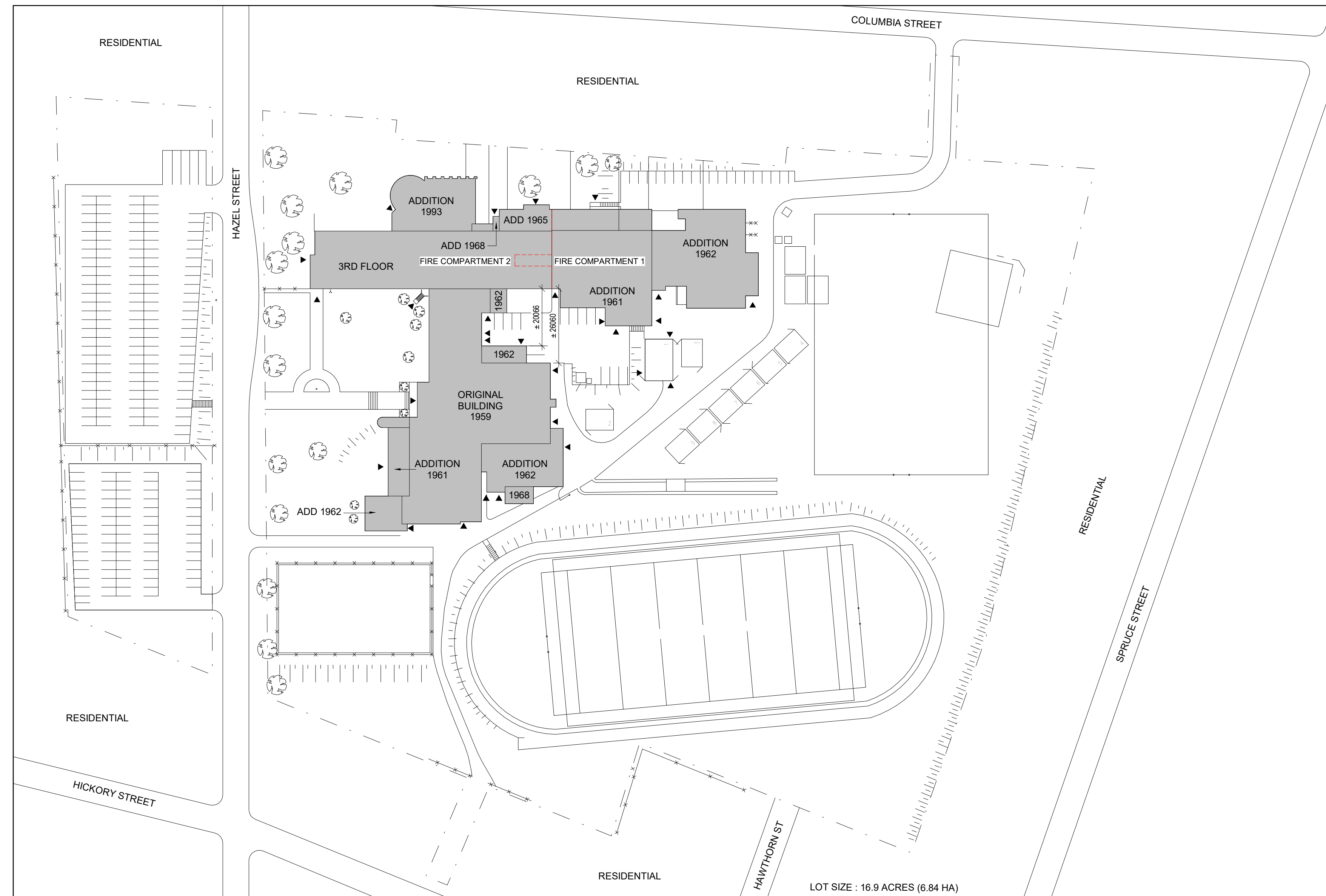
Ontario's 2012 Building Code Data Matrix: Part 3

19	Spatial Separation - Construction of Exterior Walls - Table 3.2.3.1.B.							3.2.3.			
	Wall	Area of EBF (m ²)	L.D. (m)	L/H or H/L	Permitted % of Max. Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Const.	Comb. Const. Nonec. Cladding	Non-Comb. Const.
	North - fire compart. 1 - 1st grade	162	>16m	12:1	100%	-	-	-	-	-	-
	North - fire compart. 1 - 2nd flr	230	>16m	17:1	100%	-	-	-	-	-	-
	North - fire compart. 1 - 3rd & 4th flr	125	>14m	4.6:1	100%	-	-	-	-	-	-
	North - fire compart. 2 - Grade	358	12.1m	23:1	60.3%	43.8%	45 MIN.	Existing masonry as per SB-2	-	-	YES
	North - fire compart. 2 - 3rd & 4th Flr.	305	>18m	11.3:1	100%	-	-	-	-	-	-
	South East - fire compart. - 2nd Grade Flr.	87	10.0m	6.7:1	84%	55.1%	-	-	-	-	-
	South East - fire compart. - 2nd Flr.	91	>12m	6.7:1	100%	-	-	-	-	-	-
	South East - fire compart. - 3rd Flr.	90	>12m	6.8:1	100%	-	-	-	-	-	-

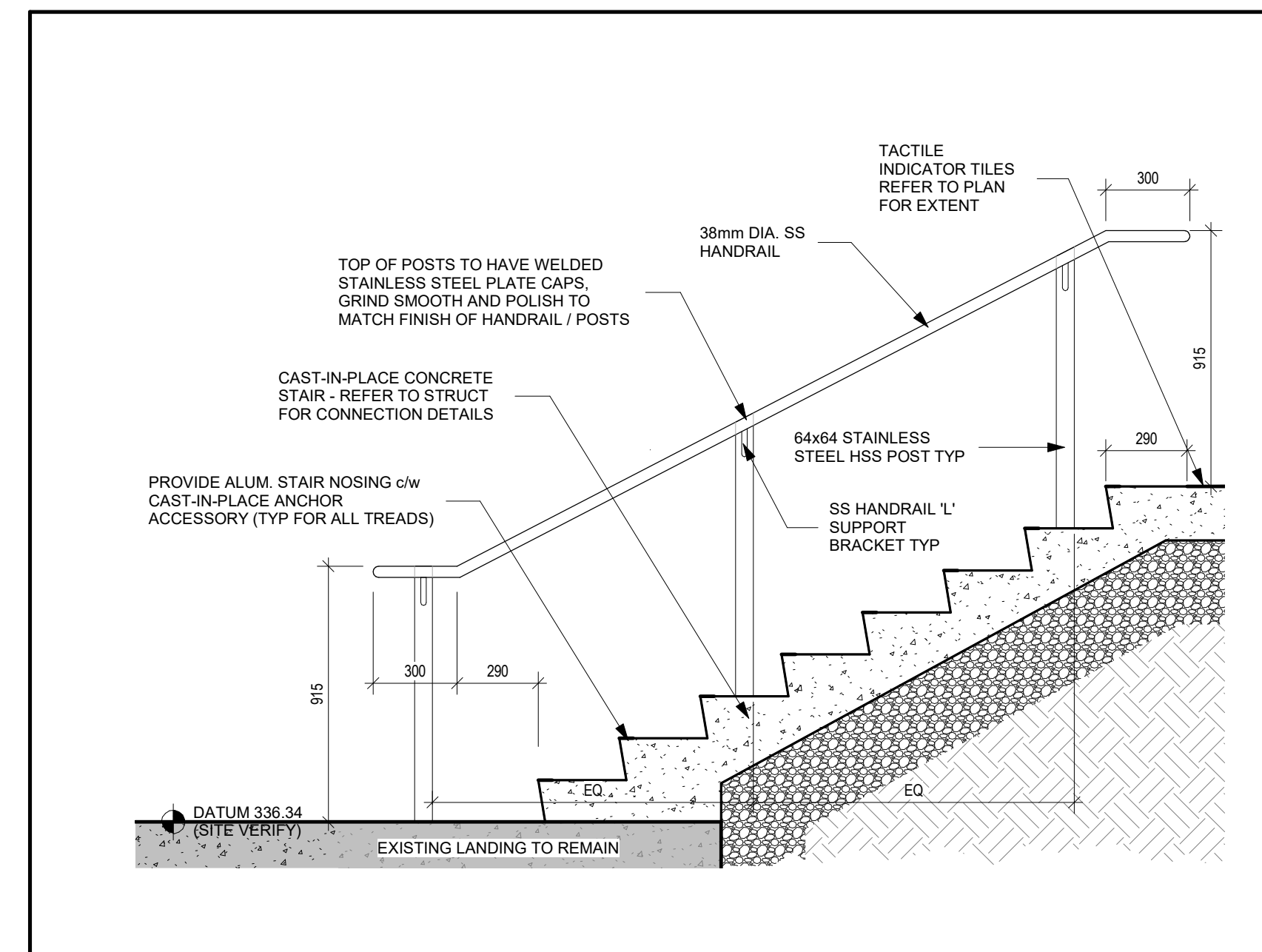
OBC NOTES:

- MAJOR OCCUPANCY: GROUP A2 TO REMAIN (SCHOOL)
- EXISTING BUILDING AREA: **6 448.56 m² (69 414 SF)**
- GROSS BUILDING AREA: **16 625.85 m² (178 965 SF)** EXISTING
- AREA OF RENOVATION: **587 m² (6 318 SF)** WINDOW REPLACEMENT + CORRIDOR AREA
- EXISTING BUILDING: UNSPRINKLERED
- FIRE ALARM: EXISTING
- TRAVEL DISTANCE FROM AREAS OF SCHOOL TO EXIT >30m. CORRIDOR WALLS ARE REQUIRED TO BE RATED.
- PROPOSED CONSTRUCTION NON-COMBUSTIBLE
- 11.2.1.1(3) THE REQUIREMENTS OF 3.2.2.20 TO 3.2.2.83 DO NOT APPLY TO PART 11.
- FOR THE PURPOSES OF THE AREA OF THE EXPOSING BUILDING FACE, EVERY FLOOR IS CALCULATED SEPARATELY AS EACH IS SEPARATED FROM THE REST OF THE BUILDING IN ACCORDANCE WITH CLAUSE 3.2.3.2.(2).

--- DENOTES FIRE COMPARTMENT SEPARATION



1 SITE PLAN - FOR REFERENCE ONLY
Scale: 1 : 1000

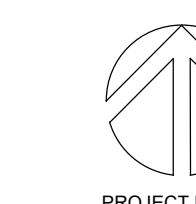
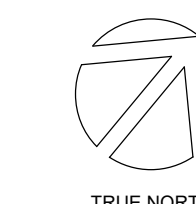
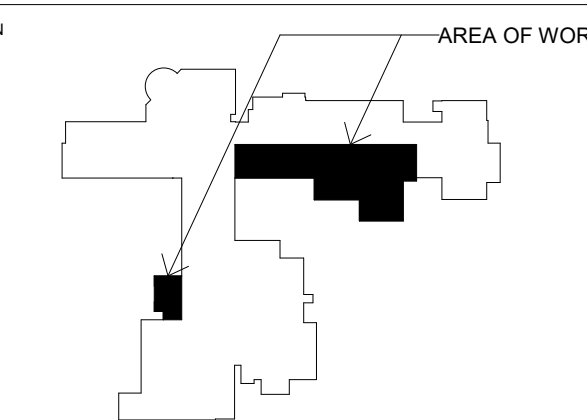


2 INTERMEDIATE HANDRAIL SECTION DETAIL
Scale: 1 : 20

CLIENT LOGO



KEYPLAN



No.	ISSUANCE	DATE
1	ISSUED FOR OWNER REVIEW	2022-01-10
2	ISSUED FOR QA	2022-01-20
3	ISSUED FOR OWNER REVIEW	2022-01-26
4	ISSUED FOR BID & PERMIT	2022-02-01

CLIENT

WATERLOO REGION DISTRICT SCHOOL BOARD

PROJECT

WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

TITLE

SITE PLAN, OBC MATRIX

WALTERFEDY

KITCHENER HAMILTON 800.685.1378 walterfedy.com

SEAL

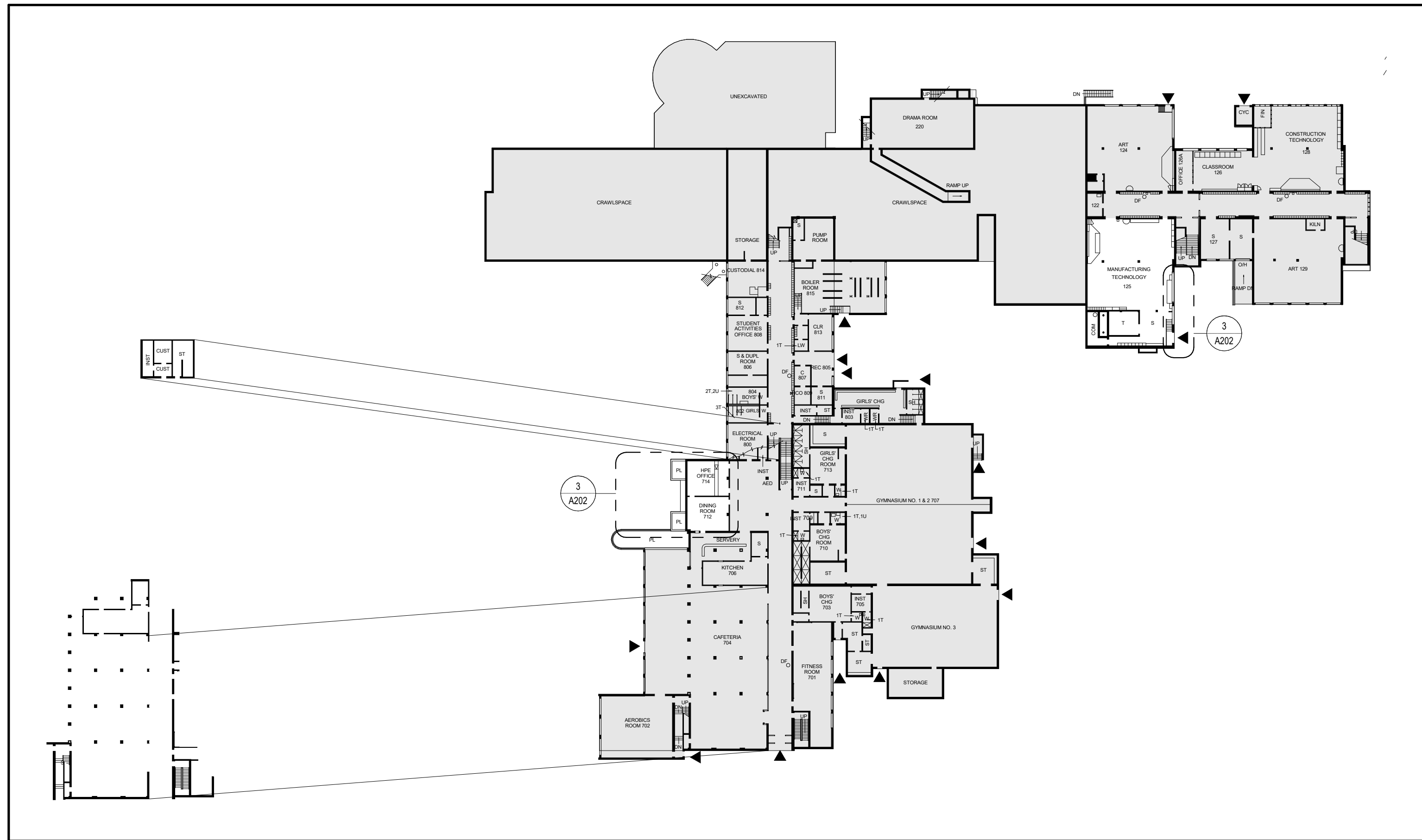


REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS FORBIDDEN. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS TO WALTERFEDY. DO NOT SCALE THIS DRAWING.

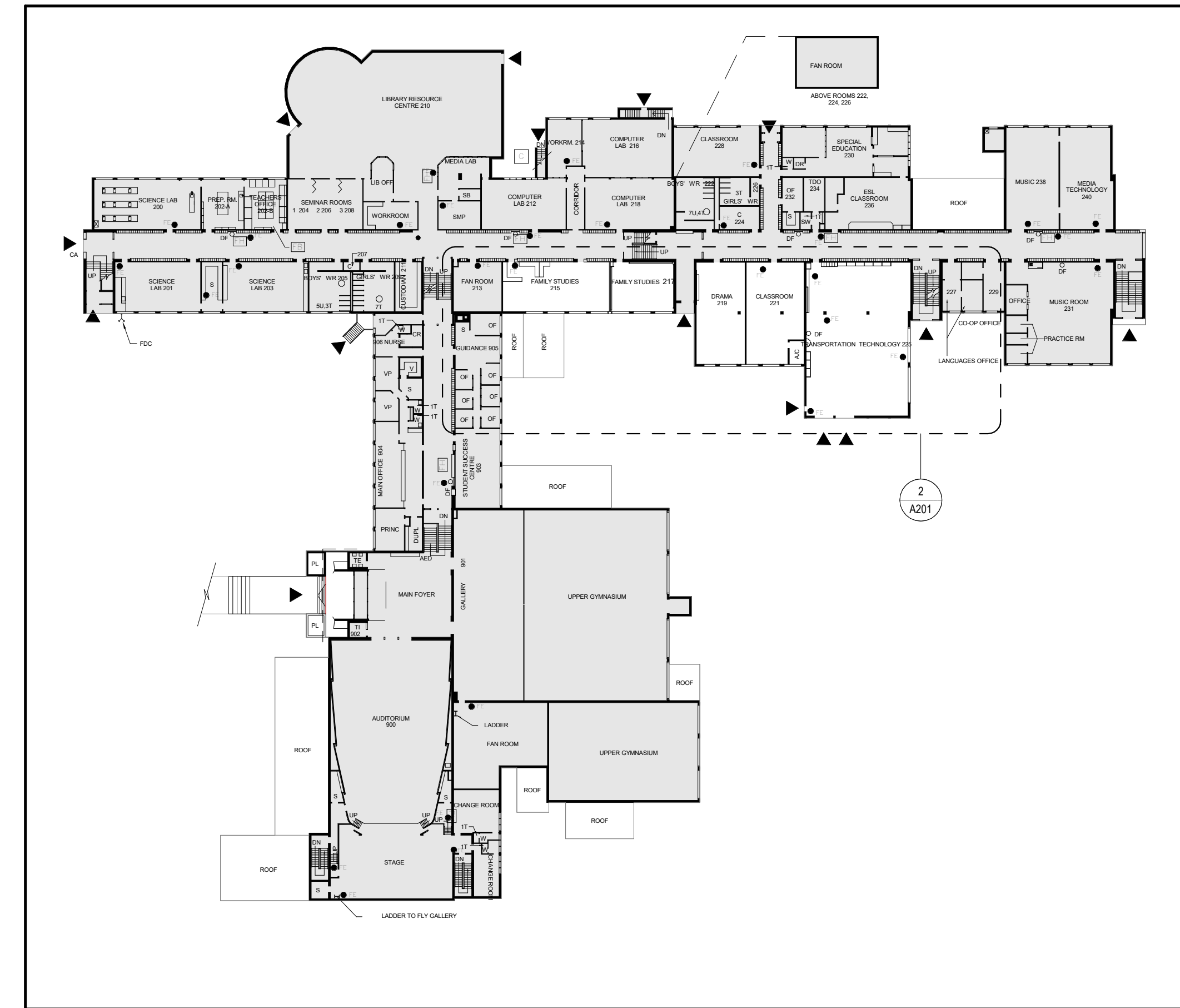
COPYRIGHT © 2021 WalterFedy Inc.

SCALE:	AS NOTED	SHEET NO.:	
DATE:	2022-01-28		
PROJECT NO.:	2020-0735-13		
FILE:			
DRAWN BY:	KT		
CHECKED BY:	ES		

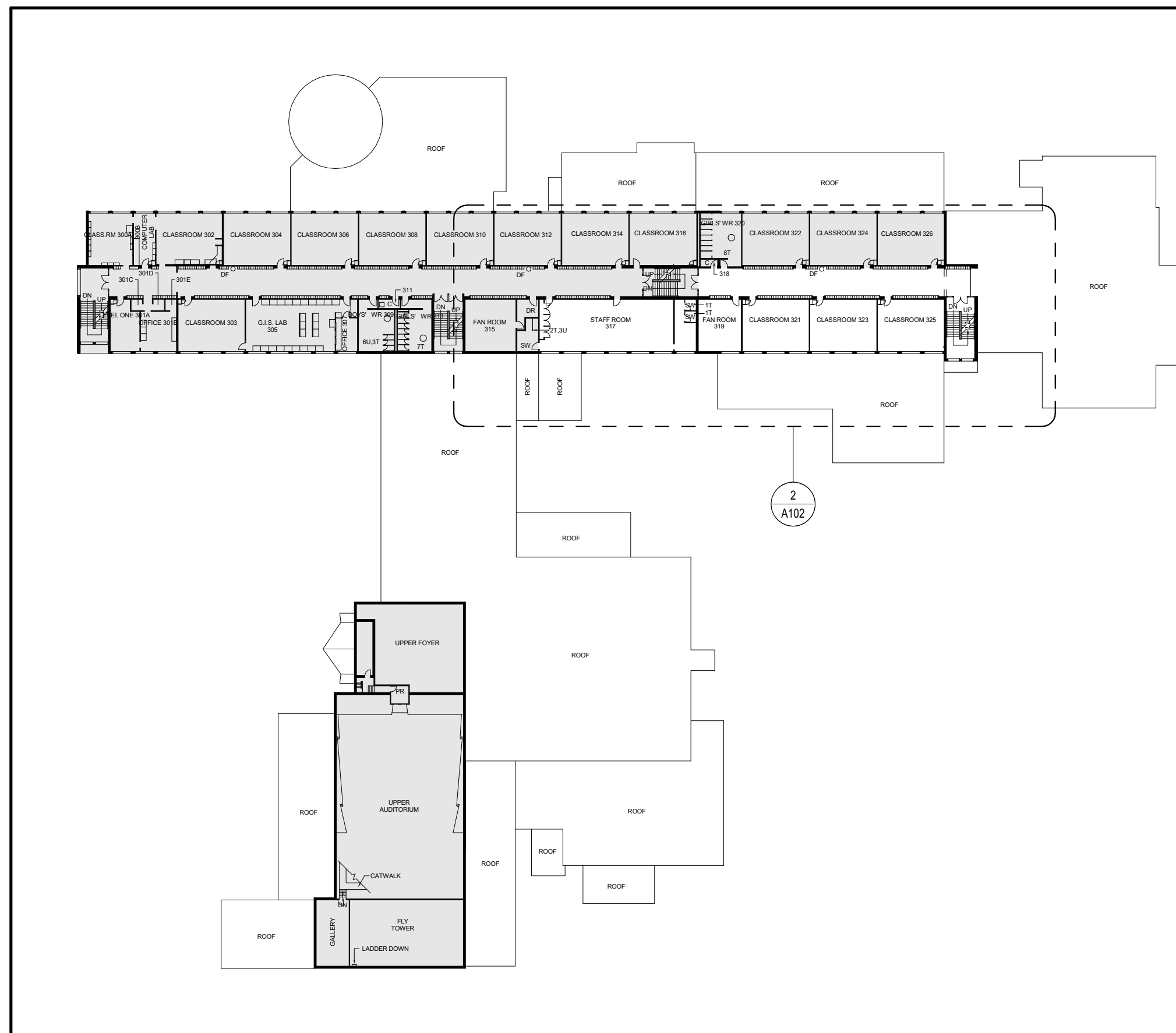
A101



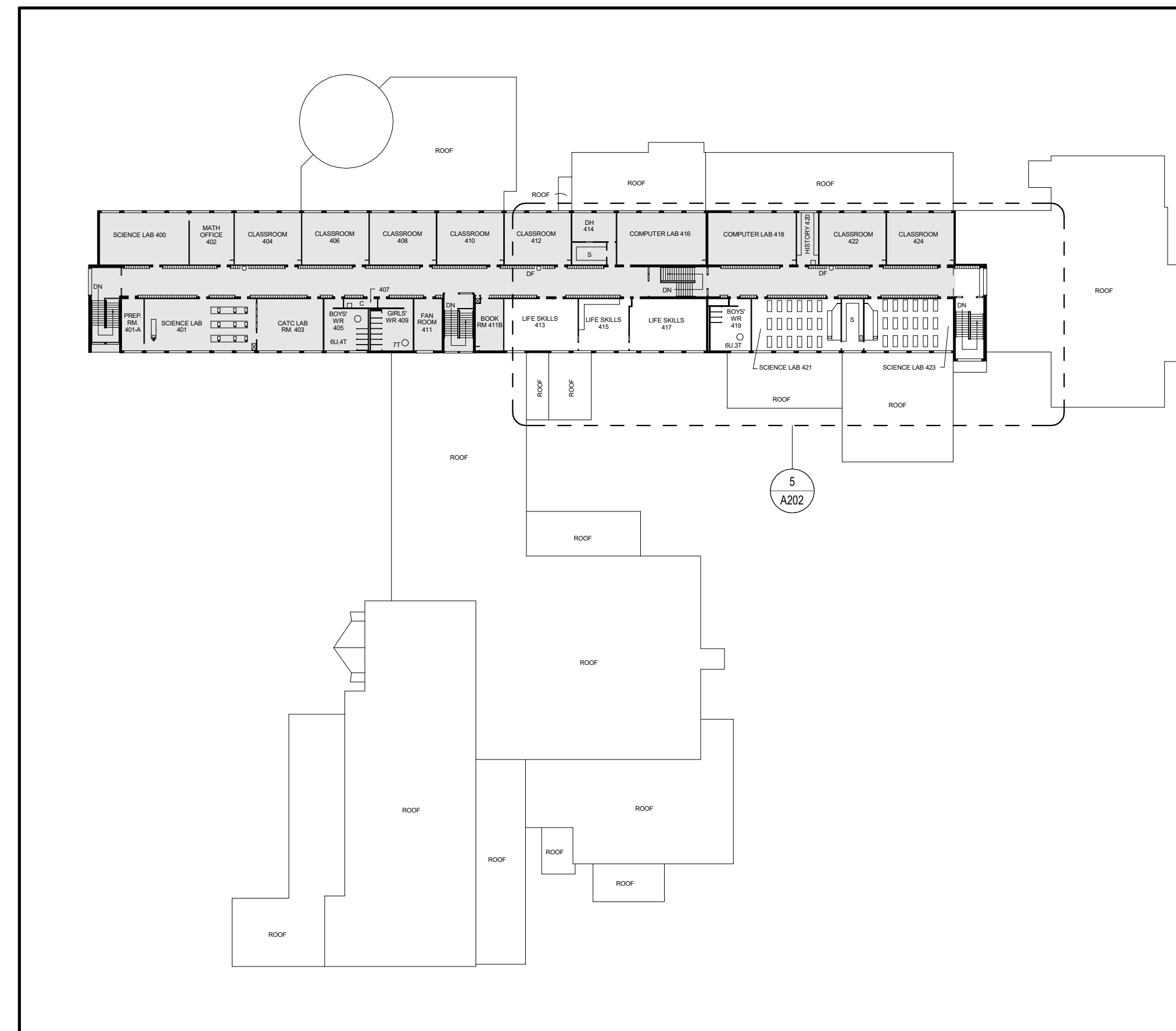
1 LEVEL 01 - OVERALL FLOOR PLAN (FOR REFERENCE ONLY)
A102 Scale: 1 : 600



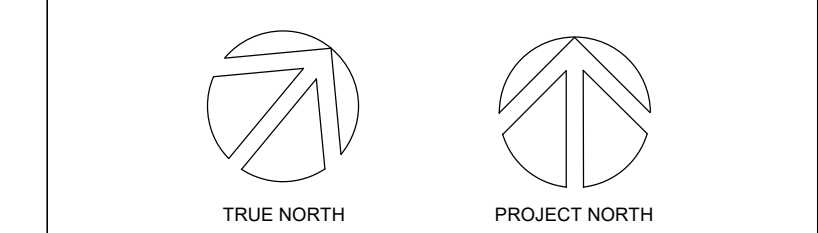
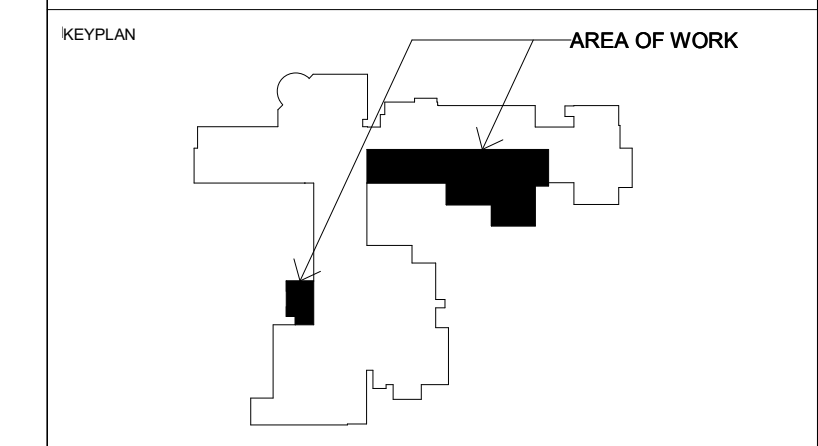
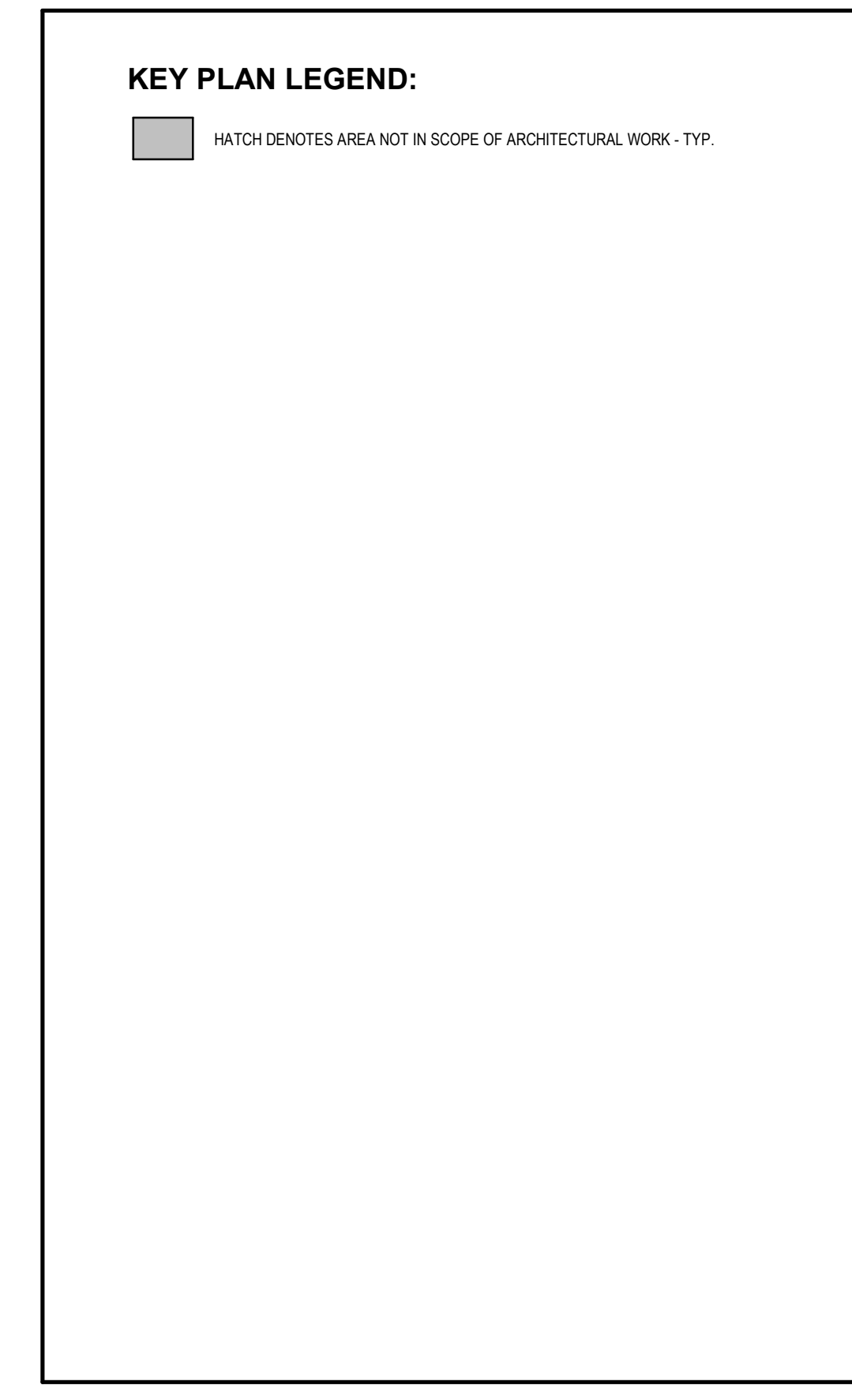
2 LEVEL 02 - OVERALL FLOOR PLAN (FOR REFERENCE ONLY)
A102 Scale: 1 : 600



3 LEVEL 03 - OVERALL FLOOR PLAN (FOR REFERENCE ONLY)
A102 Scale: 1 : 600



4 LEVEL 04 - OVERALL FLOOR PLAN (FOR REFERENCE ONLY)
A102 Scale: 1 : 600



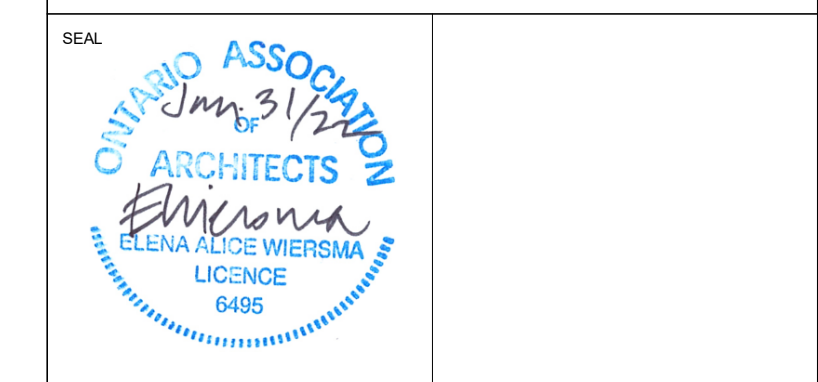
No.	ISSUANCE	DATE
1	ISSUED FOR OWNER REVIEW	2022-01-10
2	ISSUED FOR QA	2022-01-20
3	ISSUED FOR OWNER REVIEW	2022-01-26
4	ISSUED FOR BID & PERMIT	2022-02-01

CLIENT
WATERLOO REGION DISTRICT SCHOOL BOARD

PROJECT
WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

TITLE
OVERALL FLOOR PLANS

WALTERFEDY
KITCHENER HAMILTON 800.685.1378 walterfedy.com



REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS FORBIDDEN. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS TO WALTERFEDY. DO NOT SCALE THIS DRAWING.

SCALE:	DATE:	SHEET NO.:
	2022-01-28	
PROJECT NO.:	2020-0735-13	A102
FILE:		
DRAWN BY:	KT	
CHECKED BY:	ES	

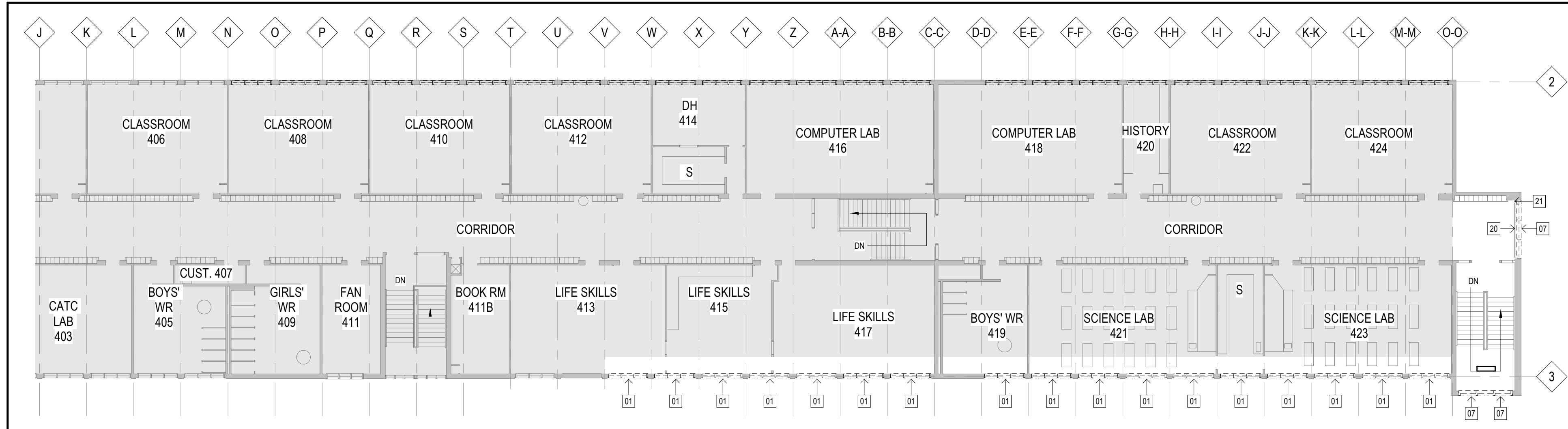
COPYRIGHT © 2021 WalterFedy Inc.

DRAWING LEGEND:

- HATCH DENOTES AREA NOT IN SCOPE OF ARCHITECTURAL WORK - TYPICAL
- HATCH INDICATES GRASS/SOD.
- EXISTING TO BE DEMOLISHED SHOWN DASHED
- EXISTING WALLS TO REMAIN
- DEMOLITION NOTE SYMBOL
- RENOVATION NOTE SYMBOL

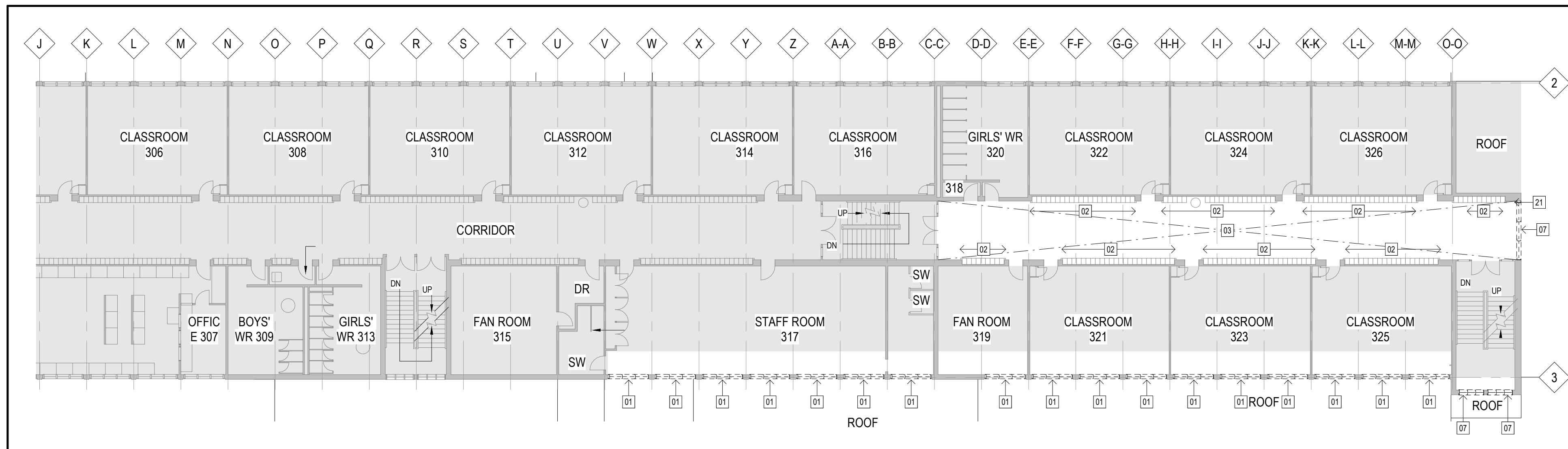
DEMOLITION NOTES:

- 01 EXISTING WINDOW UNIT, INCLUDING METAL CLADDING AND EXISTING GLASS BLOCK ABOVE, TO BE REMOVED AND DISPOSED OF. c/w ALL MISC. FASTENERS, ANCHORS, SHIMS AND SEALANT. WINDOW REMOVAL BY ABATEMENT CONTRACTOR - REFER TO ASBESTOS AUDIT. EXISTING ROLLER BLINDS TO BE REMOVED AND TURNED OVER TO OWNER. PREPARE OPENING TO RECEIVE NEW WINDOW. PATCH AND MAKE GOOD EXISTING ADJACENT WALLS. PREPARE TO RECEIVE NEW COAT OF PRIMER AND PAINT.
- 02 REMOVE AND DISCARD EXISTING LOCKER FACE c/w DOORS AND SURROUND. LOCKER INTERIORS TO REMAIN. REMOVE BOTTOM SHELF WHERE REQUIRED AND PREPARE FOR NEW SHELF - CONTRACTOR TO PROVIDE LOCKER SHELF REPLACEMENT COUNT TO ARCHITECT FOR APPROVAL.
- 03 CLEAN, PATCH AND PREPARE WALLS TO RECEIVE NEW PAINT
- 04 REMOVE AND REPLACE ACOUSTIC CEILING TILE ASSEMBLY c/w T-BAR GRID AND SUSPENSION SYSTEM
- 05 CAREFULLY REMOVE SECTIONS OF EXISTING ACT AS REQUIRED FOR NEW BULKHEAD. REINSTALL TILES AND GRID AS REQUIRED. REFER TO DEMOLITION SECTION DETAIL.
- 06 REMOVE AND DISCARD CEILING LIGHTS - REFER TO ELECTRICAL
- 07 REMOVE AND DISPOSE OF EXISTING CURTAINWALL SYSTEM c/w ALL MISC. FASTENERS, ANCHORS, SHIMS AND SEALANT.
- 08 DEMOLISH CONCRETE STAIRS, WALKWAY & RAILING. REFER TO STRUC FOR DETAILS.
- 09 DEMOLISH EXISTING STEEL DECK, CONCRETE TOPPING AND METAL MEMBRANE. REFER TO STRUCTURAL.
- 10 REMOVE AND DISCARD EXISTING CONC. PLANTER & PLANTS. REFER TO STRUC FOR DETAILS.
- 11 REMOVE AND DISPOSE OF EXISTING GWB BULKHEAD.
- 12 REMOVE (SAW CUT) AND DISPOSE OF EXISTING PAINTED STEEL GUARD AT TOP RETAINING WALL. GRIND EMBEDDED STEEL PLATES DOWN BELOW TOP SURFACE OF CONCRETE AND PREP FOR CONCRETE PATCHING.
- 13 EXISTING CEILING TO REMAIN.
- 14 EXISTING CONCRETE WALKWAY TO REMAIN (N.I.C.) - EXECUTE ADJACENT DEMOLITION IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ADJACENT WALKWAY TO AVOID ANY MARKING, CRACKING OR DAMAGE. PROTECT CONCRETE AS NECESSARY.
- 15 CAREFULLY REMOVE SECTIONS OF EXISTING CEILING AS REQUIRED FOR WINDOW REPLACEMENT.
- 16 REMOVE ANY EXISTING ACT OR GYPSUM BOARD SHEATHING INCLUDING CEILING MOUNTED FIXTURES/EQUIPMENT IN CEILING TO FACILITATE THE REMOVAL AND INSTALLATION OF NEW STEEL DECK. ALL DAMAGED MECHANICAL AND ELECTRICAL PIPING & RELATED HARDWARE TO BE REMOVED AND REPLACED AS REQD
- 17 EXISTING ASPHALT AND STONE WALKWAY TO REMAIN. EXECUTE ADJACENT DEMOLITION IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ADJACENT MATERIALS. PATCH AND REPAIR AS REQUIRED.
- 18 REMOVE AND REINSTALL EXISTING WALL MOUNTED CONDUIT AS REQUIRED FOR DEMOLITION.
- 19 REMOVE AND DISPOSE OF EXISTING DOOR THRESHOLD. PREP FOR NEW.
- 20 REMOVE EXISTING STEEL GUARD AND RETAIN FOR REINSTALLATION.
- 21 REMOVE AND DISPOSE OF PIPE INSULATION JACKETS



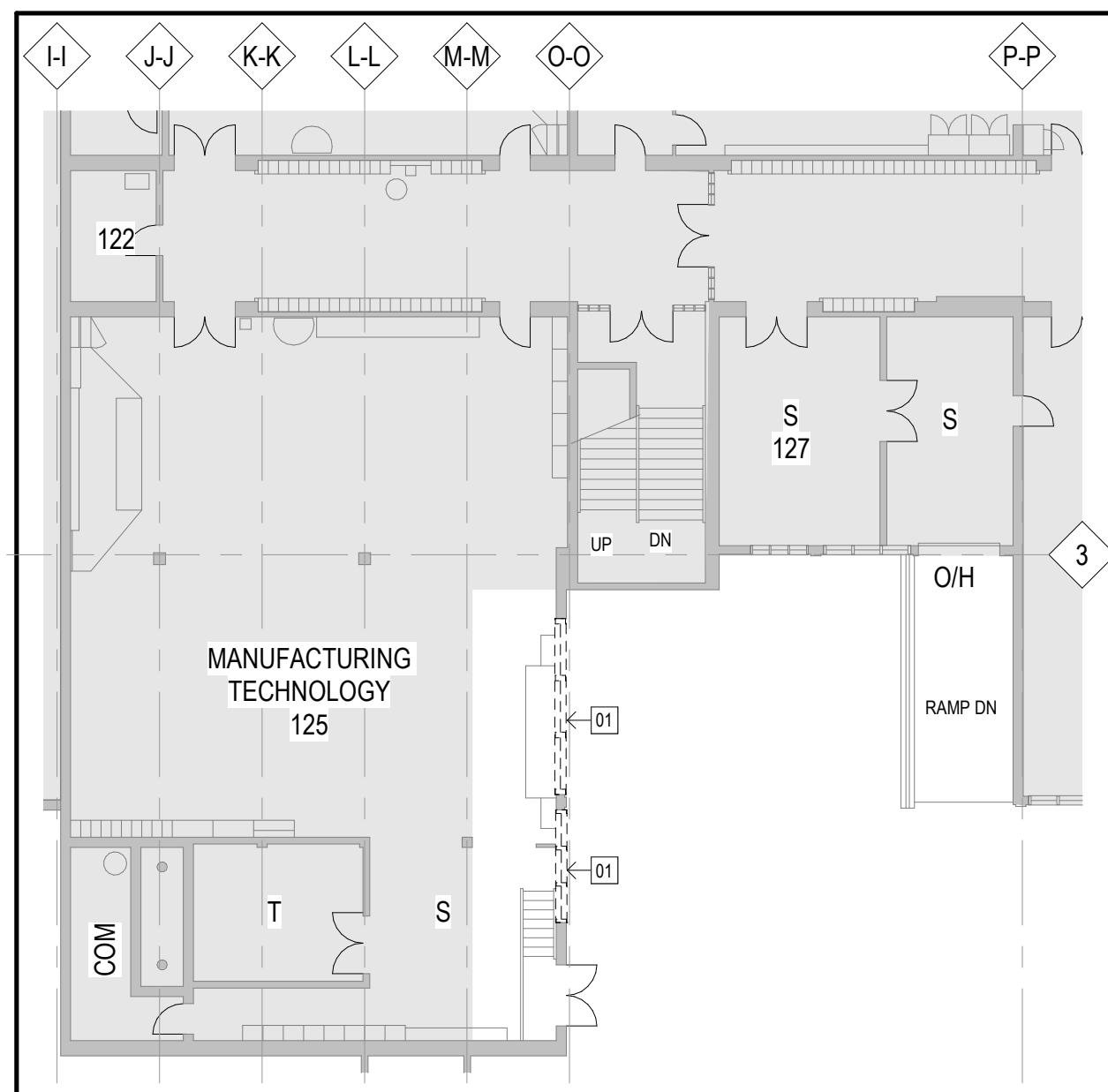
5 PARTIAL THIRD FLOOR PLAN - DEMOLITION

A201 Scale: 1 : 200



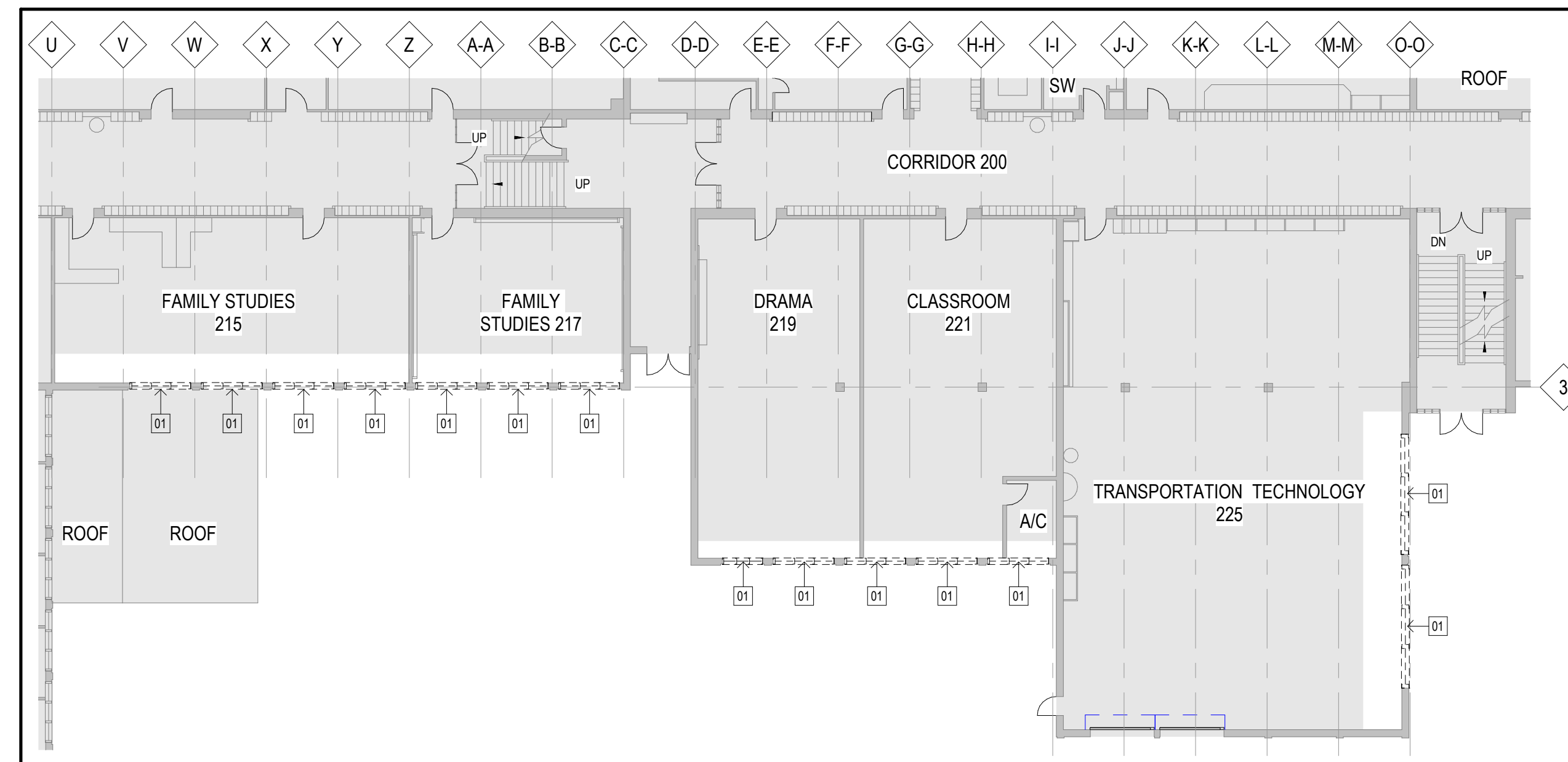
4 PARTIAL SECOND FLOOR PLAN - DEMOLITION

A201 Scale: 1 : 200



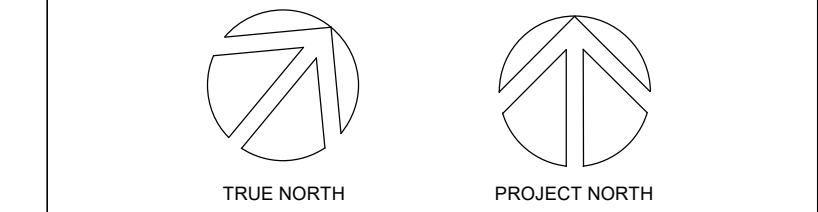
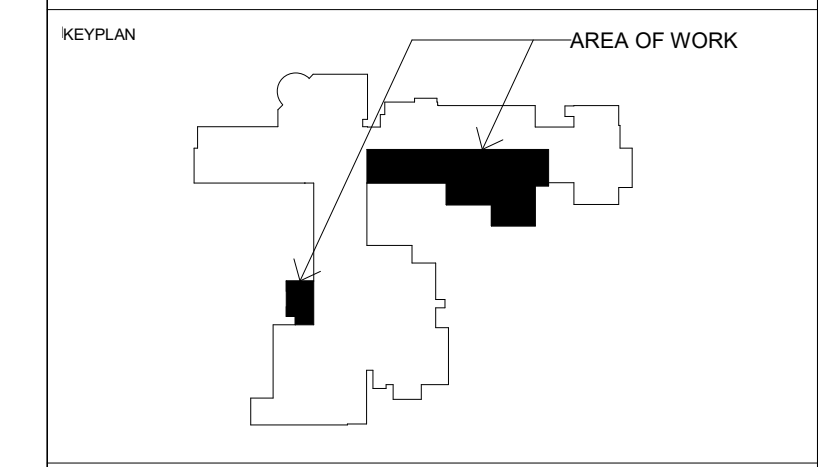
3 PARTIAL LOWER LEVEL FLOOR PLAN - DEMO

A201 Scale: 1 : 200



2 PARTIAL FIRST FLOOR PLAN (EAST) - DEMOLITION

A201 Scale: 1 : 200



No.	ISSUANCE	DATE
1	ISSUED FOR OWNER REVIEW	2022-01-10
2	ISSUED FOR QA	2022-01-20
3	ISSUED FOR OWNER REVIEW	2022-01-26
4	ISSUED FOR BID & PERMIT	2022-02-01

CLIENT
WATERLOO REGION DISTRICT SCHOOL BOARD

PROJECT
WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

TITLE
PARTIAL FLOOR PLANS - DEMOLITION

WALTERFEDY
KITCHENER HAMILTON 800.685.1378 walterfedy.com



REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS FORBIDDEN. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS TO WALTERFEDY. DO NOT SCALE THIS DRAWING.

COPYRIGHT © 2021 WalterFedy Inc.

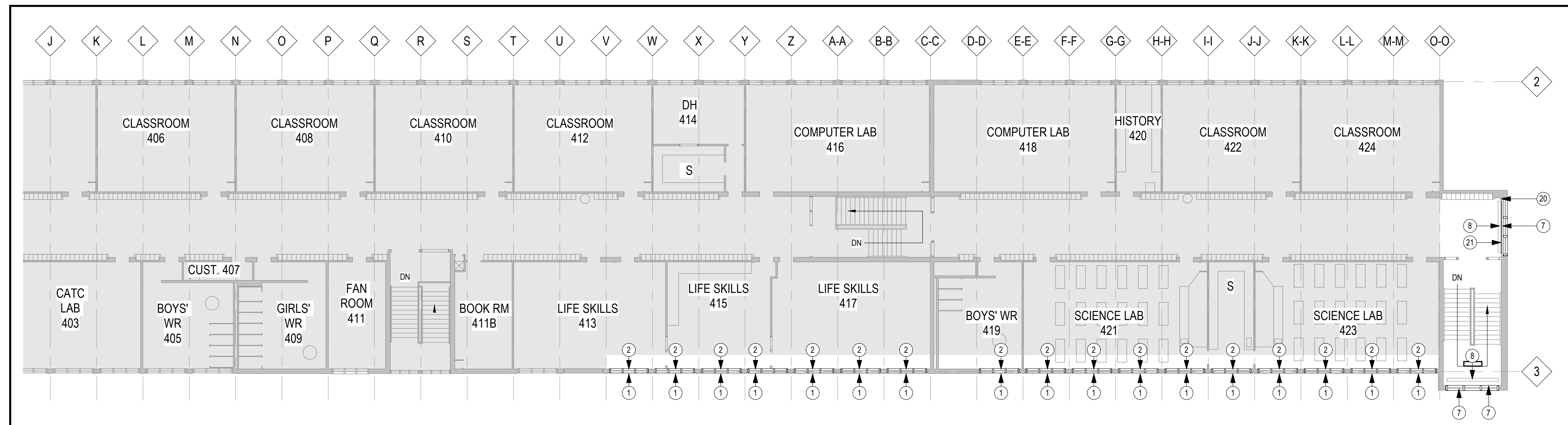
SCALE:	AS NOTED	SHEET NO.:
DATE:	2022-01-28	A201
PROJECT NO.:	2020-0735-13	
FILE:		
DRAWN BY:	KT	
CHECKED BY:	ES	

DRAWING LEGEND:

- HATCH DENOTES AREA NOT IN SCOPE OF ARCHITECTURAL WORK - TYPICAL
- HATCH INDICATES GRASS/SOD
- EXISTING TO BE DEMOLISHED SHOWN DASHED
- EXISTING WALLS TO REMAIN
- DEMOLITION NOTE SYMBOL
- RENOVATION NOTE SYMBOL

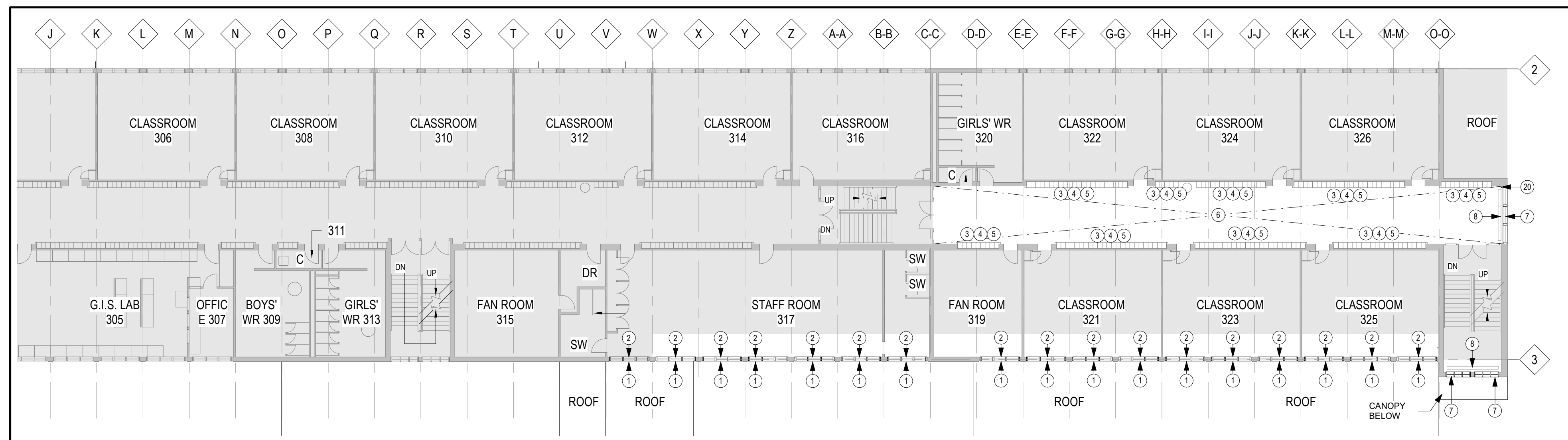
DRAWING NOTES:

- 1 NEW THERMALLY BROKEN EXTRUDED ANODIZED ALUMINUM FRAME c/w DOUBLE GLAZED SEALED UNITS.
- 2 NEW ROLLER BLINDS.
- 3 NEW LOCKER FACE AND SURROUND c/w DOOR TO BE INSTALLED TO EXISTING LOCKER BODY. SIZES TO BE SITE VERIFIED.
- 4 PROVIDE NEW HOOKS AS NECESSARY IN LOCKERS WHERE THEY ARE CURRENTLY NOT INSTALLED. BOTTOM SHELF TO BE REPLACED WHERE REQUIRED. REFER TO SPECIFICATION.
- 5 EXISTING LOCKER FRAMES TO REMAIN TO RECEIVE NEW POWDER COAT FINISH, INCLUDING ALL SHELVING, INTERIOR AND EXTERIOR EXPOSED ELEMENTS. PAINT COLOUR TO MATCH PREVIOUS LOCKER REPLACEMENT. PROTECT ADJACENT SURFACES FROM OVER-SPRAY.
- 6 EXISTING WALLS TO RECEIVE NEW COAT OF PRIMER AND PAINT. PATCH AND MAKE GOOD AS NECESSARY.
- 7 NEW CURTAIN WALL SYSTEM - GLAZED HERMETICALLY SEALED GLASS UNITS W/ CLEAR ANODIZED ALUMINUM THERMALLY BROKEN FRAME.
- 8 REMOVE AND RESERVE EXISTING RADIATOR AS REQUIRED FOR REPLACEMENT OF NEW CURTAIN WALL GLAZING.
- 9 PROVIDE 100mm Ø PERFORATED WEEPING TILE. FILTER SOCK AND 19mm CLEAR STONE SURROUND. EXISTING RETAINING WALL TO BE CORED AS REQ'D TO INSERT NEW TILE - HIGH END TO HAVE SOLID CAP. LOW END (@ RETAINING WALL) TO HAVE PERFORATED STAINLESS STEEL CAP/COVER FASTENED TO EXTERIOR FACE OF RETAINING WALL.
- 10 INSTALL NEW STRUCTURAL DECK, WATERPROOFING, C.I.P. CONCRETE & PEDESTRIAN TRAFFIC COATING. REFER TO STRUC FOR DETAILS.
- 11 PROVIDE WATERPROOFING MEMBRANE 925 BELOW T/O FOUNDATION WALL AND TIE-IN TO CONCRETE LANDING WATERPROOFING MEMBRANE. REFER TO STRUC FOR DETAILS.
- 12 PROVIDE NEW CAST-IN-PLACE CONCRETE STAIR & WALKWAY. REFER TO STRUC FOR DETAILS.
- 13 PROVIDE NEW SS HANDRAIL. REFER TO DETAILS ON A502
- 14 RESERVED
- 15 PROVIDE NEW HOT DIP GALV. GUARD (SIDE MOUNTED, TYPE 2) - REFER TO DETAILS.
- 16 PROVIDE NEW HOT DIP GALV. GUARD (TOP MOUNTED, TYPE 1) - REFER TO DETAILS.
- 17 PROVIDE NEW CAST-IN-PLACE CONCRETE PLANTER & PLANTING.
- 18 PROVIDE NEW SPRAY FOAM INSULATION (MIN R-22) & COVER w/ SPRAYED THERMAL BARRIER @ u/s OF NEW LANDING STEEL DECK. INSTALL NEW ACT CEILING (GRID & PANELS) TO MATCH EXISTING LAYOUT, FINISH AND HEIGHT IN AFFECTED AREAS.
- 19 PROVIDE NEW ALUMINUM DOOR THRESHOLD.
- 20 REPLACE INSULATED PIPE JACKETS
- 21 REINSTALL RETAINED STEEL GUARD
- 22 VISUALLY CONTRASTING TACTILE INDICATORS
- 23 VISUALLY CONTRASTING ALUMINUM STAIR NOSING (TYP)



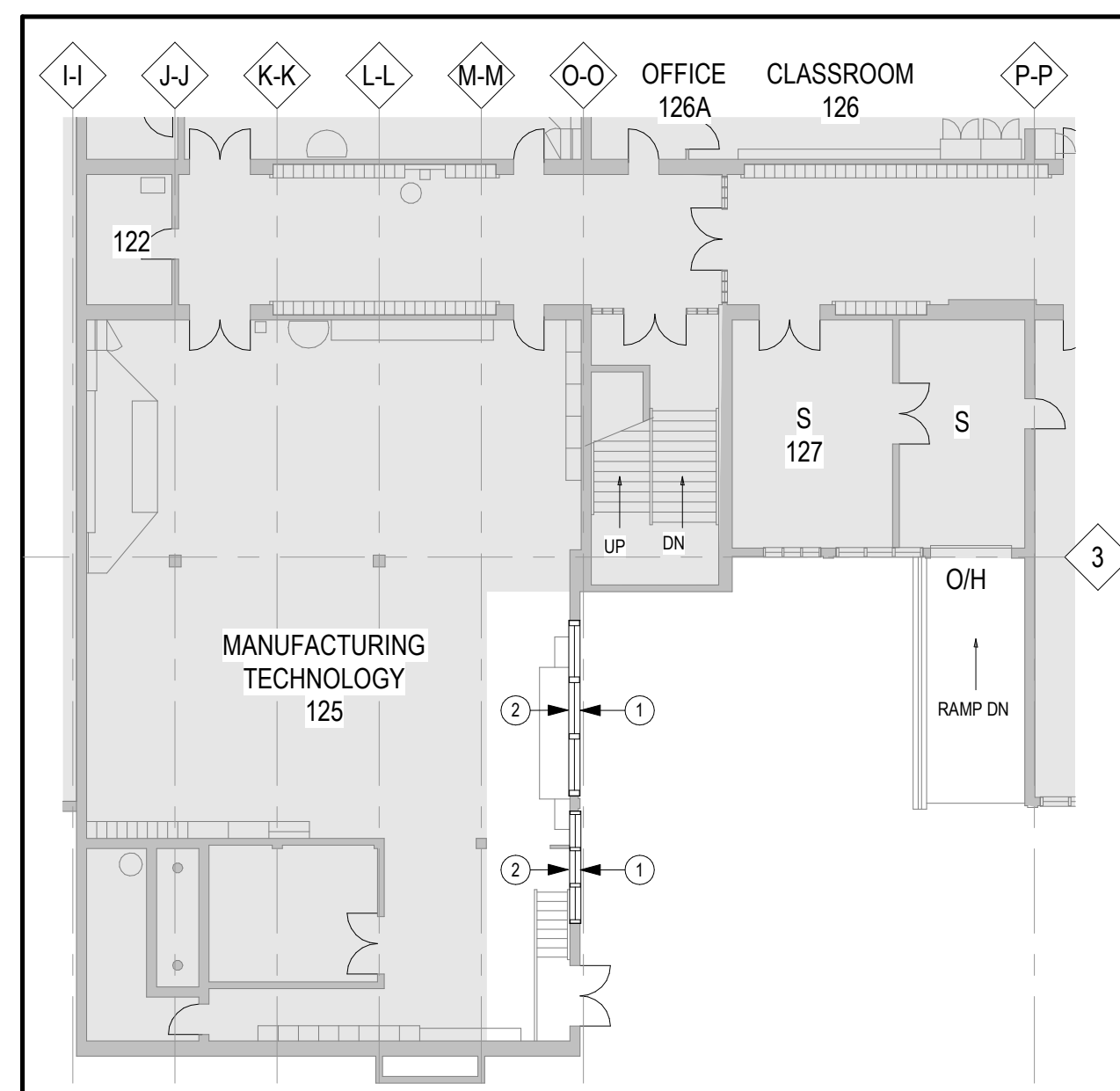
5 PARTIAL THIRD FLOOR PLAN

A202 Scale: 1 : 200



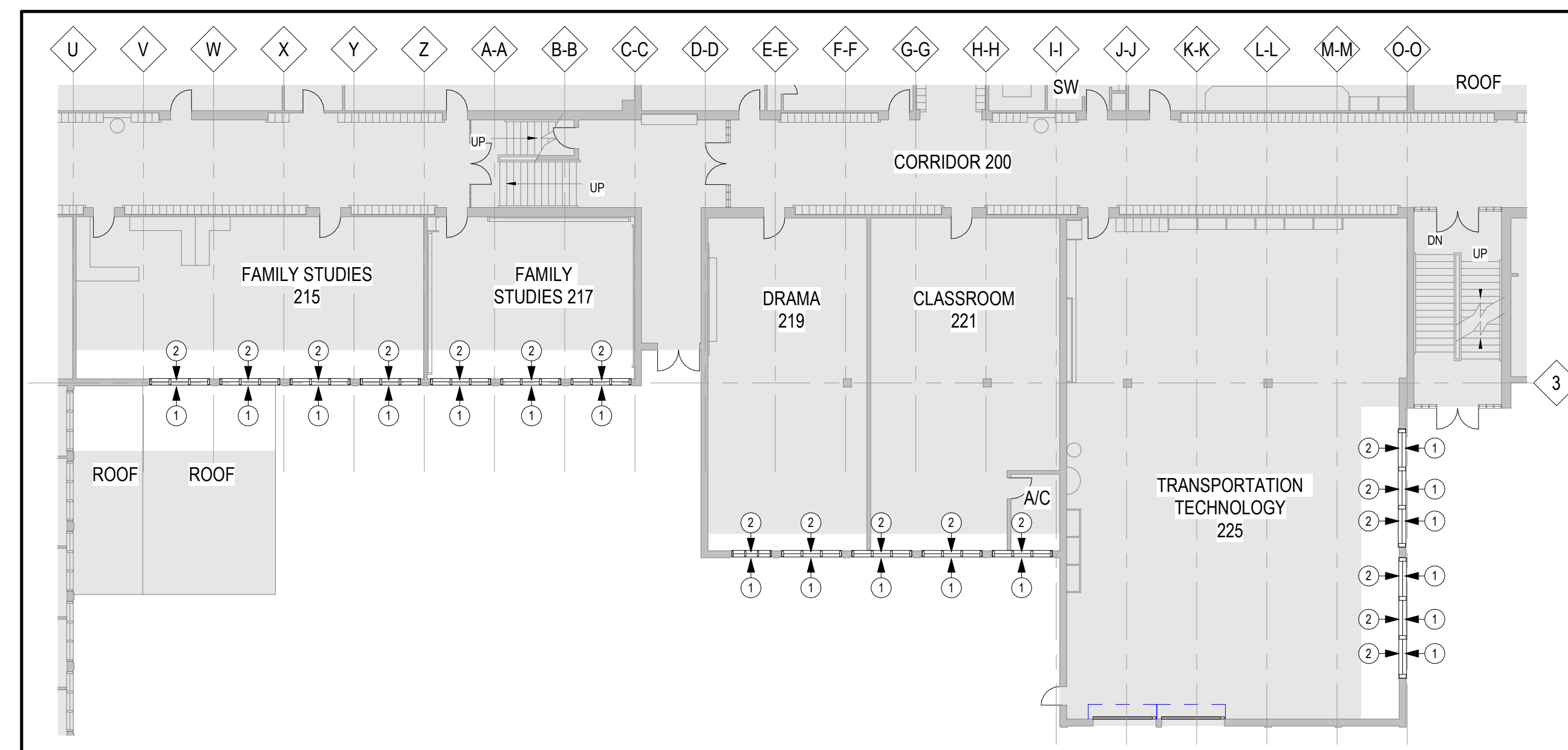
4 PARTIAL SECOND FLOOR PLAN

A202 Scale: 1 : 200



3 PARTIAL LOWER LEVEL FLOOR PLAN

A202 Scale: 1 : 200



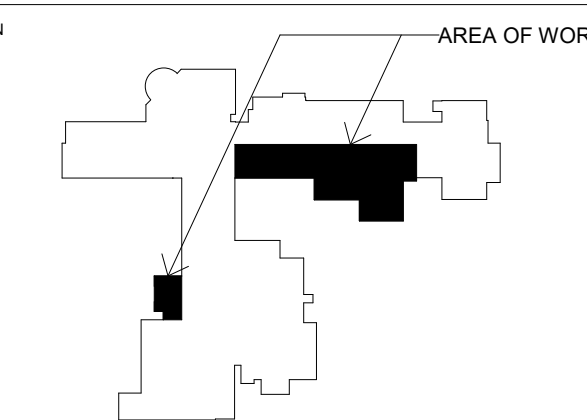
2 PARTIAL FIRST FLOOR PLAN (EAST)

A202 Scale: 1 : 200

CLIENT LOGO



KEYPLAN



No.	ISSUANCE	DATE
1	ISSUED FOR OWNER REVIEW	2022-01-10
2	ISSUED FOR QA	2022-01-20
3	ISSUED FOR OWNER REVIEW	2022-01-26
4	ISSUED FOR BID & PERMIT	2022-02-01

CLIENT

WATERLOO REGION DISTRICT SCHOOL BOARD

PROJECT

WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

TITLE

PARTIAL FLOOR PLANS - RENOVATION

WALTERFEDY

KITCHENER HAMILTON 800.685.1378 walterfedy.com

SEAL



REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS FORBIDDEN. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS TO WALTERFEDY. DO NOT SCALE THIS DRAWING.

COPYRIGHT © 2021 WalterFedy Inc.

SCALE:	AS NOTED	SHEET NO.:
DATE:	2022-01-28	
PROJECT NO.:	2020-0735-13	
FILE:		
DRAWN BY:	KT	
CHECKED BY:	ES	

A202

DRAWING LEGEND:

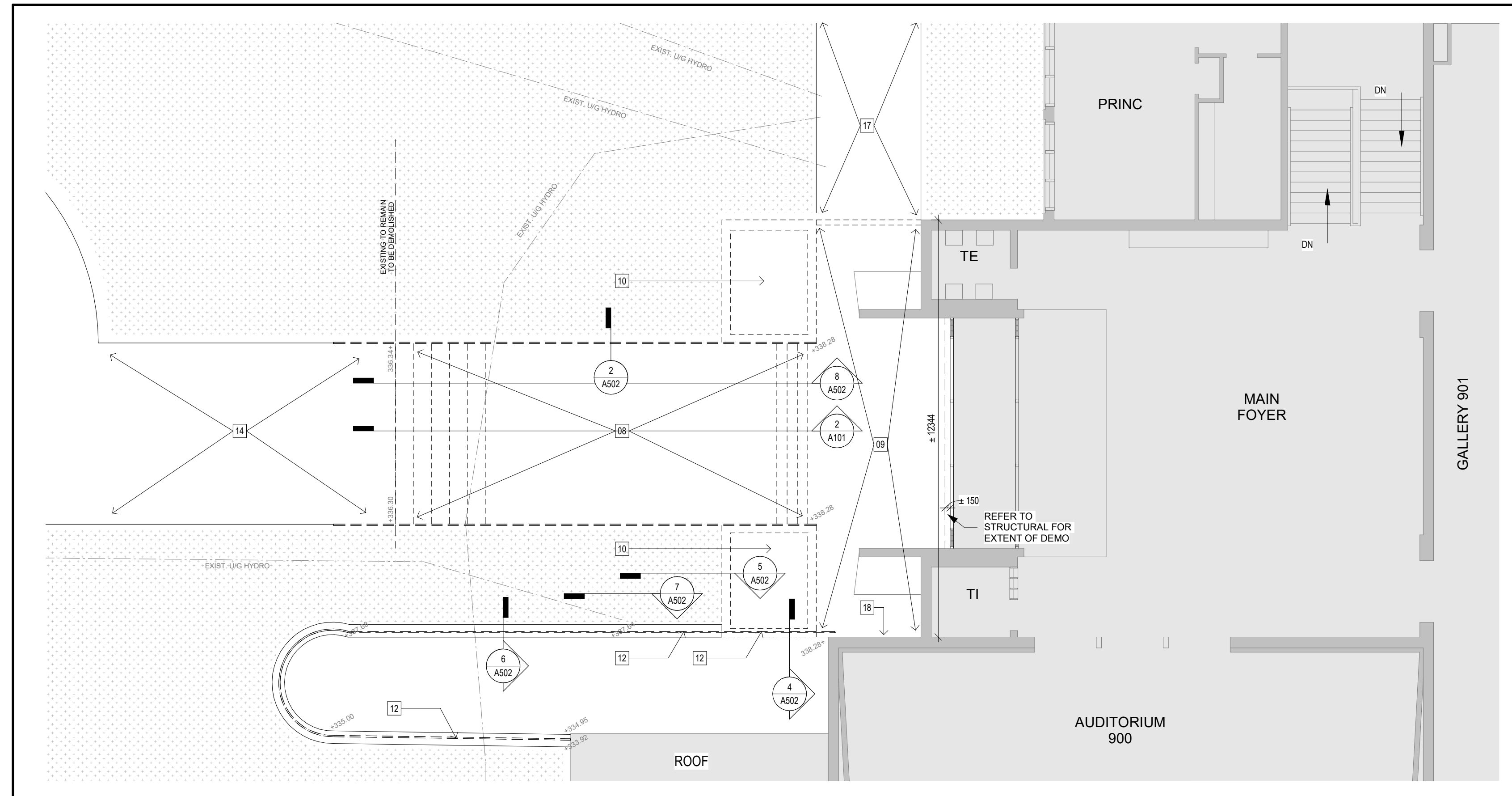
- HATCH DENOTES AREA NOT IN SCOPE OF ARCHITECTURAL WORK - TYPICAL
- HATCH INDICATES GRASS/SOD
- EXISTING TO BE DEMOLISHED SHOWN DASHED
- EXISTING WALLS TO REMAIN
- DEMOLITION NOTE SYMBOL
- RENOVATION NOTE SYMBOL

DEMOLITION NOTES:

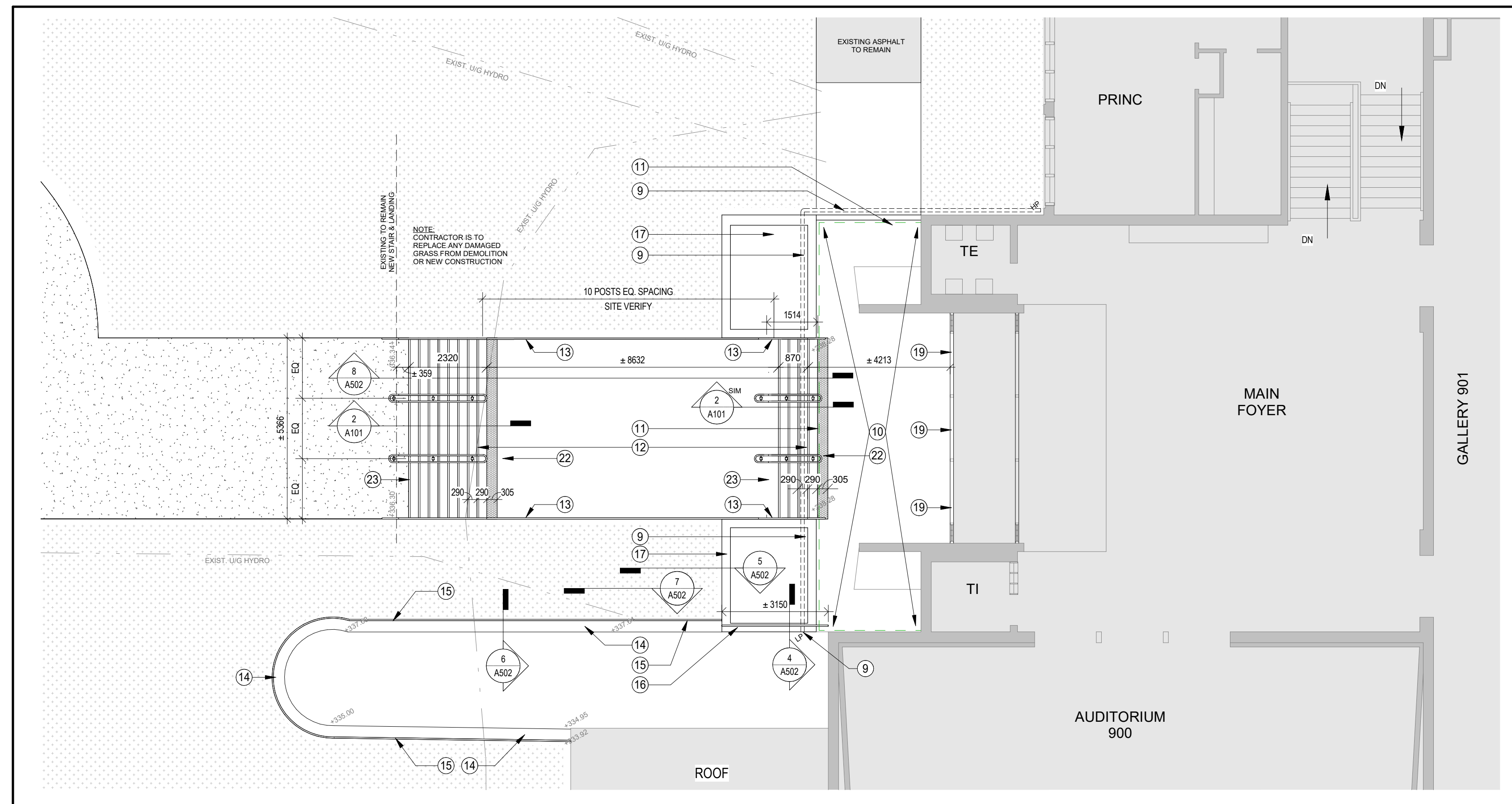
- 01 EXISTING WINDOW UNIT, INCLUDING METAL CLADDING AND EXISTING GLASS BLOCK ABOVE, TO BE REMOVED AND DISPOSED OF. c/w ALL MISC. FASTENERS, ANCHORS, SHIMS AND SEALANT. WINDOW REMOVAL BY ABATEMENT CONTRACTOR - REFER TO ASBESTOS AUDIT. EXISTING ROLLER BLINDS TO BE REMOVED AND TURNED OVER TO OWNER. PREPARE OPENING TO RECEIVE NEW WINDOW. PATCH AND MAKE GOOD EXISTING ADJACENT WALLS. PREPARE TO RECEIVE NEW COAT OF PRIMER AND PAINT.
- 02 REMOVE AND DISCARD EXISTING LOCKER FACE c/w DOORS AND SURROUND. LOCKER INTERIORS TO REMAIN. REMOVE BOTTOM SHELF WHERE REQUIRED AND PREPARE FOR NEW SHELF - CONTRACTOR TO PROVIDE LOCKER SHELF REPLACEMENT COUNT TO ARCHITECT FOR APPROVAL.
- 03 CLEAN, PATCH AND PREPARE WALLS TO RECEIVE NEW PAINT
- 04 REMOVE AND REPLACE ACOUSTIC CEILING TILE ASSEMBLY c/w T-BAR GRID AND SUSPENSION SYSTEM
- 05 CAREFULLY REMOVE SECTIONS OF EXISTING ACT AS REQUIRED FOR NEW BULKHEAD. REINSTALL TILES AND GRID AS REQUIRED. REFER TO DEMOLITION SECTION DETAIL.
- 06 REMOVE AND DISCARD CEILING LIGHTS - REFER TO ELECTRICAL
- 07 REMOVE AND DISPOSE OF EXISTING CURTAINWALL SYSTEM c/w ALL MISC. FASTENERS, ANCHORS, SHIMS AND SEALANT.
- 08 DEMOLISH CONCRETE STAIRS, WALKWAY & RAILING. REFER TO STRUC FOR DETAILS.
- 09 DEMOLISH EXISTING STEEL DECK, CONCRETE TOPPING AND METAL MEMBRANE. REFER TO STRUCTURAL.
- 10 REMOVE AND DISCARD EXISTING CONC. PLANTER & PLANTS. REFER TO STRUC FOR DETAILS.
- 11 REMOVE AND DISPOSE OF EXISTING GWB BULKHEAD.
- 12 REMOVE (SAW CUT) AND DISPOSE OF EXISTING PAINTED STEEL GUARD ATOP RETAINING WALL. GRIND EMBEDDED STEEL PLATES DOWN BELOW TOP SURFACE OF CONCRETE AND PREP FOR CONCRETE PATCHING.
- 13 EXISTING CEILING TO REMAIN.
- 14 EXISTING CONCRETE WALKWAY TO REMAIN (N.I.C.) - EXECUTE ADJACENT DEMOLITION IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ADJACENT WALKWAY TO AVOID ANY MARKING, CRACKING OR DAMAGE. PROTECT CONCRETE AS NECESSARY.
- 15 CAREFULLY REMOVE SECTIONS OF EXISTING CEILING AS REQUIRED FOR WINDOW REPLACEMENT.
- 16 REMOVE ANY EXISTING ACT OR GYPSUM BOARD SHEATHING INCLUDING CEILING MOUNTED FIXTURES/EQUIPMENT IN CEILING TO FACILITATE THE REMOVAL AND INSTALLATION OF NEW STEEL DECK. ALL DAMAGED MECHANICAL AND ELECTRICAL PIPING & RELATED HARDWARE TO BE REMOVED AND REPLACED AS REQ'D
- 17 EXISTING ASPHALT AND STONE WALKWAY TO REMAIN. EXECUTE ADJACENT DEMOLITION IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ADJACENT MATERIALS. PATCH AND REPAIR AS REQUIRED.
- 18 REMOVE AND REINSTALL EXISTING WALL MOUNTED CONDUIT AS REQUIRED FOR DEMOLITION.
- 19 REMOVE AND DISPOSE OF EXISTING DOOR THRESHOLD. PREP FOR NEW.
- 20 REMOVE EXISTING STEEL GUARD AND RETAIN FOR REINSTALLATION.
- 21 REMOVE AND DISPOSE OF PIPE INSULATION JACKETS

DRAWING NOTES:

- 1 NEW THERMALLY BROKEN EXTRUDED ANODIZED ALUMINUM FRAME c/w DOUBLE GLAZED SEALED UNITS.
- 2 NEW ROLLER BLINDS.
- 3 NEW LOCKER FACE AND SURROUND c/w DOOR TO BE INSTALLED TO EXISTING LOCKER BODY. SIZES TO BE SITE VERIFIED.
- 4 PROVIDE NEW HOOKS AS NECESSARY IN LOCKERS WHERE THEY ARE CURRENTLY NOT INSTALLED. BOTTOM SHELF TO BE REPLACE WHERE REQUIRED. REFER TO SPECIFICATION.
- 5 EXISTING LOCKER FRAMES TO REMAIN TO RECEIVE NEW POWDER COAT FINISH, INCLUDING ALL SHELVING, INTERIOR AND EXTERIOR EXPOSED ELEMENTS PAINT COLOUR TO MATCH PREVIOUS LOCKER REPLACEMENT. PROTECT ADJACENT SURFACES FROM OVER-SPRAY.
- 6 EXISTING WALLS TO RECEIVE NEW COAT OF PRIMER AND PAINT. PATCH AND MAKE GOOD AS NECESSARY.
- 7 NEW CURTAIN WALL SYSTEM - GLAZED HERMETICALLY SEALED GLASS UNITS W/ CLEAR ANODIZED ALUMINUM THERMALLY BROKEN FRAME.
- 8 REMOVE AND RESERVE EXISTING RADIATOR AS REQUIRED FOR REPLACEMENT OF NEW CURTAINWALL GLAZING.
- 9 PROVIDE 100mm ϕ PERFORATED WEEPING TILE, FILTER SOCK AND 19mm CLEAR STONE SURROUND. EXISTING RETAINING WALL TO BE CORED AS REQ'D TO INSERT NEW TILE - HIGH END TO HAVE SOLID CAP, LOW END (@ RETAINING WALL) TO HAVE PERFORATED STAINLESS STEEL CAP/OVER FASTENED TO EXTERIOR FACE OF RETAINING WALL.
- 10 INSTALL NEW STRUCTURAL DECK, WATERPROOFING, C.I.P. CONCRETE & PEDESTRIAN TRAFFIC COATING. REFER TO STRUC FOR DETAILS.
- 11 PROVIDE WATERPROOFING MEMBRANE 925 BELOW T/O FOUNDATION WALL AND TIE-IN TO CONCRETE LANDING WATERPROOFING MEMBRANE. REFER TO STRUC FOR DETAILS.
- 12 PROVIDE NEW CAST-IN-PLACE CONCRETE STAIR & WALKWAY. REFER TO STRUC FOR DETAILS.
- 13 PROVIDE NEW SS HANDRAIL. REFER TO DETAILS ON A502
- 14 RESERVED
- 15 PROVIDE NEW HOT DIP GALV. GUARD (SIDE MOUNTED, TYPE 2) - REFER TO DETAILS.
- 16 PROVIDE NEW HOT DIP GALV. GUARD (TOP MOUNTED, TYPE 1) - REFER TO DETAILS.
- 17 PROVIDE NEW CAST-IN-PLACE CONCRETE PLANTER & PLANTING.
- 18 PROVIDE NEW SPRAY FOAM INSULATION (MIN R 22) & COVER w/ SPRAYED THERMAL BARRIER @ 1/2" OF NEW LANDING STEEL DECK. INSTALL NEW ACT CEILING (GRID & PANELS) TO MATCH EXISTING LAYOUT. FINISH AND HEIGHT IN AFFECTED AREAS.
- 19 PROVIDE NEW ALUMINUM DOOR THRESHOLD.
- 20 REPLACE INSULATED PIPE JACKETS
- 21 REINSTALL RETAINED STEEL GUARD
- 22 VISUALLY CONTRASTING TACTILE INDICATORS
- 23 VISUALLY CONTRASTING ALUMINUM STAIR NOSING (TYP)



1 PARTIAL FIRST FLOOR PLAN (SOUTH) - DEMOLITION
A203 Scale: 1 : 100



2 PARTIAL FIRST FLOOR PLAN (SOUTH)
A203 Scale: 1 : 100

CLIENT LOGO

KEYPLAN

AREA OF WORK

TRUE NORTH PROJECT NORTH

No.	ISSUANCE	DATE
1	ISSUED FOR BID & PERMIT	2022-02-01

CLIENT
WATERLOO REGION DISTRICT SCHOOL BOARD

PROJECT
WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

TITLE
PARTIAL FLOOR PLANS - ENLARGED

WALTERFEDY
KITCHENER HAMILTON 800.685.1378 walterfedy.com

SEAL

REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS FORBIDDEN. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS TO WALTERFEDY. DO NOT SCALE THIS DRAWING.

COPYRIGHT © 2021 WalterFedy Inc.

SCALE:	SHEET NO.:
DATE: 2022-01-28	
PROJECT NO: 2020-0735-13	
FILE:	
DRAWN BY: KT	
CHECKED BY: ES	

A203

CEILING LEGEND:

- HATCH DENOTES AREAS NOT IN SCOPE
- CEILING ASSEMBLY
- CEILING HEIGHT ABOVE FINISHED FLOOR TO MATCH EXISTING
- RECESSED LED LIGHT FIXTURE. REFER TO ELEC. DRAWINGS FOR TYPE AND SIZE
- DEMOLITION NOTE SYMBOL
- RENOVATION NOTE SYMBOL

CEILING ASSEMBLY:

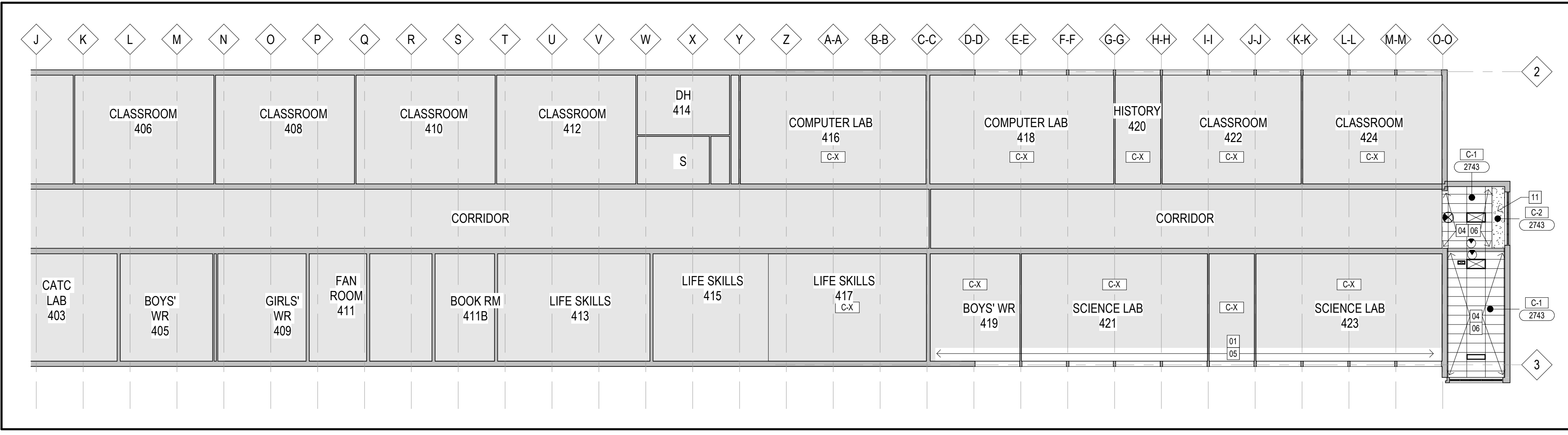
- EXISTING 610 x 610 ACOUSTIC CEILING TILE WITH PREFINISHED METAL T-BAR SUSPENSION SYSTEM TO BE LEFT UNDISTURBED UNLESS OTHERWISE NOTED
- 610 x 1220 ACOUSTIC CEILING TILE WITH PREFINISHED METAL T-BAR SUSPENSION SYSTEM
- 16 GYPSUM WALL BOARD 22 METAL FURRING CHANNELS 400 O.C. 64 METAL CARRYING CHANNELS 600 O.C. SUSPENSION SYSTEM

DEMOLITION NOTES:

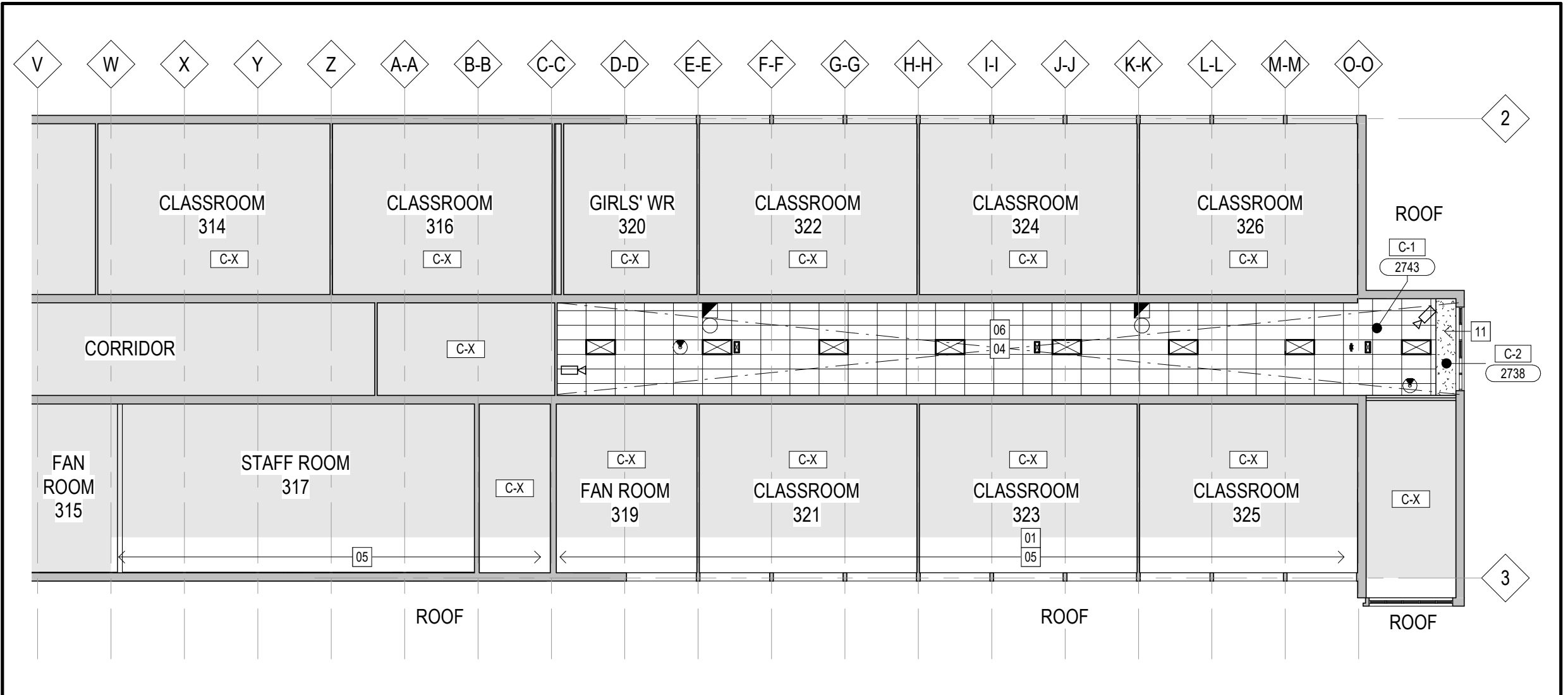
- 01 EXISTING WINDOW UNIT, INCLUDING METAL CLADDING AND EXISTING GLASS BLOCK ABOVE, TO BE REMOVED AND DISPOSED OF c/w ALL MISC. FASTENERS, ANCHORS, SHIMS AND SEALANT. WINDOW REMOVAL BY ABATEMENT CONTRACTOR - REFER TO ASBESTOS AUDIT. EXISTING ROLLER BLINDS TO BE REMOVED AND TURNED OVER TO OWNER. PREPARE OPENING TO RECEIVE NEW WINDOW. PATCH AND MAKE GOOD EXISTING ADJACENT WALLS. PREPARE TO RECEIVE NEW COAT OF PRIMER AND PAINT.
- 02 REMOVE AND DISCARD EXISTING LOCKER FACE c/w DOORS AND SURROUND. LOCKER INTERIORS TO REMAIN. REMOVE BOTTOM SHELF WHERE REQUIRED AND PREPARE FOR NEW SHELF - CONTRACTOR TO PROVIDE LOCKER SHELF REPLACEMENT COUNT TO ARCHITECT FOR APPROVAL.
- 03 CLEAN, PATCH AND PREPARE WALLS TO RECEIVE NEW PAINT
- 04 REMOVE AND REPLACE ACOUSTIC CEILING TILE ASSEMBLY c/w T-BAR GRID AND SUSPENSION SYSTEM
- 05 CAREFULLY REMOVE SECTIONS OF EXISTING ACT AS REQUIRED FOR NEW BULKHEAD. REINSTALL TILES AND GRID AS REQUIRED. REFER TO DEMOLITION SECTION DETAIL.
- 06 REMOVE AND DISCARD CEILING LIGHTS - REFER TO ELECTRICAL
- 07 REMOVE AND DISPOSE OF EXISTING CURTAINWALL SYSTEM c/w ALL MISC. FASTENERS, ANCHORS, SHIMS AND SEALANT.
- 08 DEMOLISH CONCRETE STAIRS, WALKWAY & RAILING. REFER TO STRUC FOR DETAILS.
- 09 DEMOLISH EXISTING STEEL DECK, CONCRETE TOPPING AND METAL MEMBRANE. REFER TO STRUCTURAL.
- 10 REMOVE AND DISCARD EXISTING CONC. PLANTER & PLANTS. REFER TO STRUC FOR DETAILS.
- 11 REMOVE AND DISPOSE OF EXISTING GWB BULKHEAD.
- 12 REMOVE (SAW CUT) AND DISPOSE OF EXISTING PAINTED STEEL GUARD ATOP RETAINING WALL. GRIND EMBEDDED STEEL PLATES DOWN BELOW TOP SURFACE OF CONCRETE AND PREP FOR CONCRETE PATCHING.
- 13 EXISTING CEILING TO REMAIN.
- 14 EXISTING CONCRETE WALKWAY TO REMAIN (I.L.C.) - EXECUTE ADJACENT DEMOLITION IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ADJACENT WALKWAY TO AVOID ANY MARKING, CRACKING OR DAMAGE. PROTECT CONCRETE AS NECESSARY.
- 15 CAREFULLY REMOVE SECTIONS OF EXISTING CEILING AS REQUIRED FOR WINDOW REPLACEMENT.
- 16 REMOVE ANY EXISTING ACT OR GYPSUM BOARD SHEATHING INCLUDING CEILING MOUNTED FIXTURES/EQUIPMENT IN CEILING TO FACILITATE THE REMOVAL AND INSTALLATION OF NEW STEEL DECK. ALL DAMAGED MECHANICAL AND ELECTRICAL PIPING & RELATED HARDWARE TO BE REMOVED AND REPLACED AS REQ'D
- 17 EXISTING ASPHALT AND STONE WALKWAY TO REMAIN. EXECUTE ADJACENT DEMOLITION IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ADJACENT MATERIALS. PATCH AND REPAIR AS REQUIRED.
- 18 REMOVE AND REINSTALL EXISTING WALL MOUNTED CONDUIT AS REQUIRED FOR DEMOLITION.
- 19 REMOVE AND DISPOSE OF EXISTING DOOR THRESHOLD. PREP FOR NEW.
- 20 REMOVE EXISTING STEEL GUARD AND RETAIN FOR REINSTALLATION.
- 21 REMOVE AND DISPOSE OF PIPE INSULATION JACKETS

DRAWING NOTES:

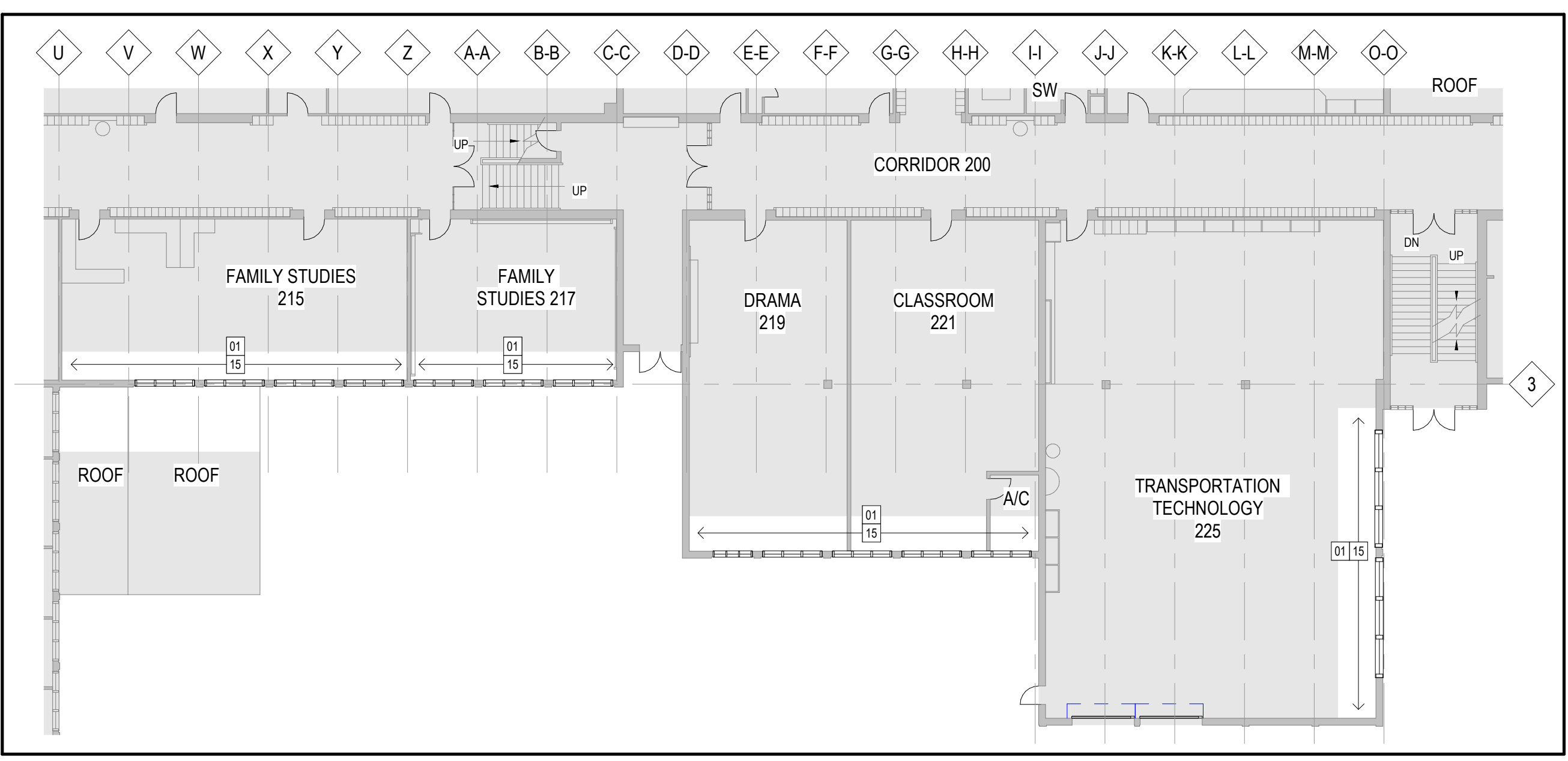
- 1 NEW THERMALLY BROKEN EXTRUDED ANODIZED ALUMINUM FRAME c/w DOUBLE GLAZED SEALED UNITS.
- 2 NEW ROLLER BLINDS.
- 3 NEW LOCKER FACE AND SURROUND c/w DOOR TO BE INSTALLED TO EXISTING LOCKER BODY. SIZES TO BE SITE VERIFIED.
- 4 PROVIDE NEW HOOKS AS NECESSARY IN LOCKERS WHERE THEY ARE CURRENTLY NOT INSTALLED. BOTTOM SHELF TO BE REPLACED WHERE REQUIRED. REFER TO SPECIFICATION.
- 5 EXISTING LOCKER FRAMES TO REMAIN TO RECEIVE NEW POWDER COAT FINISH, INCLUDING ALL SHELVING, INTERIOR AND EXTERIOR EXPOSED ELEMENTS PAINT COLOUR TO MATCH PREVIOUS LOCKER REPLACEMENT. PROTECT ADJACENT SURFACES FROM OVER-SPRAY.
- 6 EXISTING WALLS TO RECEIVE NEW COAT OF PRIMER AND PAINT. PATCH AND MAKE GOOD AS NECESSARY.
- 7 NEW CURTAIN WALL SYSTEM - GLAZED HERMETICALLY SEALED GLASS UNITS W/ CLEAR ANODIZED ALUMINUM THERMALLY BROKEN FRAME.
- 8 REMOVE AND RESERVE EXISTING RADIATOR AS REQUIRED FOR REPLACEMENT OF NEW CURTAINWALL GLAZING.
- 9 PROVIDE 100mm x PERFORATED WEEPING TILE. FILTER SOCK AND 19mm CLEAR STONE SURROUND. EXISTING RETAINING WALL TO BE CORED AS REQ'D TO INSERT NEW TILE - HIGH END TO HAVE SOLID CAP. LOW END (@ RETAINING WALL) TO HAVE PERFORATED STAINLESS STEEL CAP/OVER FASTENED TO EXTERIOR FACE OF RETAINING WALL.
- 10 INSTALL NEW STRUCTURAL DECK, WATERPROOFING, C.I.P. CONCRETE & PEDESTRIAN TRAFFIC COATING. REFER TO STRUC FOR DETAILS.
- 11 PROVIDE WATERPROOFING MEMBRANE 925 BELOW T/O FOUNDATION WALL AND TIE-IN TO CONCRETE LANDING WATERPROOFING MEMBRANE. REFER TO STRUC FOR DETAILS.
- 12 PROVIDE NEW CAST-IN-PLACE CONCRETE STAIR & WALKWAY. REFER TO STRUC FOR DETAILS.
- 13 PROVIDE NEW SS HANDRAIL. REFER TO DETAILS ON A502
- 14 RESERVED
- 15 PROVIDE NEW HOT DIP GALV. GUARD (SIDE MOUNTED, TYPE 2) - REFER TO DETAILS.
- 16 PROVIDE NEW HOT DIP GALV. GUARD (TOP MOUNTED, TYPE 1) - REFER TO DETAILS.
- 17 PROVIDE NEW CAST-IN-PLACE CONCRETE PLANTER & PLANTING.
- 18 PROVIDE NEW SPRAY FOAM INSULATION (MIN R-22) & COVER w/ SPRAYED THERMAL BARRIER @ u/s OF NEW LANDING STEEL DECK. INSTALL NEW ACT CEILING (GRID & PANELS) TO MATCH EXISTING LAYOUT, FINISH AND HEIGHT IN AFFECTED AREAS.
- 19 PROVIDE NEW ALUMINUM DOOR THRESHOLD.
- 20 REPLACE INSULATED PIPE JACKETS
- 21 REINSTALL RETAINED STEEL GUARD
- 22 VISUALLY CONTRASTING TACTILE INDICATORS
- 23 VISUALLY CONTRASTING ALUMINUM STAIR NOSING (TYP)



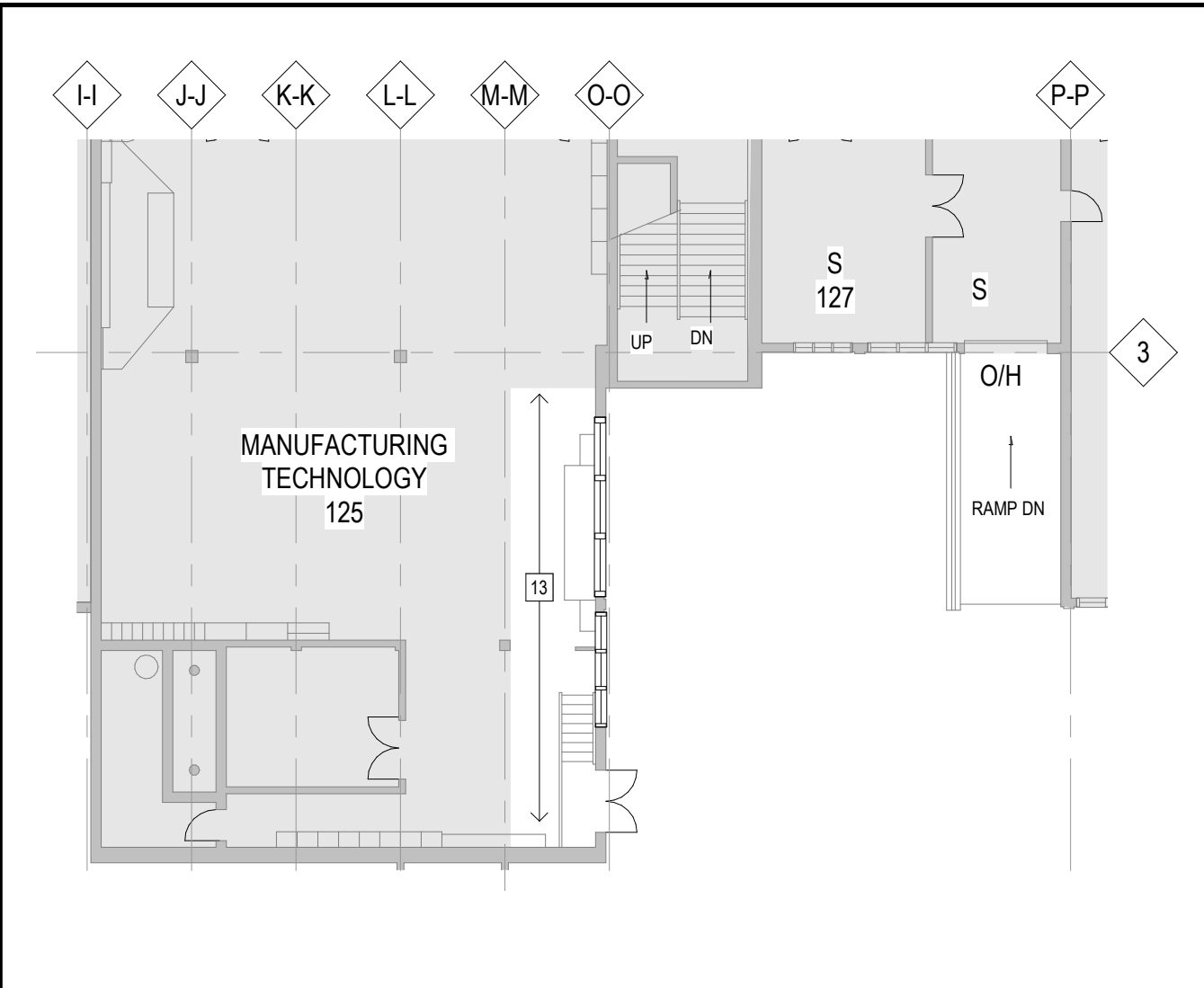
5 PARTIAL THIRD FLOOR RCP
A204 Scale: 1 : 200



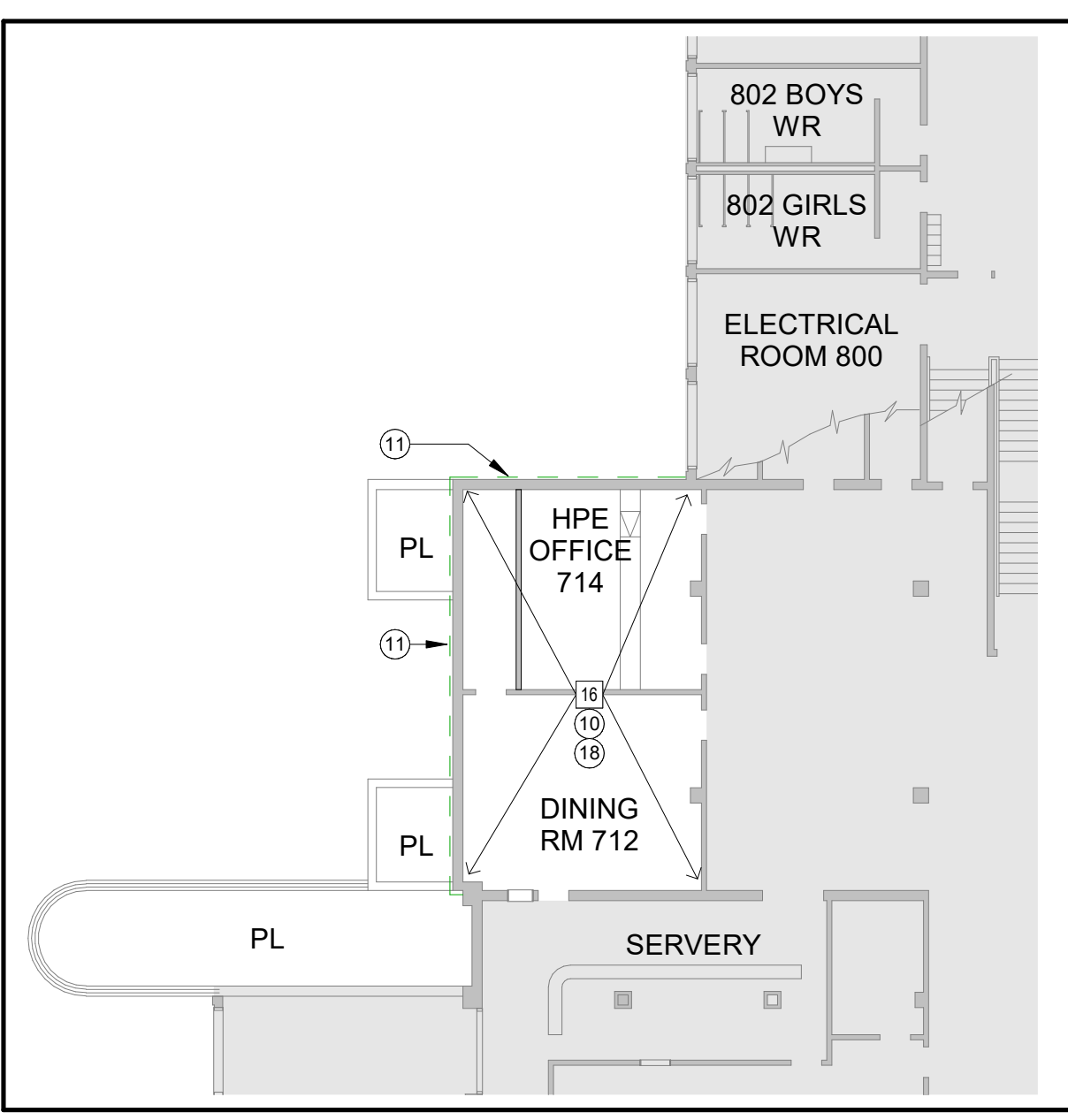
4 PARTIAL SECOND FLOOR RCP
A204 Scale: 1 : 200



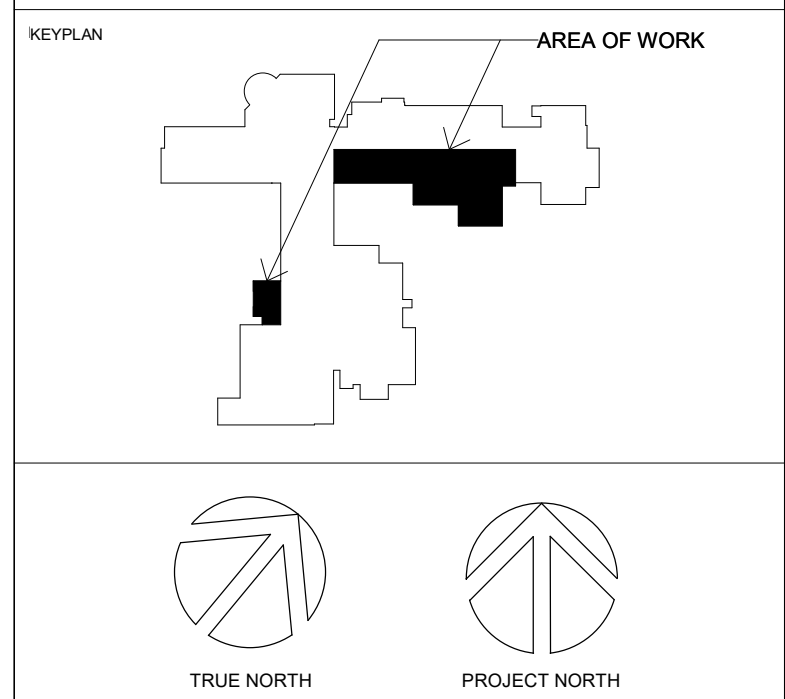
2 PARTIAL FIRST FLOOR RCP
A204 Scale: 1 : 200



3 PARTIAL LOWER LEVEL RCP
A204 Scale: 1 : 200



1 PARTIAL BASEMENT RCP
A204 Scale: 1 : 200



No.	ISSUANCE	DATE
1	ISSUED FOR OWNER REVIEW	2022-01-10
2	ISSUED FOR QA	2022-01-20
3	ISSUED FOR OWNER REVIEW	2022-01-26
4	ISSUED FOR BID & PERMIT	2022-02-01

CLIENT
WATERLOO REGION DISTRICT SCHOOL BOARD

PROJECT
WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

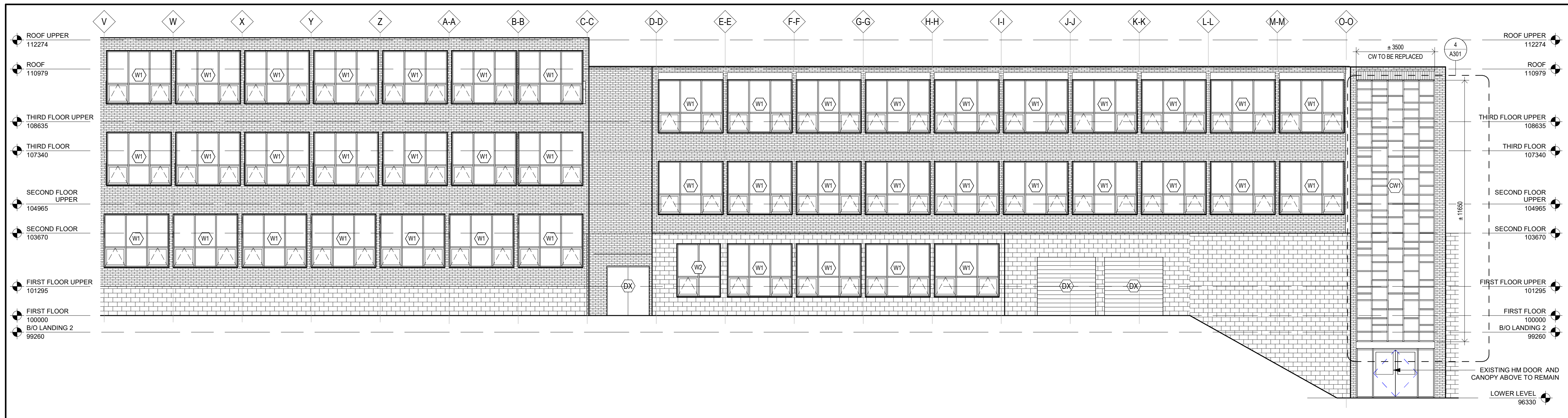
TITLE
PARTIAL REFLECTED CEILING PLANS

WALTERFEDY
KITCHENER HAMILTON 800.685.1378 walterfedy.com

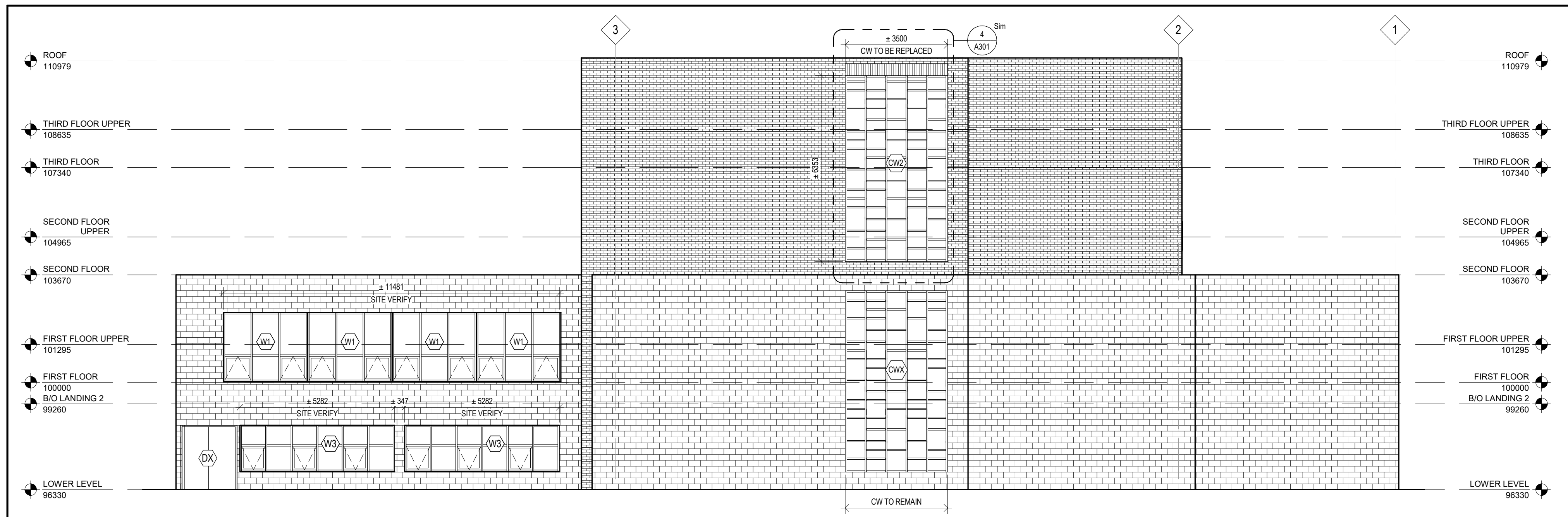


REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS FORBIDDEN. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS TO WALTERFEDY. DO NOT SCALE THIS DRAWING.

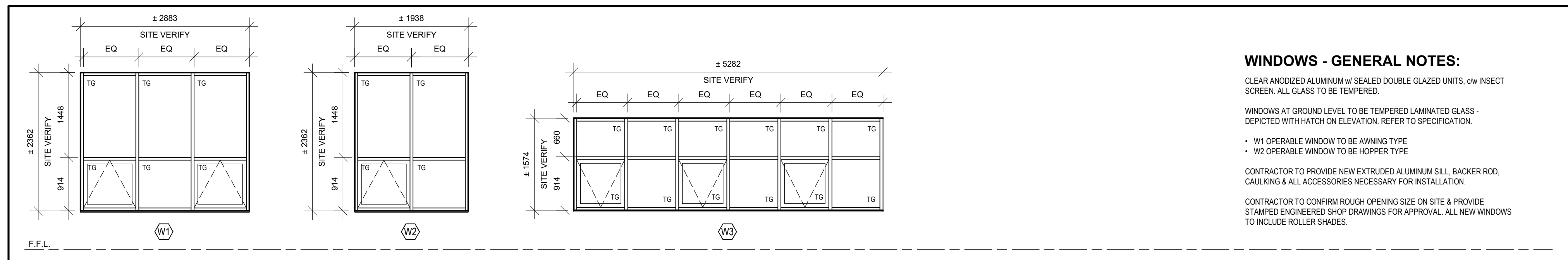
SCALE:	AS NOTED	SHEET NO.:	A204
DATE:	2022-01-28		
PROJECT NO.:	2020-0735-13		
FILE:			
DRAWN BY:	KT		
CHECKED BY:	ES		



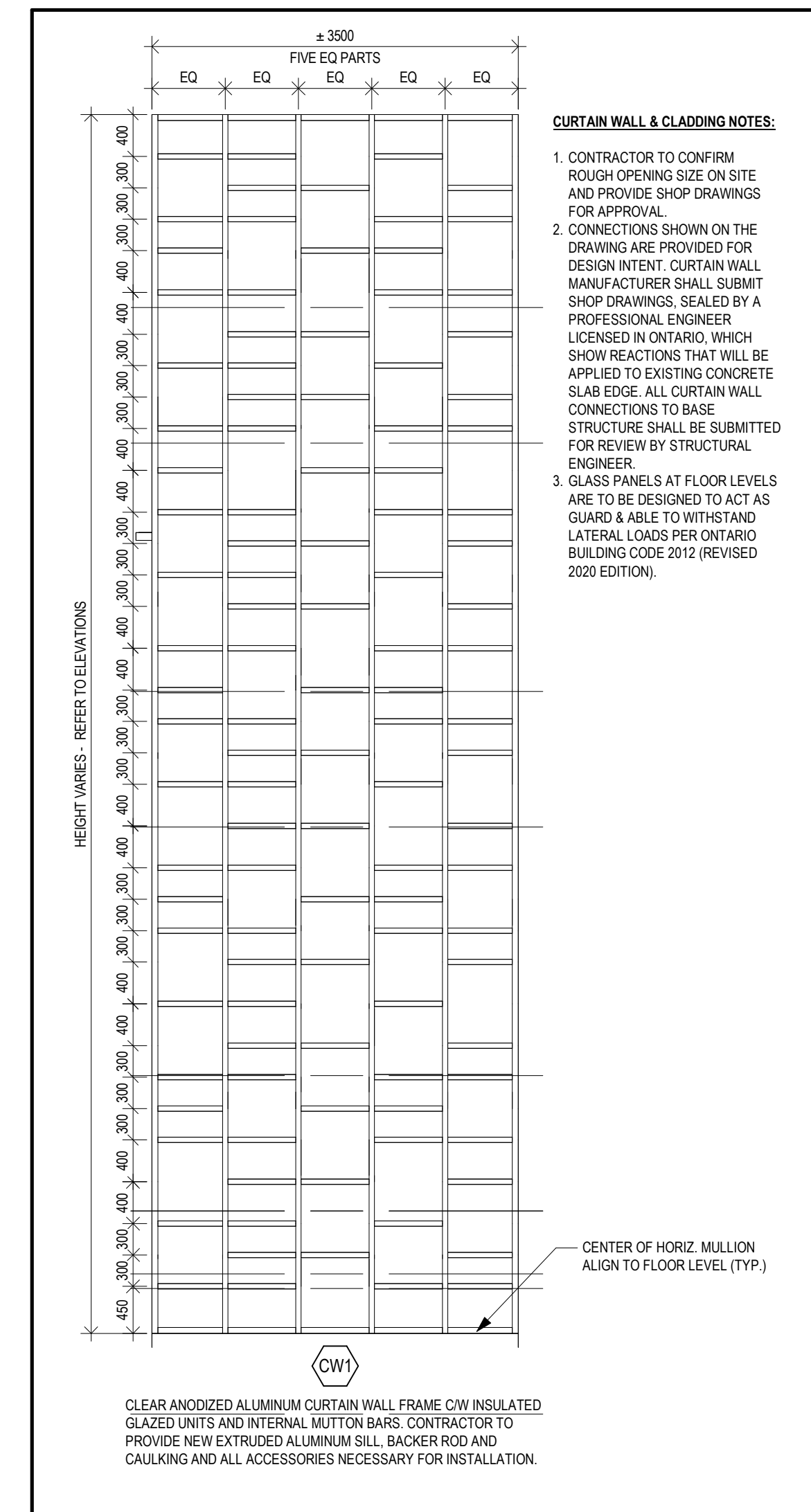
1 SOUTH ELEVATION - WINDOW REPLACEMENT
A301 Scale: 1 : 100



2 EAST ELEVATION - WINDOW REPLACEMENT
A301 Scale: 1 : 100



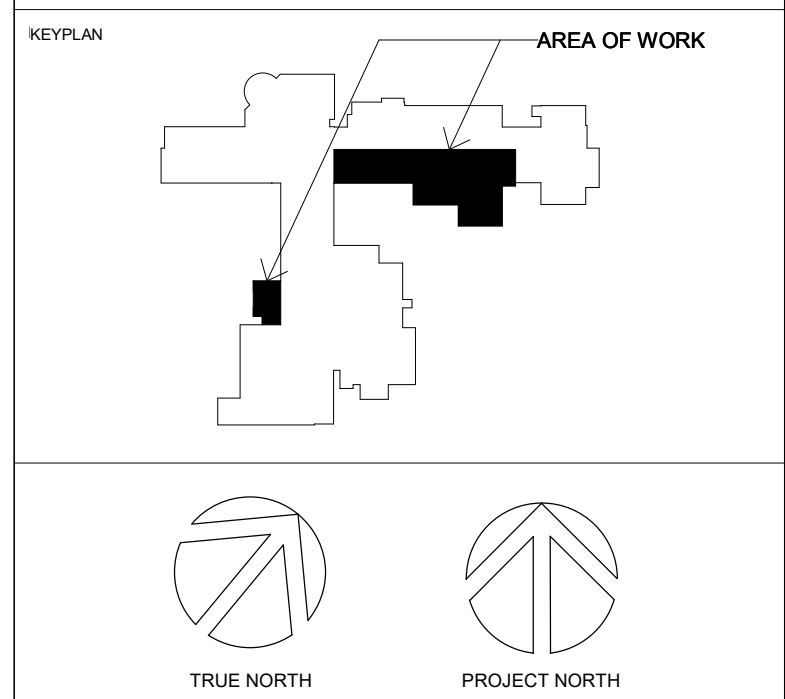
3 WINDOW SCHEDULE
A301 Scale: 1 : 50



4 CURTAINWALL REPLACEMENT
A301 Scale: 1 : 50

WINDOWS - GENERAL NOTES:
CLEAR ANODIZED ALUMINUM w/ SEALED DOUBLE GLAZED UNITS, c/w INSECT SCREEN. ALL GLASS TO BE TEMPERED.
WINDOWS AT GROUND LEVEL TO BE TEMPERED LAMINATED GLASS - DEPICTED WITH HATCH ON ELEVATION. REFER TO SPECIFICATION.
• W1 OPERABLE WINDOW TO BE AWNING TYPE
• W2 OPERABLE WINDOW TO BE HOPPER TYPE
CONTRACTOR TO PROVIDE NEW EXTRUDED ALUMINUM SILL, BACKER ROD, CAULKING & ALL ACCESSORIES NECESSARY FOR INSTALLATION.
CONTRACTOR TO CONFIRM ROUGH OPENING SIZE ON SITE & PROVIDE STAMPED ENGINEERED SHOP DRAWINGS FOR APPROVAL. ALL NEW WINDOWS TO INCLUDE ROLLER SHADES.

CURTAIN WALL & CLADDING NOTES:
1. CONTRACTOR TO CONFIRM ROUGH OPENING SIZE ON SITE AND PROVIDE SHOP DRAWINGS FOR APPROVAL.
2. CONNECTIONS SHOWN ON THE DRAWING ARE PROVIDED FOR DESIGN INTENT. CURTAIN WALL MANUFACTURER SHALL SUBMIT SHOP DRAWINGS, SEALED BY A PROFESSIONAL ENGINEER LICENSED IN ONTARIO, WHICH SHOW REACTIONS THAT WILL BE APPLIED TO EXISTING CONCRETE SLAB EDGE. ALL CURTAIN WALL CONNECTIONS TO BASE STRUCTURE SHALL BE SUBMITTED FOR REVIEW BY STRUCTURAL ENGINEER.
3. GLASS PANELS AT FLOOR LEVELS ARE TO BE DESIGNED TO ACT AS GUARD & ABLE TO WITHSTAND LATERAL LOADS PER ONTARIO BUILDING CODE 2012 (REVISED 2020 EDITION).



No.	ISSUANCE	DATE
1	ISSUED FOR OWNER REVIEW	2022-01-10
2	ISSUED FOR QA	2022-01-20
3	ISSUED FOR OWNER REVIEW	2022-01-26
4	ISSUED FOR BID & PERMIT	2022-02-01

CLIENT
WATERLOO REGION DISTRICT SCHOOL BOARD

PROJECT
WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

TITLE
EXTERIOR ELEVATIONS

WALTERFEDY
KITCHENER HAMILTON 800.685.1378 walterfedy.com

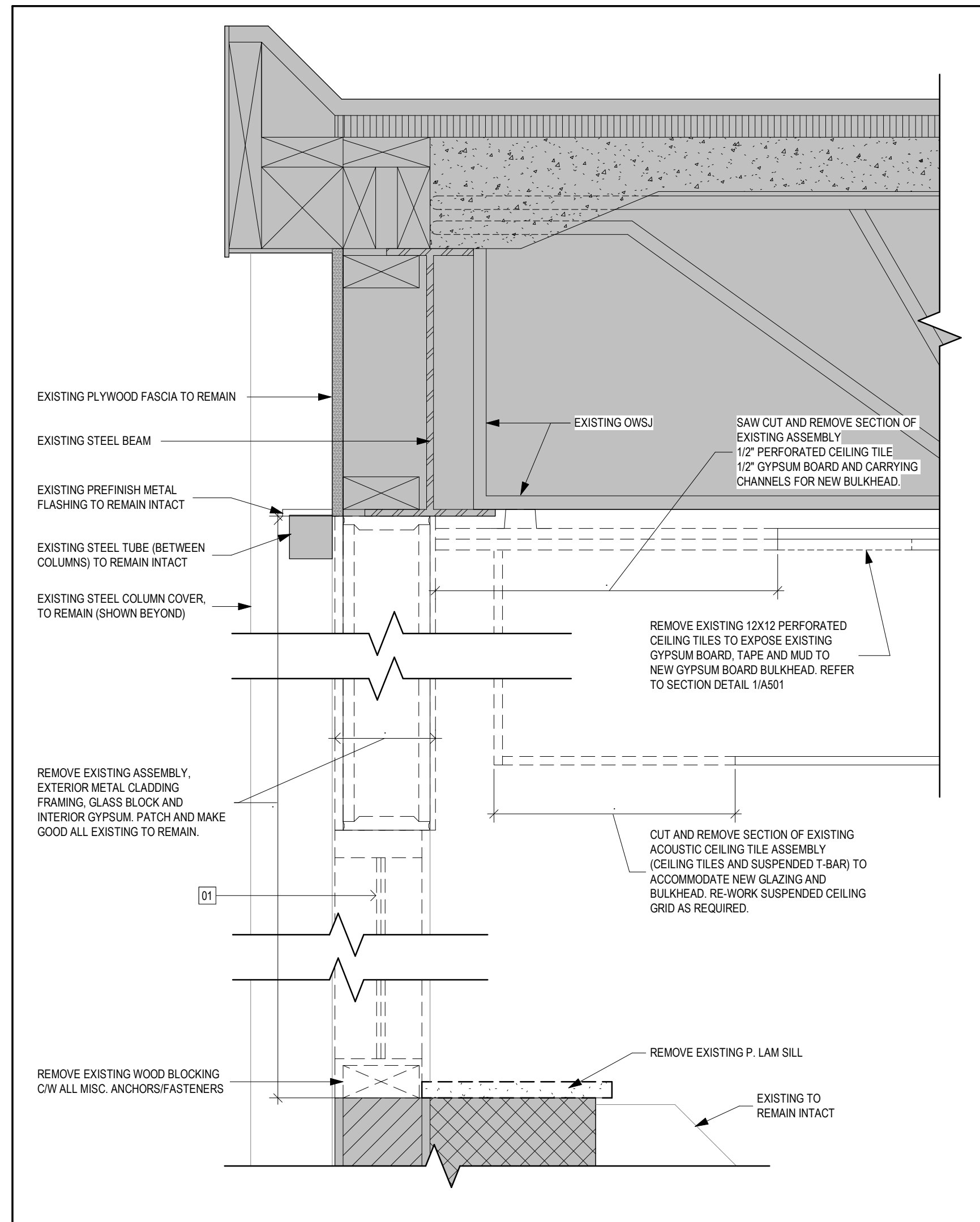


REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS FORBIDDEN. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS TO WALTERFEDY. DO NOT SCALE THIS DRAWING.

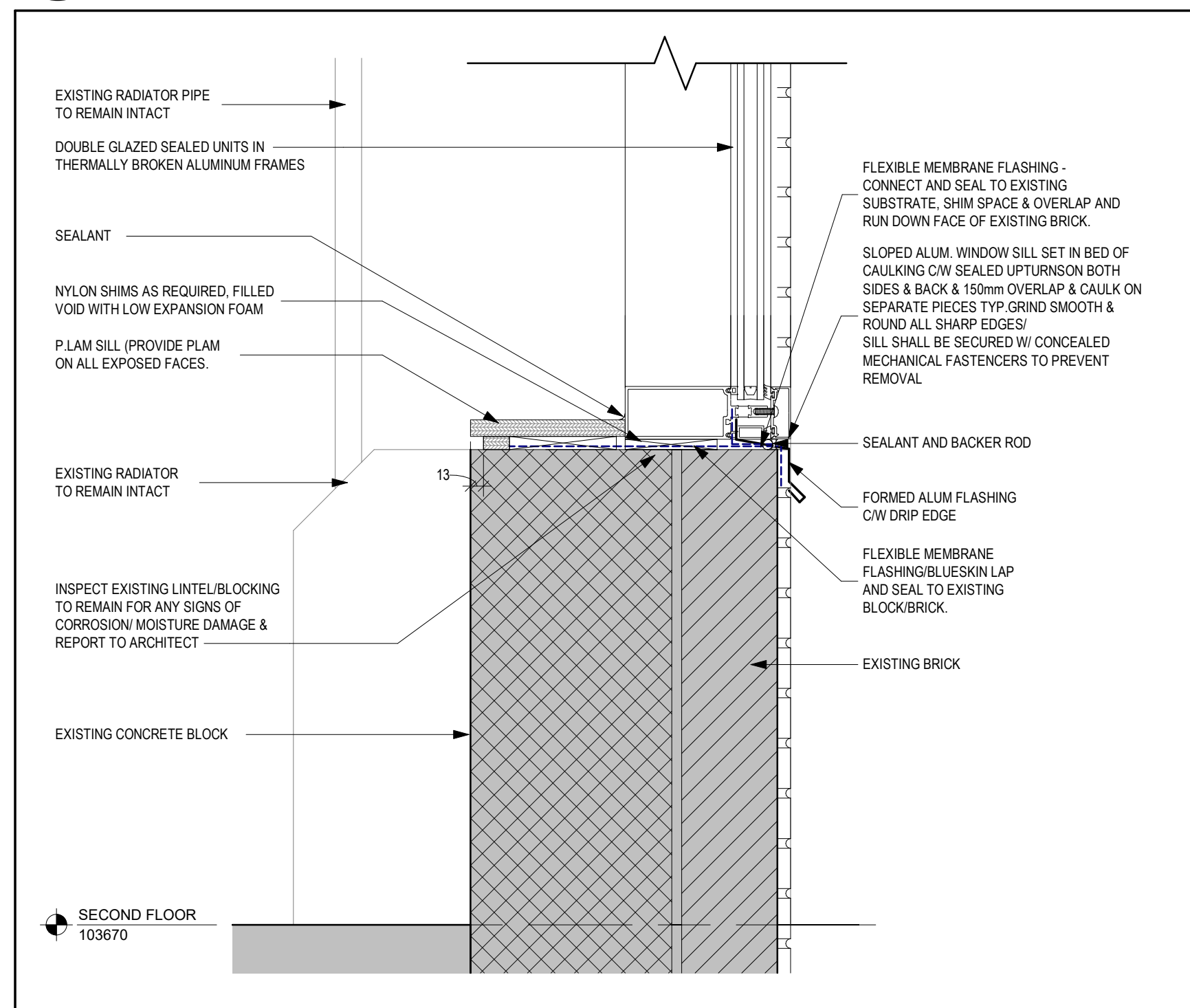
SCALE:	SHEET NO.:
DATE: 2022-01-28	
PROJECT NO: 2020-0735-13	
FILE:	
DRAWN BY: KT	
CHECKED BY: ES	

A301

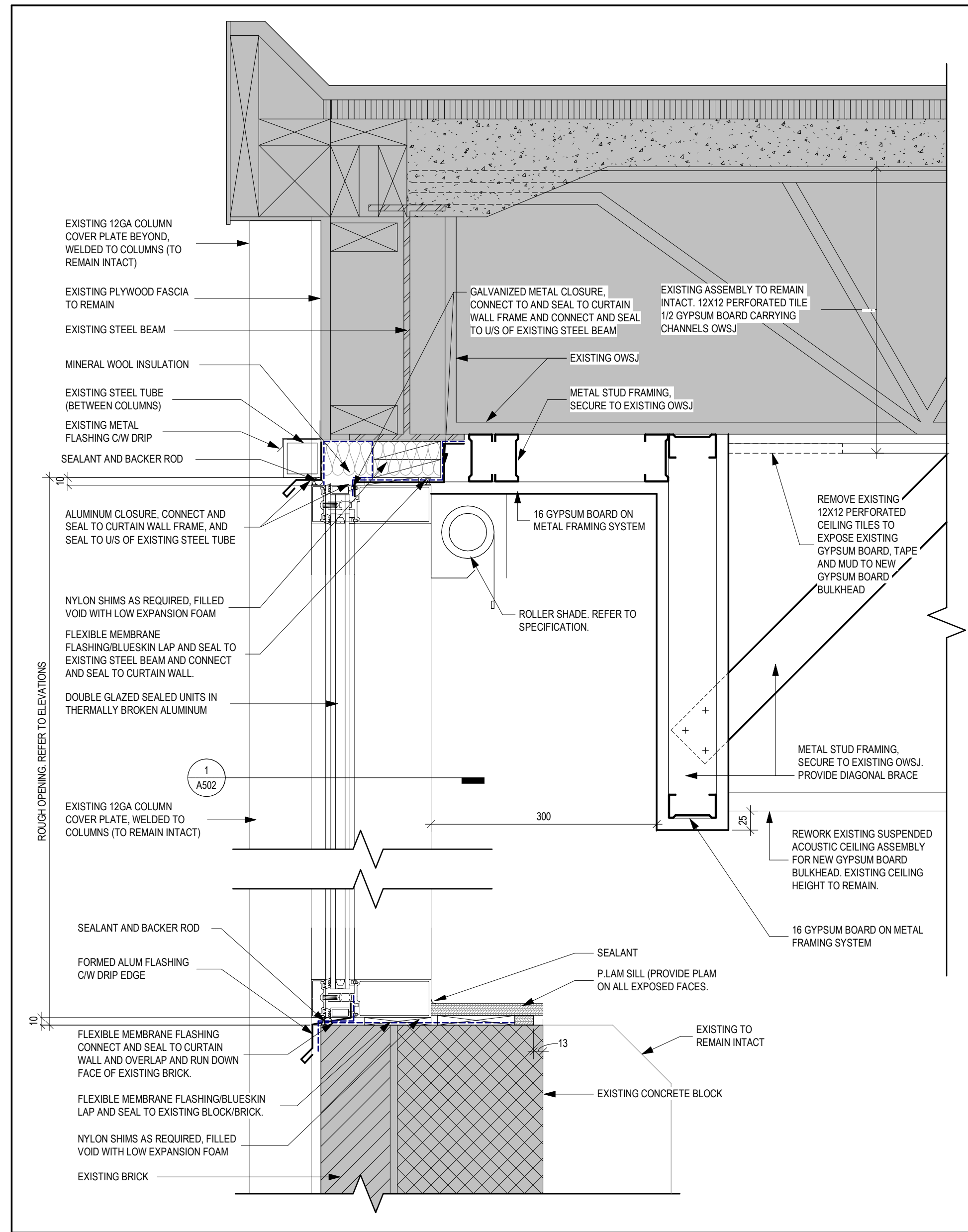
COPYRIGHT © 2021 WalterFedy Inc.



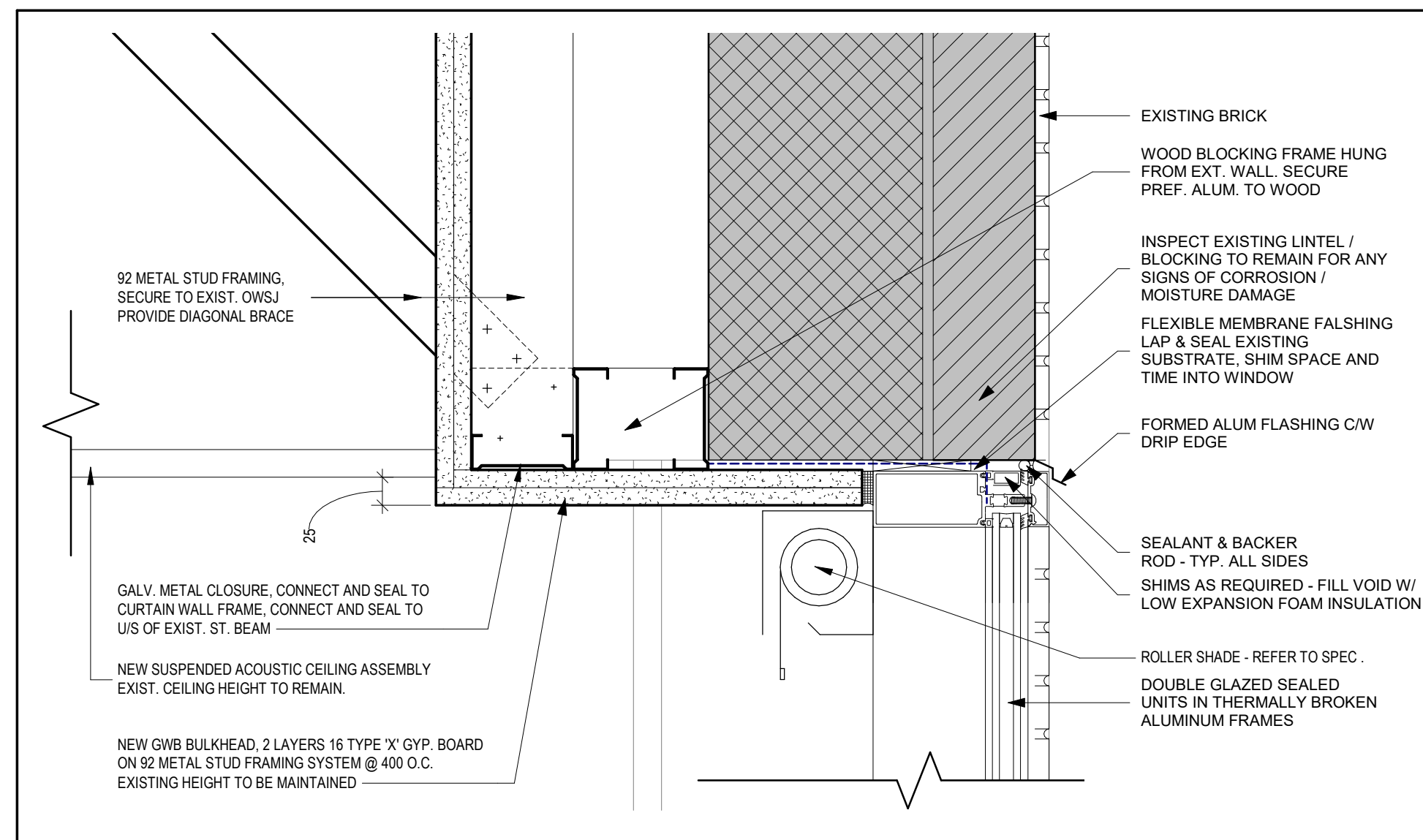
1 SECTION DETAIL - WINDOW DEMOLITION
A501 Scale: 1 : 5



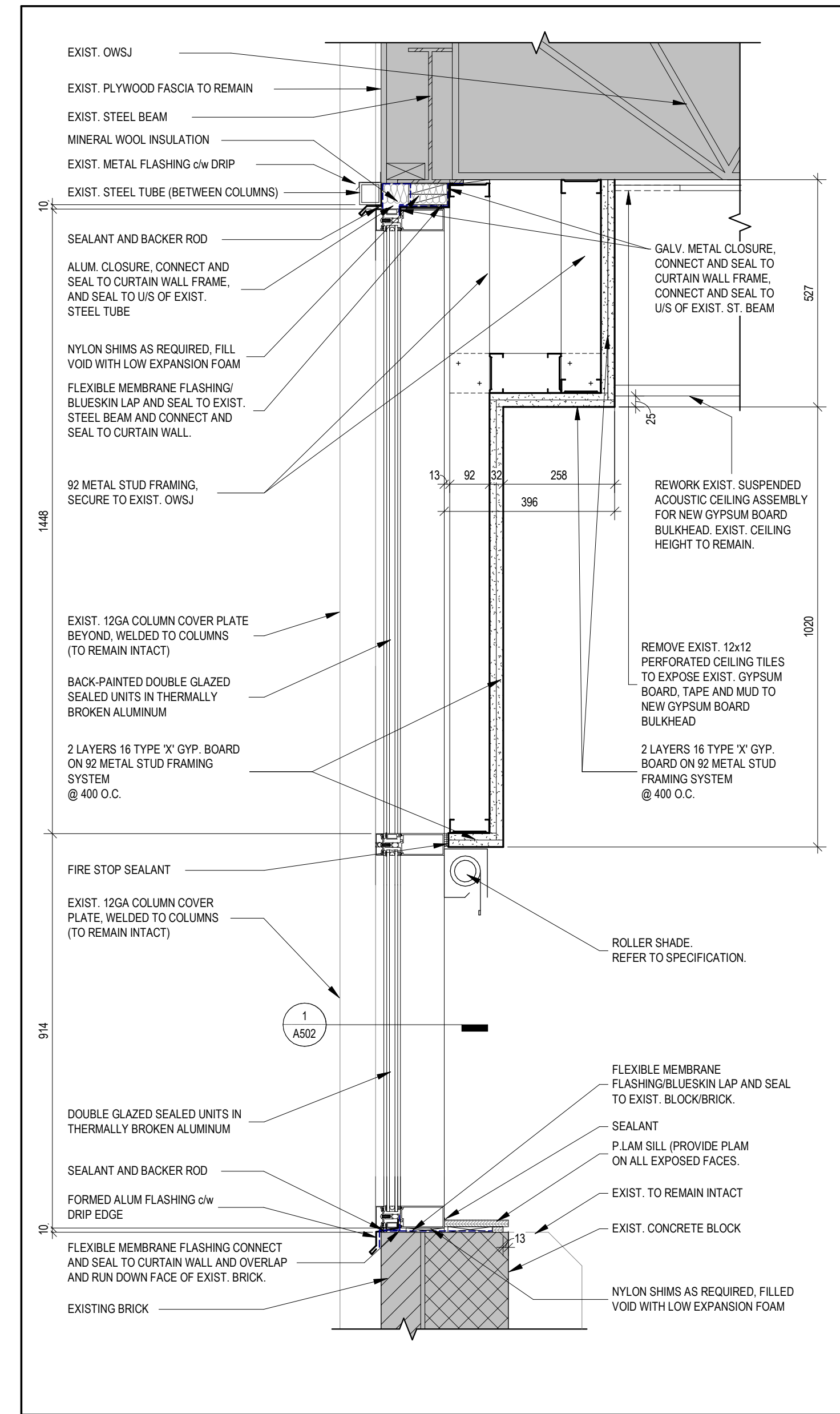
4 SECTION DETAIL - CURTAINWALL SILL
A501 Scale: 1 : 5



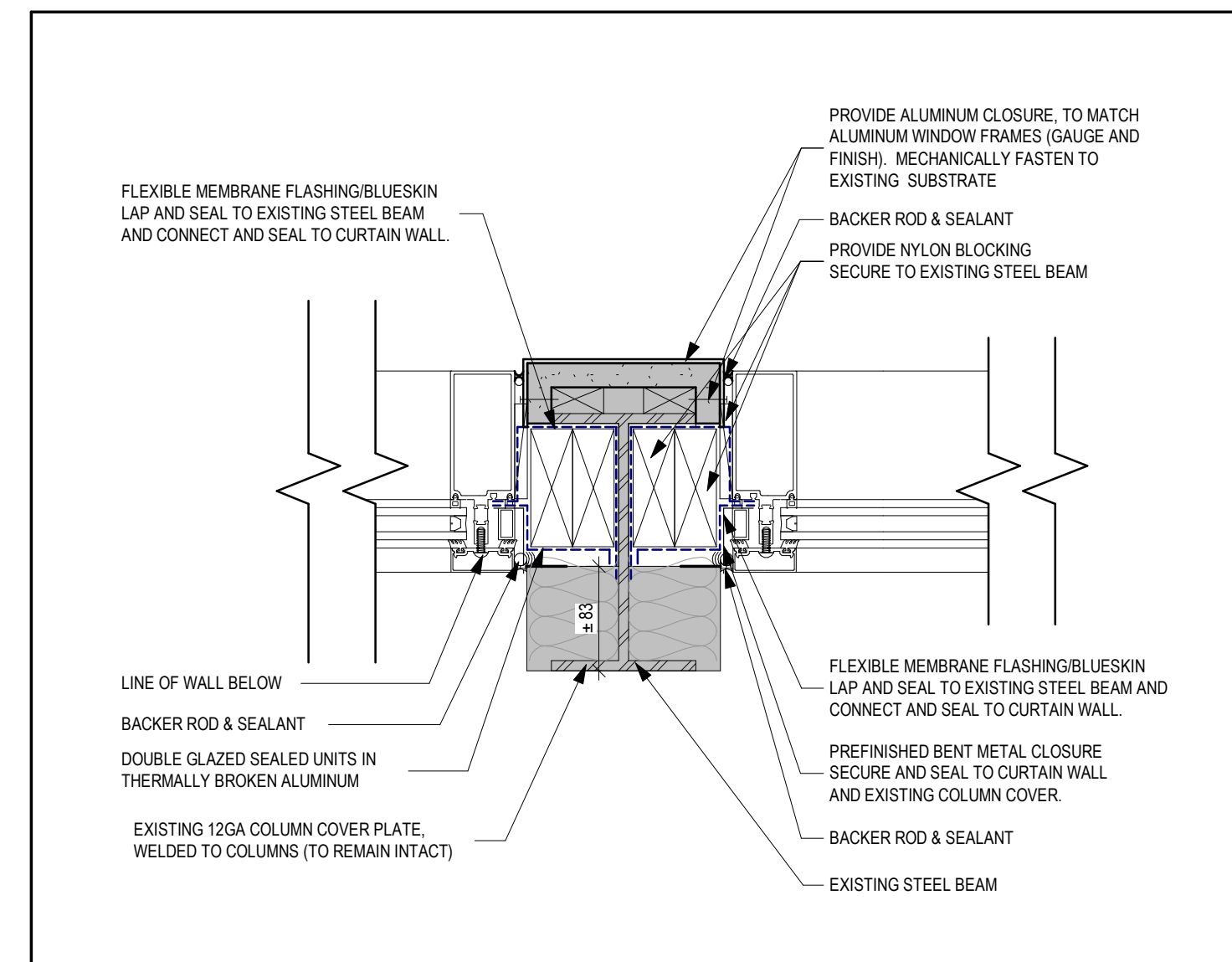
2 SECTION DETAIL - WINDOW REPLACEMENT
A501 Scale: 1 : 5



5 SECTION DETAIL - CURTAINWALL HEAD
A501 Scale: 1 : 5



3 SECTION DETAIL - WINDOW FIRE PROTECTION
A501 Scale: 1 : 10



6 SECTION DETAIL - COLUMN CLOSURE
A501 Scale: 1 : 5

CLIENT LOGO

KEYPLAN

AREA OF WORK

TRUE NORTH

PROJECT NORTH

No.	ISSUANCE	DATE
1	ISSUED FOR OWNER REVIEW	2022-01-10
2	ISSUED FOR QA	2022-01-20
3	ISSUED FOR OWNER REVIEW	2022-01-26
4	ISSUED FOR BID & PERMIT	2022-02-01

CLIENT

WATERLOO REGION DISTRICT SCHOOL BOARD

PROJECT

WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

TITLE

SECTION & PLAN DETAILS

WALTERFEDY

KITCHENER HAMILTON 800.685.1378 walterfedy.com

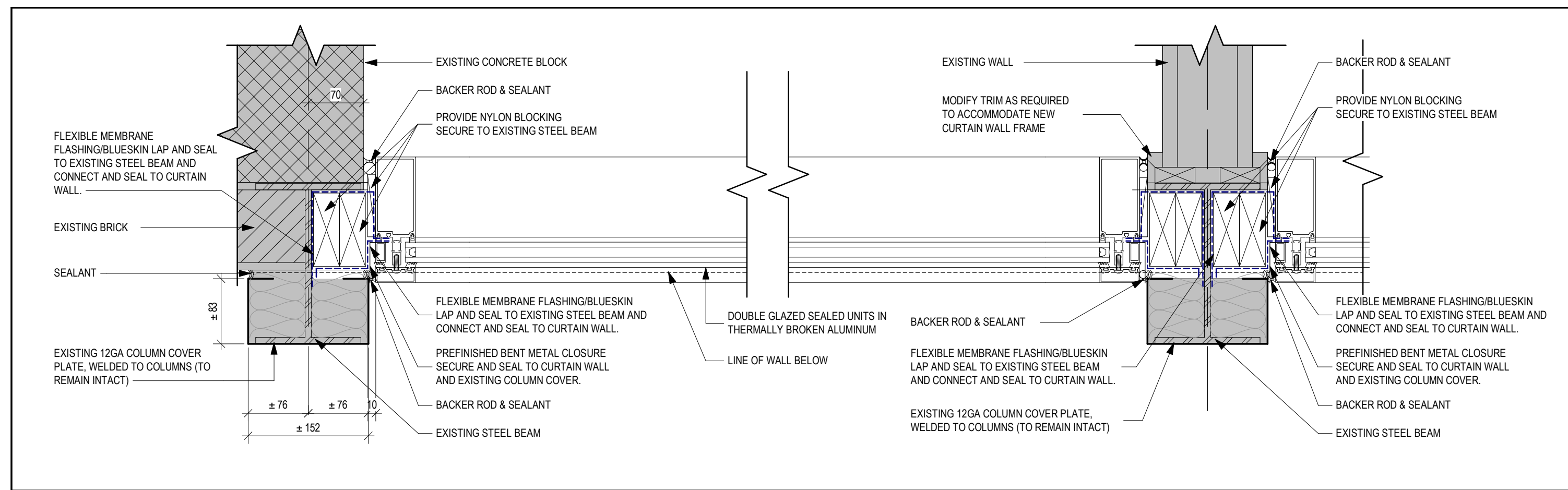
SEAL

REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS FORBIDDEN. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS TO WALTERFEDY. DO NOT SCALE THIS DRAWING.

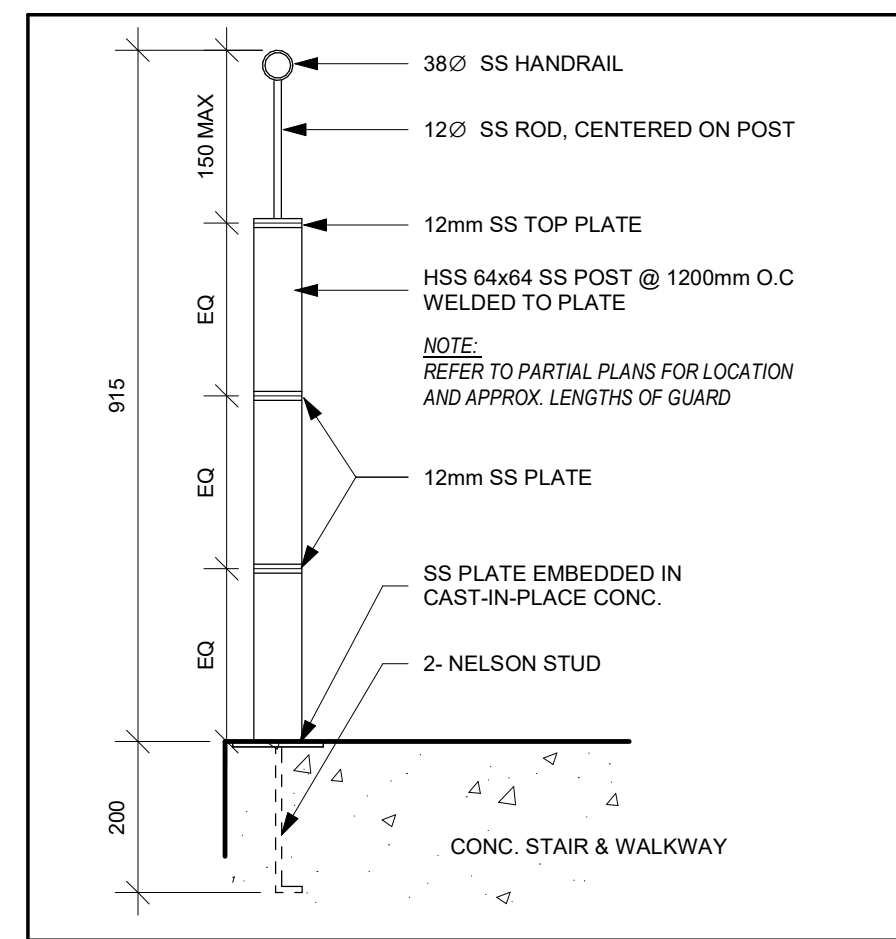
COPYRIGHT © 2021 WalterFedy Inc.

SCALE:	SHEET NO.:
DATE: 2022-01-28	
PROJECT NO.: 2020-0735-13	
FILE:	
DRAWN BY: KT	
CHECKED BY: ES	

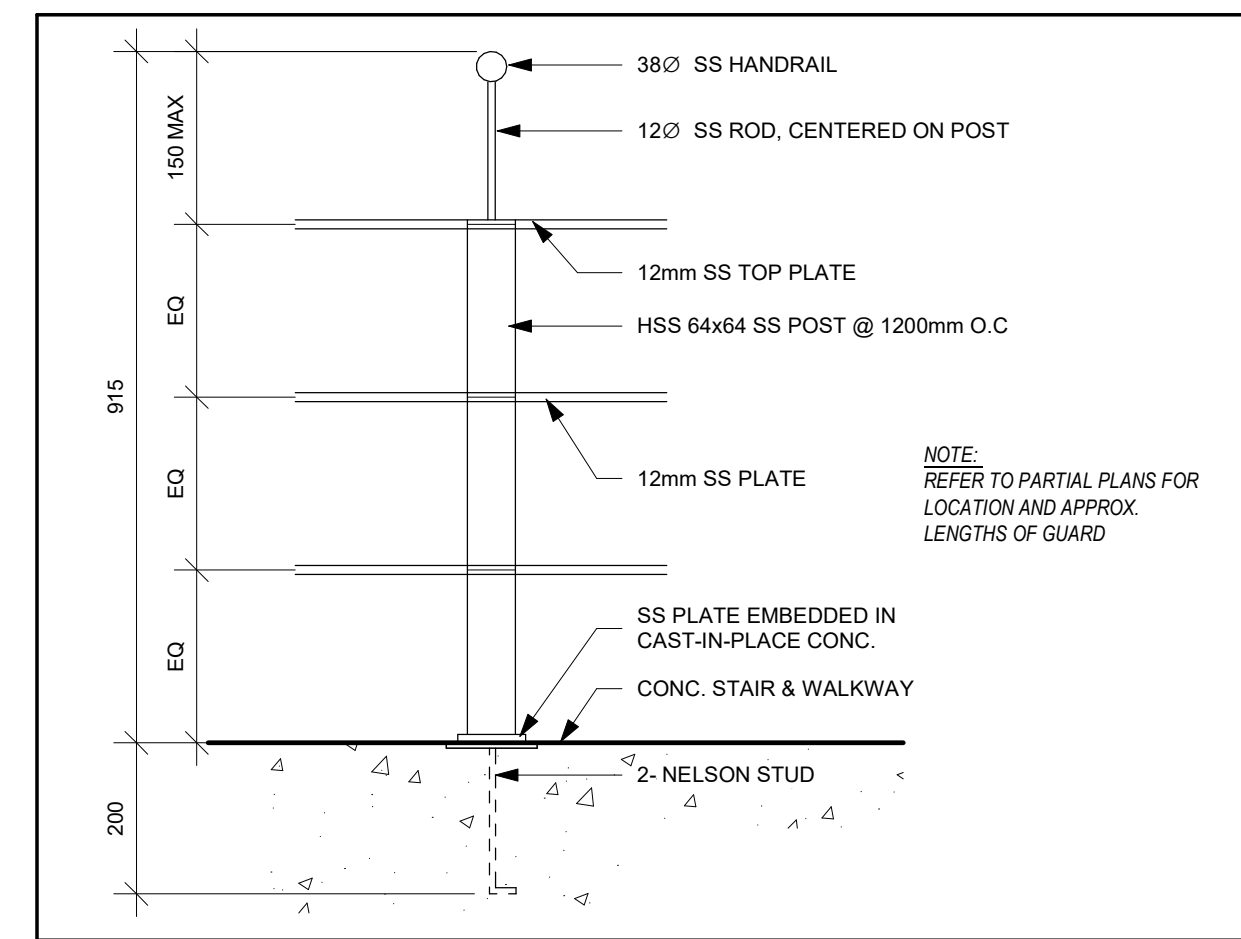
A501



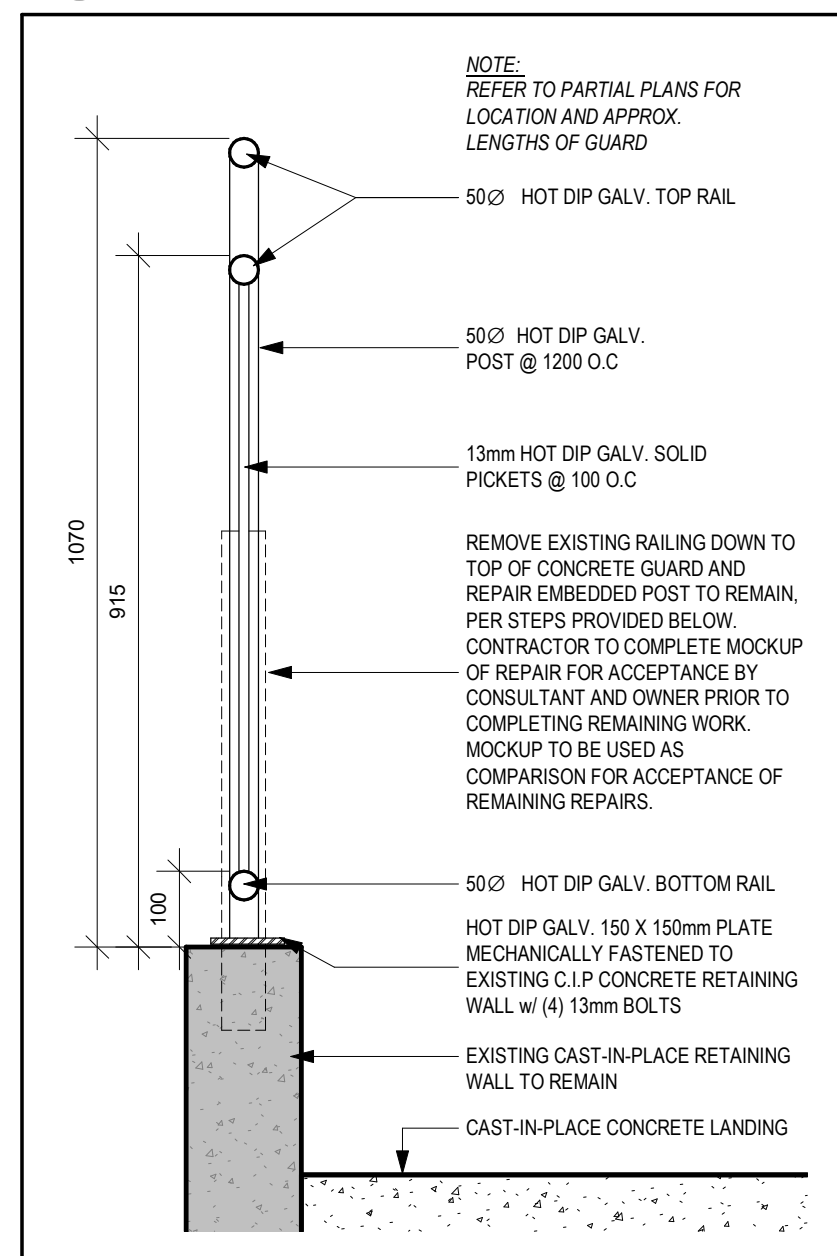
1 PLAN DETAIL - WINDOW REPLACEMENT
A502 Scale: 1 : 5



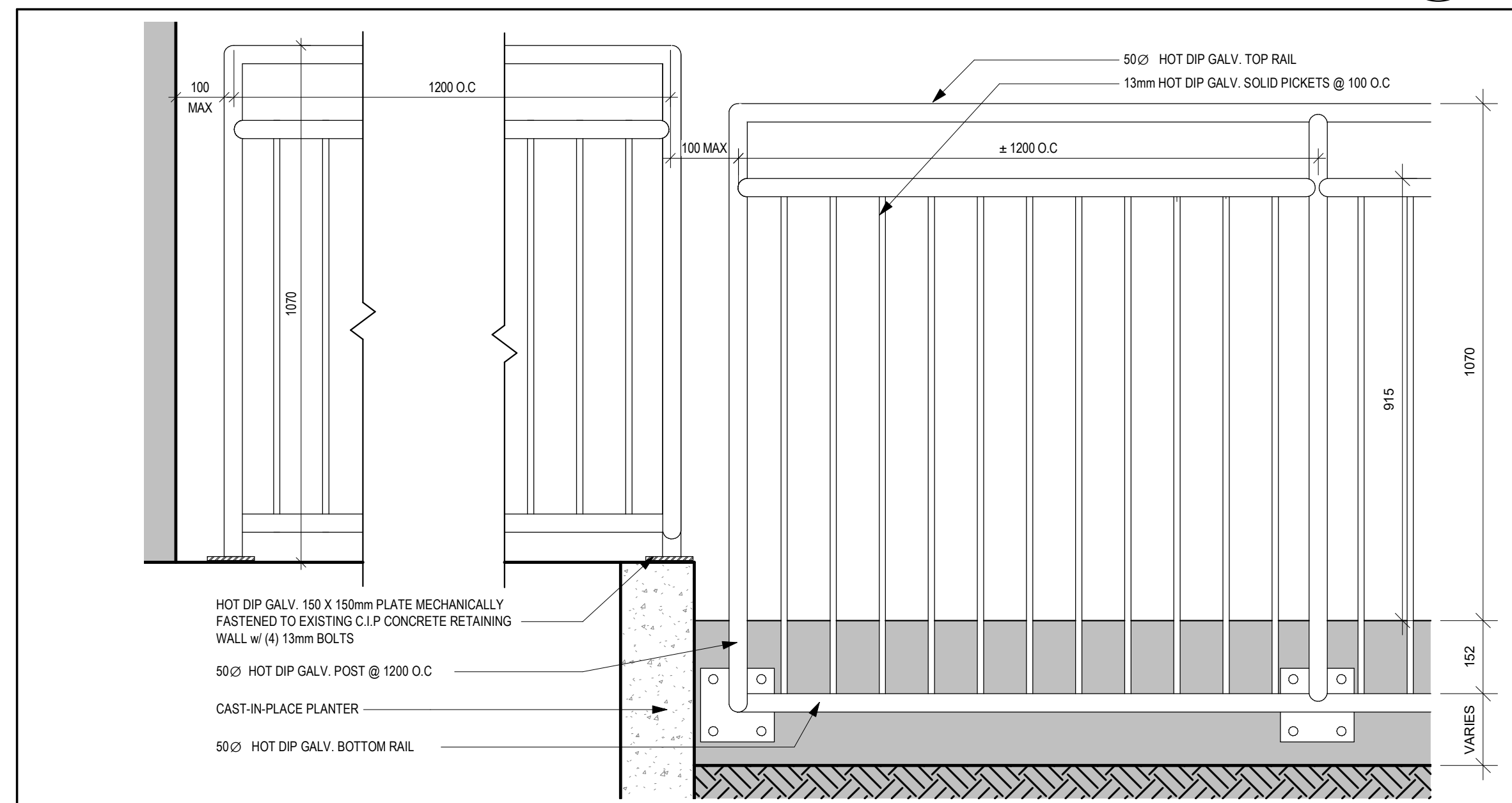
2 SECTION DETAIL - HANDRAIL
A502 Scale: 1 : 10



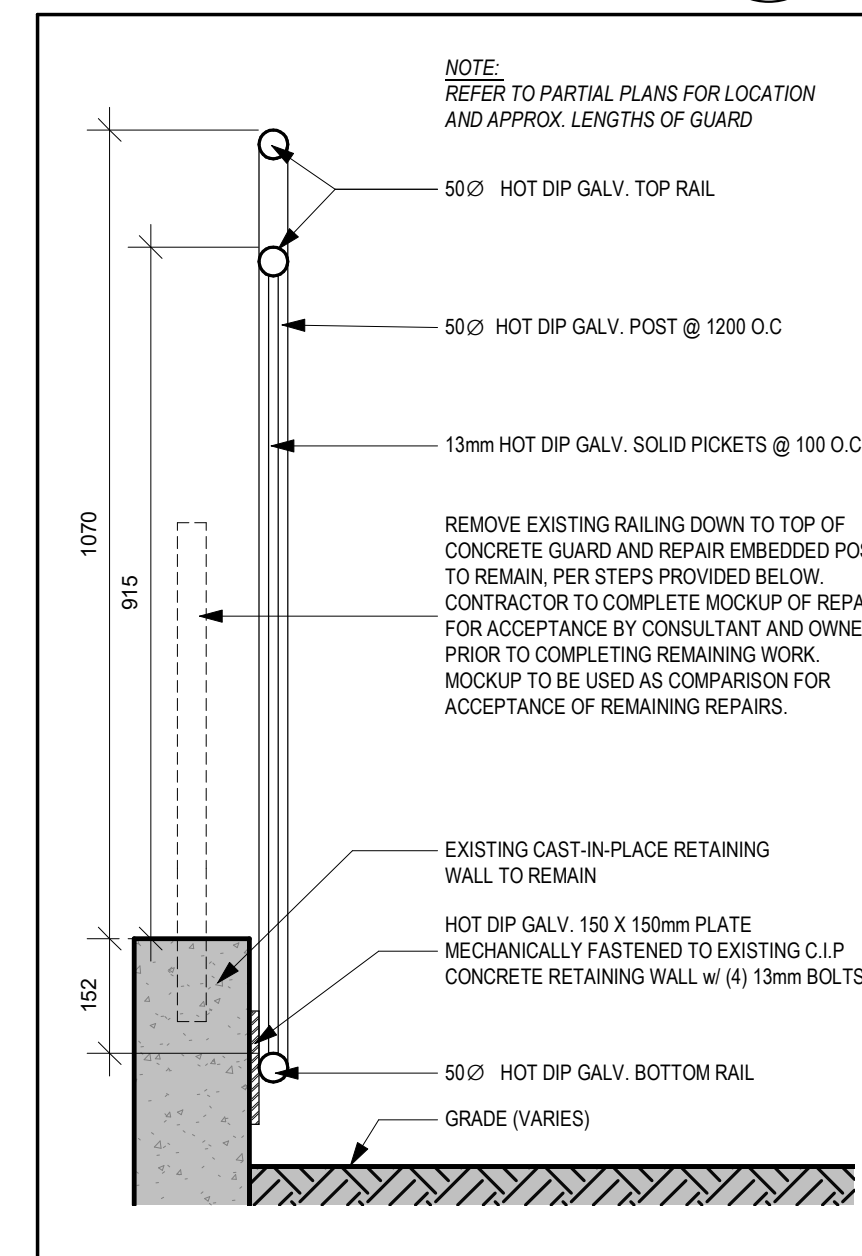
3 ELEVATION DETAIL - HANDRAIL
A502 Scale: 1 : 10



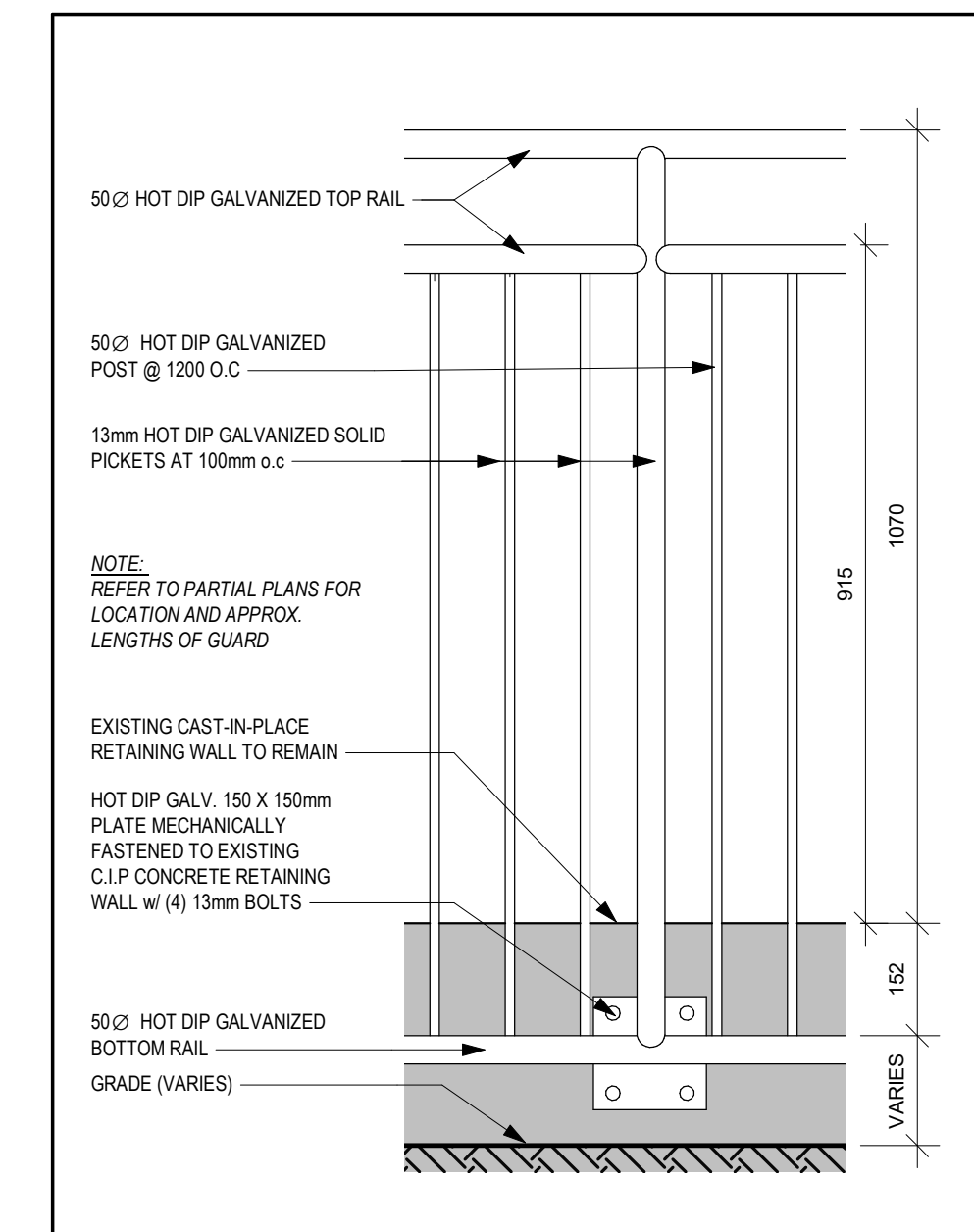
4 SECTION DETAIL - GUARD TYPE 1
A502 Scale: 1 : 10



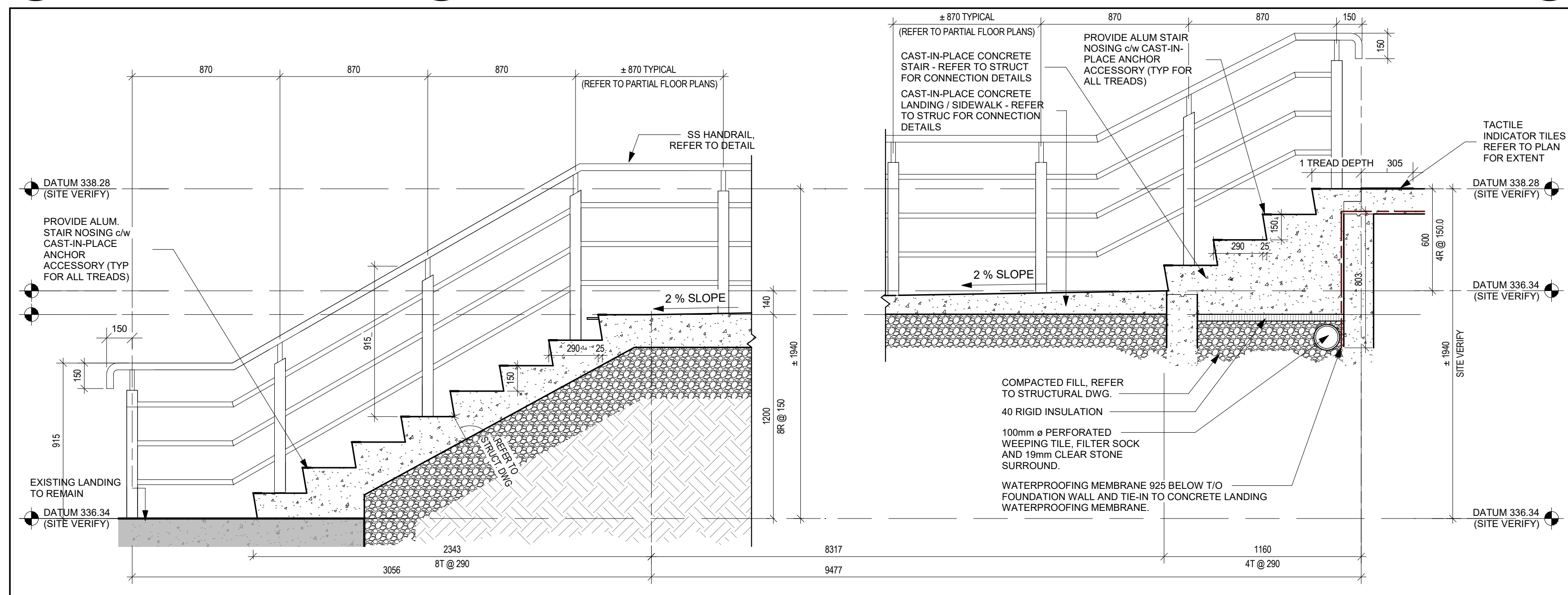
5 ELEVATION DETAIL - GUARD TYPE 1
A502 Scale: 1 : 10



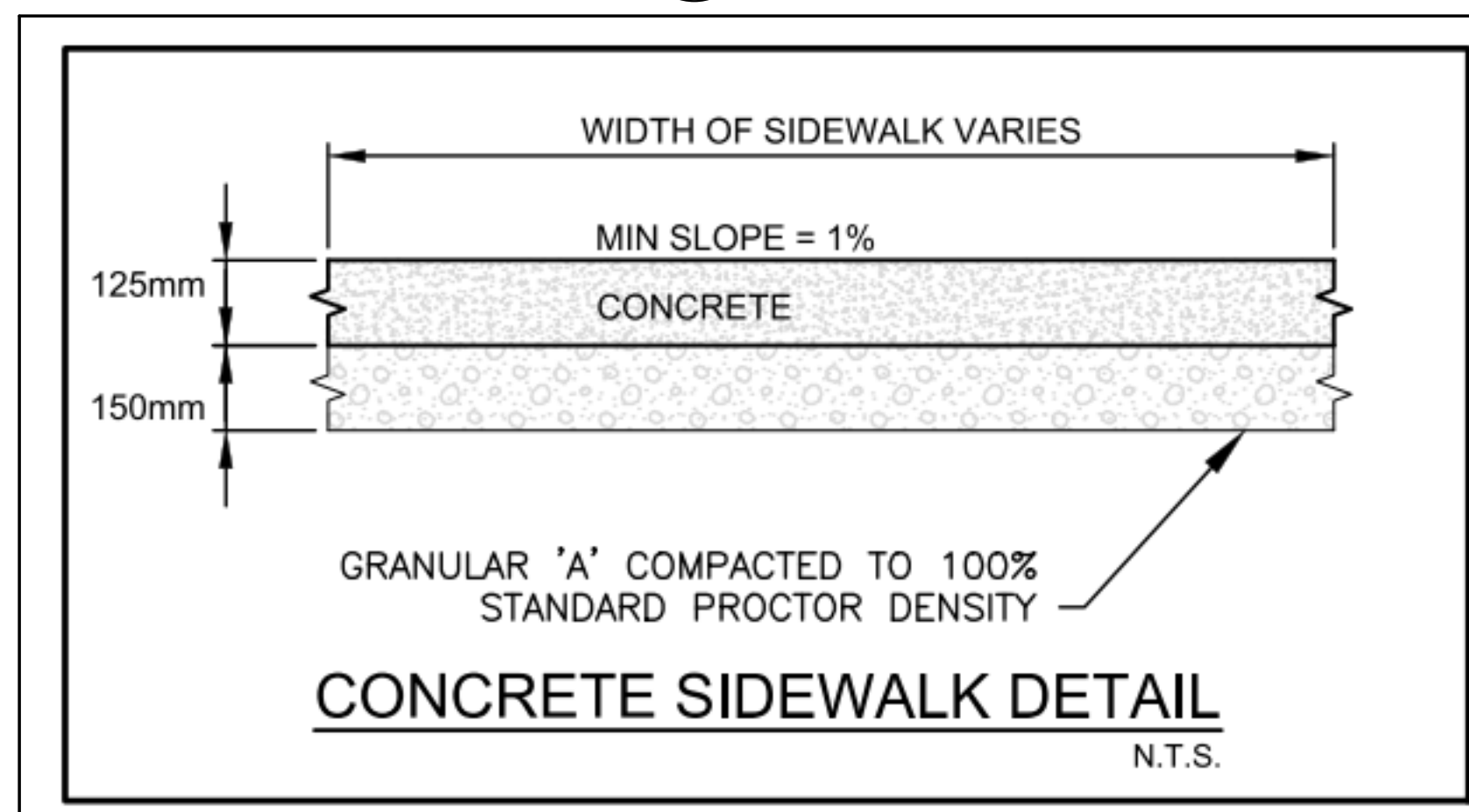
6 SECTION DETAIL - GUARD TYPE 2
A502 Scale: 1 : 10



7 ELEVATION DETAIL - GUARD TYPE 2
A502 Scale: 1 : 10



8 SECTION DETAIL - CAST IN PLACE CONC. STAIRS & HANDRAIL
A502 Scale: 1 : 20



9 TYPICAL CONC. SIDEWALK DETAIL
A502 Scale: N T S

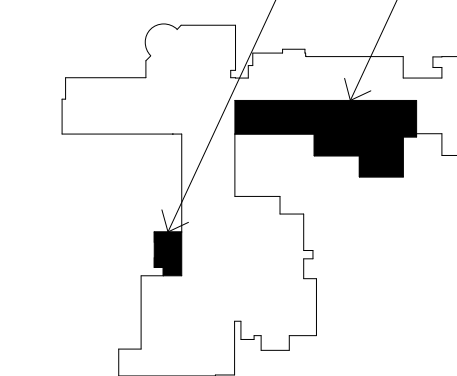
GENERAL STEPS FOR RAILING REPAIR:

1. GRIND AND REMOVE EXISTING POST DOWN TO CONCRETE.
2. REMOVE EXISTING DOWSIL ALL GUARD SILICONE ELASTOMERIC COATING FOR FULL WIDTH OF GUARD AND 3" ALONG THE LENGTH
3. IN EACH DIRECTION AT ALL POST LOCATIONS.
4. GRIND AND CUT STEEL POST 1/4" BELOW TOP OF CONCRETE SURFACE.
5. FILL 8" DEEP POST VOID WITH MASTERBUILDER'S WADOCRETE II THREE PART POLYURETHANE MORTAR.
6. FULLY COAT TOP OF CONCRETE WITH MASTERSEAL 350 EPOXY FULLY SATURATED WITH SILICA SAND GS20 AS PER MANUFACTURER'S INSTRUCTIONS.
7. MANUFACTURER'S INSTRUCTIONS.
8. PREPARE EXISTING COATING FOR 6" LAP OF SILICONE ELASTOMERIC COATING ALL AROUND POST LOCATION.
9. APPLY DOWSIL ALL GUARD SILICONE ELASTOMERIC COATING OVER EPOXY AND LAP ONTO EXISTING COATING PER MANUFACTURER'S INSTRUCTIONS.

CLIENT LOGO



KEYPLAN



No.	ISSUANCE	DATE
1	ISSUED FOR OWNER REVIEW	2022-01-10
2	ISSUED FOR QA	2022-01-20
3	ISSUED FOR OWNER REVIEW	2022-01-26
4	ISSUED FOR BID & PERMIT	2022-02-01

CLIENT
WATERLOO REGION DISTRICT SCHOOL BOARD

PROJECT
WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

TITLE
SECTION & PLAN DETAILS

WALTERFEDY
KITCHENER HAMILTON 800.685.1378 walterfedy.com



REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS FORBIDDEN. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS TO WALTERFEDY. DO NOT SCALE THIS DRAWING.

SCALE:	SHEET NO.:
DATE: 2022-01-28	
PROJECT NO.: 2020-0735-13	
FILE:	
DRAWN BY: KT	
CHECKED BY: ES	

A502

COPYRIGHT © 2021 WalterFedy Inc.

A. GENERAL NOTES

1. MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE 2012 ONTARIO BUILDING CODE AND ANY APPLICABLE ACTS OF THE AUTHORITY HAVING JURISDICTION.
2. CONTRACTORS AND TRADES SHALL BE EXPERIENCED IN THE WORK REQUIRED. WORK SHALL BE COMPLETED IN ACCORDANCE WITH ACCEPTED CONSTRUCTION PRACTICES.
3. READ THE STRUCTURAL DRAWINGS IN CONJUNCTION WITH THE SPECIFICATIONS, AND ALL OTHER CONTRACT DOCUMENTS.
4. THE MOST STRINGENT REQUIREMENT GOVERNS WHERE DISCREPANCIES OCCUR WITHIN THE CONTRACT DOCUMENTS, INCLUDING APPLICABLE CODES, STANDARDS AND ACTS.
5. DO NOT CUT, DRILL OR ALTER STRUCTURAL MEMBERS WITHOUT PERMISSION FROM THE CONSULTANT, UNLESS NOTED ON THE DRAWINGS.
6. THE STRUCTURAL DRAWINGS ARE FOR THE COMPLETED PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, TEMPORARY WORKS AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
7. THE CONTRACTOR IS RESPONSIBLE TO REMOVE AND REINSTATE ANY SURFACE MOUNTED SERVICES AS REQUIRED TO COMPLETE THE WORK. REMOVAL AND REINSTATEMENT OF SERVICES SHALL BE COORDINATED WITH THE OWNER.
8. PROVIDE ALL TEMPORARY SHORING, BRACING, HOARDING AND PROTECTION NECESSARY TO COMPLETE THE WORK AND COMPLY WITH APPLICABLE REGULATIONS. TEMPORARY WORKS TO BE DESIGNED AND INSPECTED BY A PROFESSIONAL ENGINEER WHO IS RETAINED BY THE CONTRACTOR.
9. TEMPORARY SHORING IS SHOWN ON THE STRUCTURAL DRAWINGS ONLY TO PROVIDE LOADING REQUIREMENTS AND CLARIFY SHORING DESIGN INTENT; IF NECESSARY, FOR ALTERATIONS EXPLICITLY SHOWN ON THE STRUCTURAL DRAWINGS. IT DOES NOT REPRESENT A COMPLETE SHORING SYSTEM, NOR ALL THE TEMPORARY WORKS NECESSARY TO COMPLETE CONSTRUCTION OF THE PROJECT.
10. THE CONTRACTOR SHALL COORDINATE WORK TO BE COMPLETED WITH THE OWNER AND THE CONSULTANT PRIOR TO MOBILIZING. THE CONSULTANT MUST BE NOTIFIED OF ANY CHANGES OR DEVIATION FROM THE DRAWINGS.
11. THE CONTRACTOR TO INSTALL FENCING TO DIRECT PEDESTRIAN TRAFFIC SAFELY AROUND WORK AREA ACCORDING TO OCCUPATIONAL HEALTH & SAFETY ACT. REG. 213/91, S.65.
12. EXISTING STRUCTURES AND DIMENSIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE, AND ARE PROVIDED TO CONVEY DESIGN INTENT ONLY. THE DESIGN IS BASED ON THE INFORMATION CONTAINED IN THE RECORD DRAWINGS FOR THE EXISTING, AND ON LIMITED SITE OBSERVATIONS AND MEASUREMENTS. VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING THE WORK. NOTIFY THE CONSULTANT OF ANY DISCREPANCIES OR CONDITIONS ENCOUNTERED THAT COULD POTENTIALLY AFFECT THE WORK, AND OBTAIN DIRECTION BEFORE PROCEEDING.
13. LOCATE ALL EXISTING BURIED UTILITIES AND STRUCTURES. APPROXIMATE LOCATION OF ALL KNOWN EXISTING SERVICES ARE SHOWN ON THE DRAWINGS. REMOVE, RELOCATE OR PROVIDE PROTECTION DURING CONSTRUCTION, AS DIRECTED BY THE CONSULTANT.
14. PROTECT EXISTING STRUCTURES FROM DAMAGE DURING CONSTRUCTION. PATCH AND MAKE GOOD ALL EXISTING BUILDING ELEMENTS DISTURBED OR DAMAGED AS PART OF THE WORK. DOCUMENT PREEXISTING DAMAGE AND DETERIORATION UNRELATED TO THE WORK, INCLUDING FINISHES OF SURFACES, BEFORE STARTING THE WORK.
15. CARRY OUT ALL DEMOLITION, REMOVAL AND DISPOSAL IN ACCORDANCE WITH APPLICABLE PROVINCIAL AND LOCAL REGULATIONS.
16. EXECUTE DEMOLITION IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR ADJACENT STRUCTURES AND FINISHES.
17. ALL DEMOLITION DEBRIS TO BE DISPOSED OFF-SITE.
18. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND MAKE MODIFICATIONS TO SUIT EXISTING SITE CONDITIONS
19. CONTRACTOR TO PROVIDE TEMPORARY PARTITIONS AS REQUIRED TO CONTROL DUST, NOISE AND FUME MIGRATION INTO ADJACENT SPACES.

C. MATERIALS

1. STRUCTURAL CONCRETE:
 - 1.1. CONCRETE: CONFORMING TO CSA A23.1, C-1 EXPOSURE CLASS WITH 35MPa COMPRESSIVE STRENGTH AT 28 DAYS. ADD INTEGRAL CORROSION INHIBITOR TO CONCRETE MIX.
 - 1.2. REINFORCING BARS: CONFORMING TO CSA G30.18, GRADE 400R (OR 400W WHERE WELDING IS REQUIRED). ALL REINFORCING TO BE BLACK STEEL UNLESS NOTED.
 - 1.3. WELDED WIRE REINFORCING: CONFORMING TO ASTM A185/A185M, WITH MINIMUM YIELD STRENGTH OF 450 MPa, OR 386 MPa FOR DIAMETERS LESS THAN MW7.7 (3.1mm). GALVANIZED.
 - 1.4. STEEL ANGLES: CONFORMING TO CSA G40.20/G40.21 GRADE 300W OR BETTER.

G. WATERPROOFING

1. ALL SURFACES TO RECEIVE WATERPROOFING SHALL BE PREPARED UNDER THE STIPULATIONS WITHIN THIS SECTION, AND TO THE SATISFACTION OF THE WATERPROOFING MANUFACTURER. THE CONTRACTOR IS RESPONSIBLE TO ARRANGE A MEETING WITH THE WATERPROOFING MANUFACTURER TO REVIEW EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR IS RESPONSIBLE FOR ARRANGING ONE SITE MEETING WITH THE CONSULTANT AND MANUFACTURERS REPRESENTATIVE TO CREATE A MOCK-UP OF THE WATERPROOFING. THE CONTRACTOR MUST ENSURE THAT THE QUALITY OF THE ENTIRE WATERPROOFING INSTALLATION IS CONSISTENT WITH THE QUALITY OF THE MOCK-UP.
3. REMOVE EXISTING WATERPROOFING SYSTEM ON EXISTING CONCRETE FOUNDATION WALL TO REMAIN TO THE SATISFACTION OF THE CONSULTANT.
3. CONCRETE SURFACES TO RECEIVE WATERPROOFING SHALL BE SOUND AND FREE OF SHARP PROTRUSIONS. THE CONTRACTOR SHALL USE REPAIR METHODS THAT ARE ACCEPTABLE TO THE WATERPROOFING MANUFACTURER.
4. REMOVE ALL DUST, DIRT, GREASE, OR ANY OTHER CONTAMINANTS FROM SURFACES TO RECEIVE WATERPROOFING.
5. CONCRETE SURFACES SHALL BE PREPARED WITH A HIGH PRESSURE WATER BLAST AS A MINIMUM.
6. ENSURE THAT ALL CONCRETE AND/OR REPAIR MATERIALS HAVE ADEQUATELY CURED PRIOR TO WATERPROOFING INSTALLATION.
7. PROVIDE CANT BEADS AT ALL INTERNAL CORNERS OF WATERPROOFED SURFACES PER R205.
8. ROUT AND SEAL CRACKS, CONTROL JOINTS, AND CONSTRUCTION JOINTS ON THE CONCRETE SURFACES TO RECEIVE WATERPROOFING PER THE MANUFACTURER'S RECOMMENDATIONS AND R201/R202a.
9. WATERPROOFING LAPS/TIE-INS SHALL BE A MINIMUM OF 150(6"), UNLESS DIRECTED OTHERWISE BY THE WATERPROOFING MANUFACTURER.
10. PROVIDE WATERPROOFING UPTURNS AT ALL HORIZONTAL TO VERTICAL TRANSITIONS PER R207.

J. STRUCTURAL CONCRETE

1. PERFORM WORK IN ACCORDANCE WITH CSA A23.1 AND CSA A23.3.
2. DO NOT LOAD CONCRETE ELEMENTS UNTIL DESIGN STRENGTH HAS BEEN REACHED.
3. SUPPLY AND PLACEMENT:
 - 3.1. CONCRETE IS SPECIFIED UNDER THE PERFORMANCE ALTERNATIVE, AND RESPONSIBILITIES OF THE CONTRACTOR AND CONCRETE SUPPLIER, ARE AS DEFINED IN CSA A23.1 TABLE 5. THE CONTRACTOR SHALL WORK WITH THE SUPPLIER TO ESTABLISH THE CONCRETE MIX PROPERTIES TO MEET PERFORMANCE CRITERIA FOR PLASTIC AND HARDENED CONCRETE, CONSIDERING THE CONTRACTOR'S CRITERIA FOR CONSTRUCTION AND PLACEMENT AND THE SPECIFIED PERFORMANCE CRITERIA.
 - 3.2. PROTECT CONCRETE FROM FREEZING AND HOT WEATHER IN ACCORDANCE WITH THE COLD AND HOT WEATHER CONCRETE PROCEDURES OF CSA A23.1.
 - 3.3. PLACE CONCRETE IN A MANNER TO MINIMIZE SEGREGATION AND VIBRATE AFTER PLACEMENT.
4. REINFORCING:
 - 4.1. DETAIL AND PLACE REINFORCING STEEL IN ACCORDANCE WITH CSA A23.1, CSA A23.3 AND THE REINFORCING STEEL INSTITUTE OF CANADA MANUAL OF STANDARD PRACTICE.
 - 4.2. PROVIDE REINFORCING BAR EMBEDMENT AND LAP SPLICES IN ACCORDANCE WITH CSA A23.3, AND NOT LESS THAN 300mm FOR WELDED WIRE MESH, 400mm FOR 15M REBARS.
 - 4.3. ALL TENSION LAP SPLICES ARE CLASS B UNLESS NOTED OTHERWISE.
 - 4.4. DETAIL REINFORCING IDENTIFIED AS CONTINUOUS WITH CLASS B TENSION LAP SPLICES, TYPICAL CORNER BARS AT CORNERS AND INTERSECTIONS OF SIMILAR ELEMENTS, AND TERMINATE WITH STANDARD HOOKS.
 - 4.5. REINFORCING LENGTHS, QUANTITIES, SPACING AND SIZES SHOWN IN TYPICAL DETAILS ARE MINIMUM REQUIREMENTS, UNLESS NOTED OTHERWISE.
 - 4.6. TIE AND SECURE ALL REINFORCING IN PLACE USING PURPOSE MADE ACCESSORIES, WITH MAXIMUM SPACING 1200 (48") BETWEEN SUPPORT POINTS, IN ORDER ACHIEVE SPECIFIED COVER AND MAINTAIN POSITION DURING CONCRETE PLACEMENT. PROVIDE SIDE CHAIRS IN ALL VERTICAL ELEMENTS.
 - 4.7. REINFORCING STEEL SHALL BE FREE OF ALL DIRT, FORM OIL, SIGNIFICANT CORROSION, GREASE, AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING CONCRETE.
 - 4.8. DO NOT FIELD-BEND OR FIELD-CUT REINFORCING STEEL UNLESS DETAILED ON THE DRAWINGS OR APPROVED BY THE CONSULTANT.
5. COVER:
 - 5.1. MINIMUM COVER FOR ALL CONCRETE CAST AGAINST EARTH: 75 (3")
 - 5.2. MINIMUM COVER FOR ALL CONCRETE EXPOSED TO EARTH: 50 (2")
6. REPAIR ANY DEFECTS IN HARDENED CONCRETE USING APPROVED METHODS, AND OBTAIN CONSULTANT'S APPROVAL OF FINISHED REPAIR PRIOR TO BACKFILLING OR COVERING.

K. SUBMITTALS

1. SUBMIT SHOP DRAWINGS TO THE CONSULTANT FOR REVIEW PRIOR TO FABRICATION. ALLOW 10 BUSINESS DAYS FOR CONSULTANT'S REVIEW OF SHOP DRAWINGS.
2. SHOP DRAWINGS WILL BE REVIEWED SOLELY TO ASCERTAIN GENERAL CONFORMANCE WITH THE DESIGN CONCEPT. THE CONSULTANT'S REVIEW DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRORS AND OMISSIONS IN THE SHOP DRAWING OR RESPONSIBILITY FOR MEETING THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
3. SHOP DRAWINGS FOR ITEMS WITH DELEGATED DESIGN REQUIREMENTS (DESIGN BY OTHERS) SHALL BE STAMPED BY PROFESSIONAL ENGINEER LICENSED IN ONTARIO.
4. PROVIDE THE FOLLOWING SHOP DRAWING SUBMITTALS AS APPLICABLE:
 - CONCRETE REINFORCING
 - CONCRETE MIX DESIGN
 - INTEGRAL CORROSION INHIBITOR (TYPE, NAME, QUANTITY)
 - SHORING AND BRACING (STAMPED)
 - ARCHITECTURAL STEEL FABRICATIONS (STAMPED)
 - PACKAGED REPAIR MATERIALS (DATA SHEETS)
 - CORROSION INHIBITING COATINGS (DATA SHEETS)
 - ADMIXTURES (DATA SHEETS)
 - CURING COMPOUNDS (DATA SHEETS)
 - STEEL DECK (STAMPED)
5. SUBMIT DOCUMENTATION OF EXISTING CONDITIONS, ESPECIALLY AROUND AREAS OF PREEXISTING DAMAGE AND DETERIORATION UNRELATED TO THE WORK, INCLUDING FINISHES OF SURFACES, PRIOR TO PROCEEDING WITH THE WORK.

L. GENERAL REVIEW

1. WALTERFEDY WILL PERFORM PERIODIC FIELD REVIEWS OF A REPRESENTATIVE SAMPLE OF THE WORK TO CONFIRM THAT THE WORK FOR WHICH WE ARE RESPONSIBLE IS IN GENERAL CONFORMANCE WITH THE DRAWINGS AND SPECIFICATIONS.
2. GENERAL REVIEW OF WORK DESIGNED BY OTHER PROFESSIONAL ENGINEERS FOR DELEGATED DESIGN ITEMS (STAMPED SHOP DRAWINGS) IS TO BE PERFORMED BY THE ENGINEER RESPONSIBLE FOR THAT DESIGN. SUBMIT FIELD REVIEW REPORTS TO THE CONSULTANT.
3. COOPERATE WITH CONSULTANTS RETAINED TO PERFORM FIELD REVIEW. PROVIDE ACCESS AND ASSISTANCE AS REQUIRED FOR THE SAFE PERFORMANCE OF THEIR WORK.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE CONSULTANT REASONABLE NOTICE FOR FIELD REVIEWS, AT LEAST 2 BUSINESS DAYS PRIOR TO CONCEALING OR ATTACHING TO THE WORK. TO ENSURE THAT FIELD REVIEWS OCCUR AT THE APPROPRIATE STAGE OF THE CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE WALTERFEDY WITH A CONSTRUCTION SCHEDULE PRIOR TO STARTING THE WORK, AND GIVE PERIODIC PROGRESS UPDATES.
5. NOTIFY CONSULTANT FOR GENERAL REVIEW AS FOLLOWS:
 - 5.1. AFTER DEMOLITION OF THE EXISTING CONCRETE ON METAL DECK FLOOR SLAB: ALLOW THE CONSULTANT TO VISUALLY REVIEW THE EXISTING STEEL STRUCTURE. SEE PLAN NOTES FOR INTENT.
 - 5.2. PRIOR TO THE INSTALLATION OF THE CONCRETE TOPPING: ALLOW THE CONSULTANT TO VISUALLY EXAMINE THE WATERPROOFING MEMBRANE ONCE COMPLETELY INSTALLED, AND COLLABORATIVELY EXECUTE A 30 MINUTE FLOOD TEST OF THE MEMBRANE.
6. FIELD REVIEW DOES NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR ACCURACY, QUALITY AND CONFORMANCE OF THE WORK WITH THE CONTRACT DOCUMENTS.

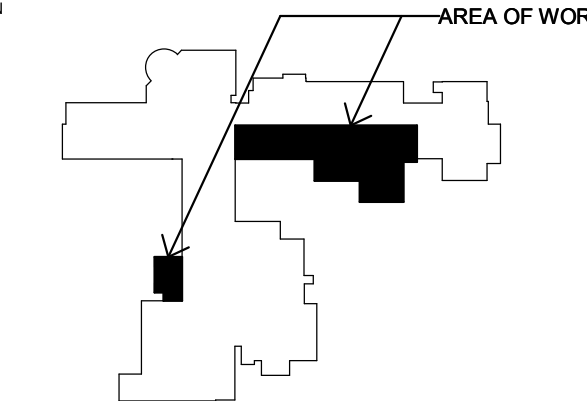
M. TESTING AND INSPECTION

1. AN INDEPENDENT TESTING AND INSPECTION COMPANY WILL BE RETAINED ON BEHALF OF THE OWNER TO PERFORM QUALITY ASSURANCE VERIFICATION OF THE WORK.
2. COORDINATE TESTING AND INSPECTION OF THE WORK, PROVIDE REASONABLE NOTICE FOR INSPECTION TIMES, AND ENSURE COPIES OF ALL INSPECTION REPORTS ARE DISTRIBUTED TO THE CONSULTANT AND OWNER IN A TIMELY MANNER.
3. COOPERATE WITH TESTING AND INSPECTION COMPANIES. PROVIDE ACCESS AND ASSISTANCE AS REQUIRED FOR THE SAFE PERFORMANCE OF THEIR WORK.
4. TESTING AND INSPECTION IS REQUIRED FOR THE FOLLOWING:
 - CONCRETE REINFORCING STEEL PLACEMENT
 - PLASTIC CONCRETE PROPERTIES
 - CONCRETE COMPRESSIVE STRENGTH
 - FLOOD TESTING FOR WATERPROOFING (IN COLLABORATION WITH THE CONSULTANT)
5. TESTING AND INSPECTION DOES NOT RELIEVE THE CONTRACTOR OF THEIR RESPONSIBILITY FOR ACCURACY, QUALITY AND CONFORMANCE OF THE WORK WITH THE CONTRACT DOCUMENTS.

CLIENT LOGO



KEYPLAN



No.	ISSUANCE	DATE
1	ISSUED FOR OWNER REVIEW	2022-01-26
2	ISSUED FOR BID & PERMIT	2022-02-01

CONSULTANT LOGO

CLIENT

WATERLOO REGION DISTRICT SCHOOL BOARD

PROJECT

WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

TITLE

GENERAL NOTES

WALTERFEDY

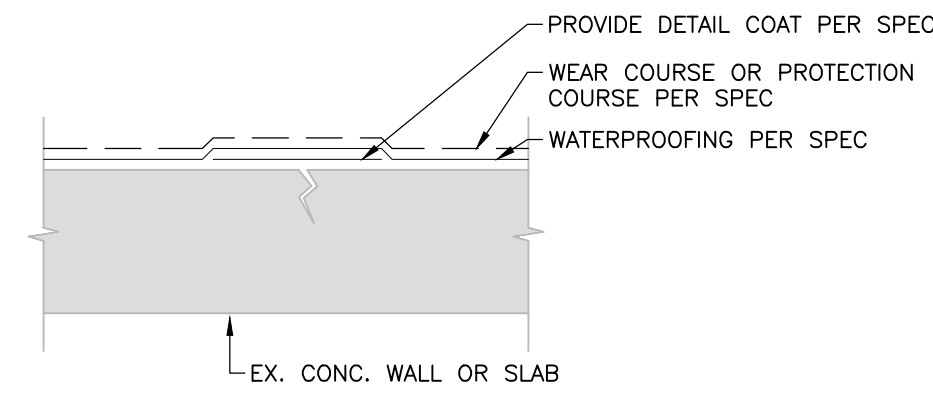
KITCHENER HAMILTON 800.685.1378 walterfedy.com



REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS FORBIDDEN. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS TO WALTERFEDY. DO NOT SCALE THIS DRAWING.

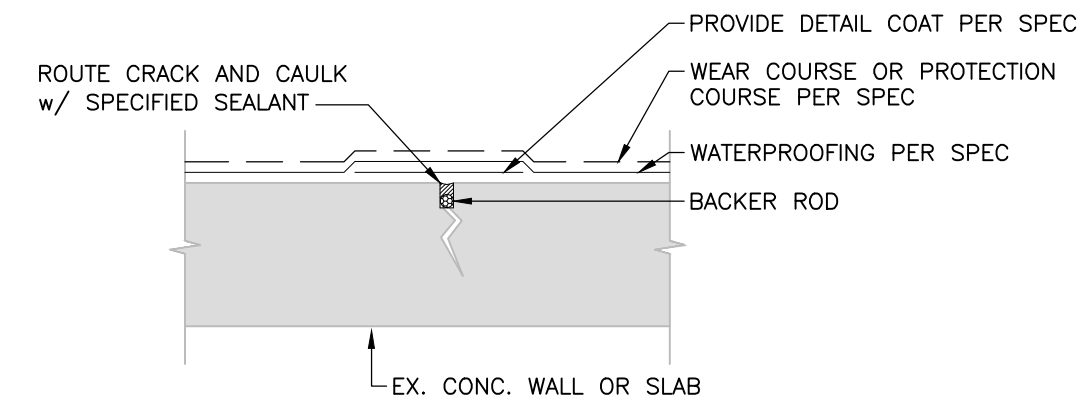
COPYRIGHT © 2021 WalterFedy Inc.

SCALE:	AS NOTED	SHEET NO:	S0-1
DATE:	2022-02-01		
PROJECT NO :	2020-0735-13		
FILE:			
DRAWN BY :	KP		
CHECKED BY :			



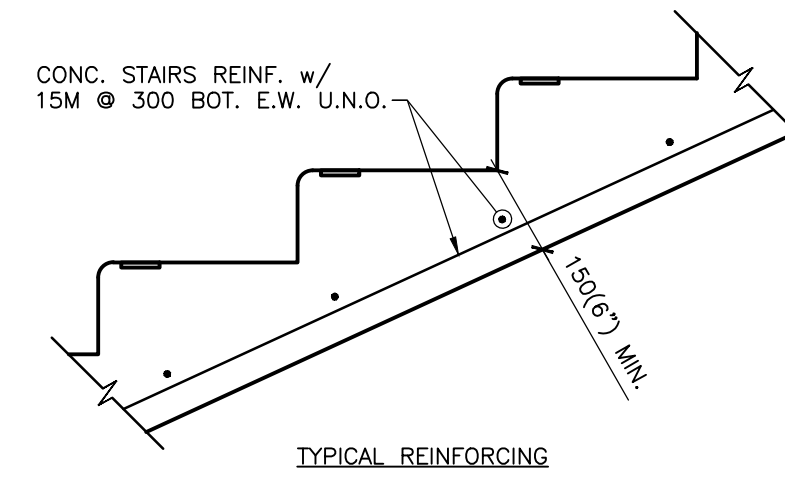
NOTES
1. THOROUGHLY CLEAN AND PREPARE SURFACES TO RECEIVE WATERPROOFING PER SPECIFICATIONS.

WATERPROOFING AT CRACKS LESS THAN 1/16" R201



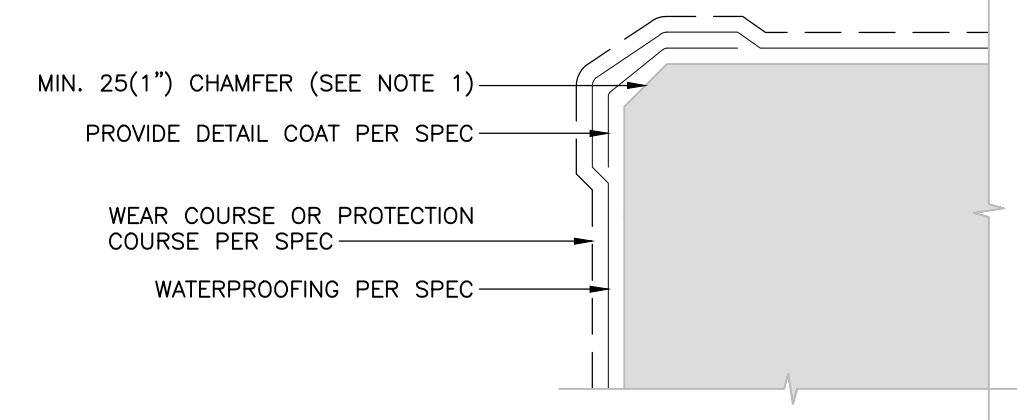
NOTES
1. CRACKS TO BE ROUTED A MINIMUM OF 6(1/4") WIDE BY 13(1/2") DEEP.
2. THOROUGHLY CLEAN AND PREPARE SURFACES TO RECEIVE WATERPROOFING PER SPECIFICATIONS.

WATERPROOFING AT CRACKS GREATER THAN 1/16" R202a



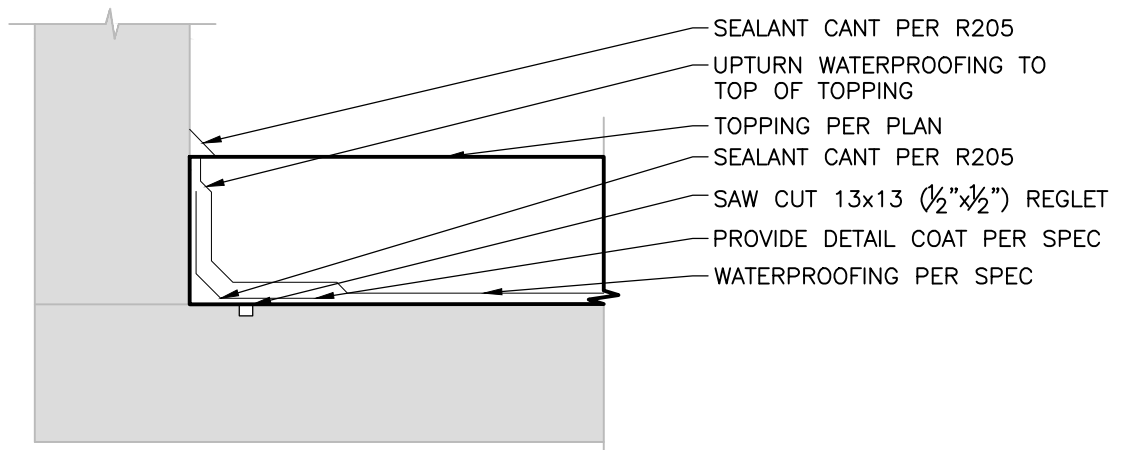
NOTES
1. REFER TO ARCHITECTURE FOR STAIRS NOT SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS.

EXTERIOR STAIRS ON GRADE C711



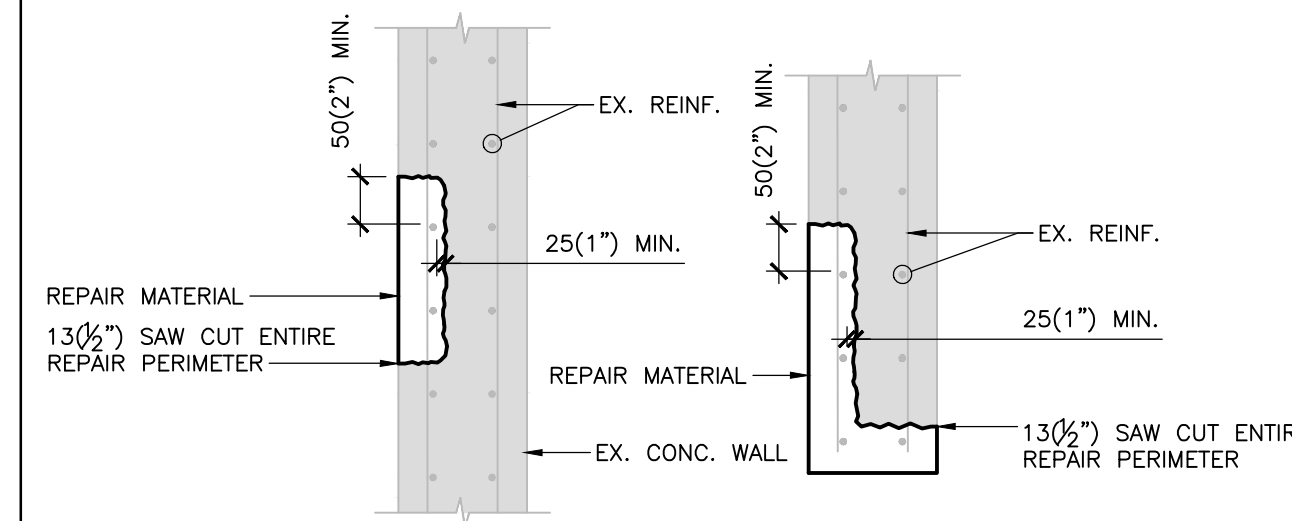
NOTES
1. FOR EXISTING CONCRETE, GRIND SPECIFIED CHAMFERS. WHERE NEW CONCRETE IS SPECIFIED, PROVIDE FORMED CHAMFERS.
2. THOROUGHLY CLEAN AND PREPARE SURFACES TO RECEIVE WATERPROOFING PER SPECIFICATIONS.
3. THIS DETAIL APPLIES TO OUTSIDE CORNERS FOR BOTH VERTICAL AND HORIZONTAL APPLICATIONS.

OUTSIDE CORNERS R203a



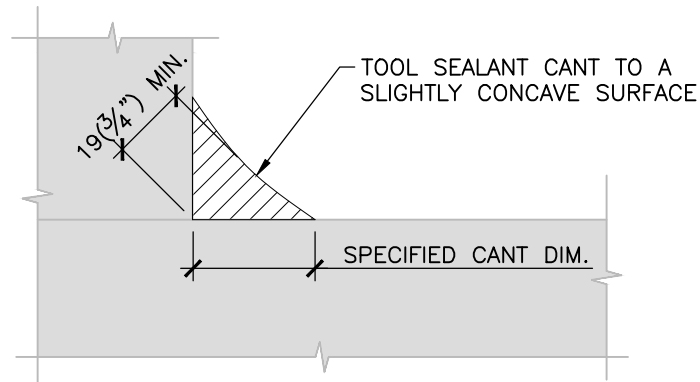
NOTES
1. THOROUGHLY CLEAN AND PREPARE SURFACES TO RECEIVE WATERPROOFING PER SPECIFICATIONS.
2. THIS DETAIL APPLIES TO ALL DECK TO VERTICAL TRANSITIONS WHERE WATERPROOFING IS SPECIFIED, SUCH AS WALLS, COLUMNS, CURBS, ETC.

WATERPROOFING UPTURNS R207



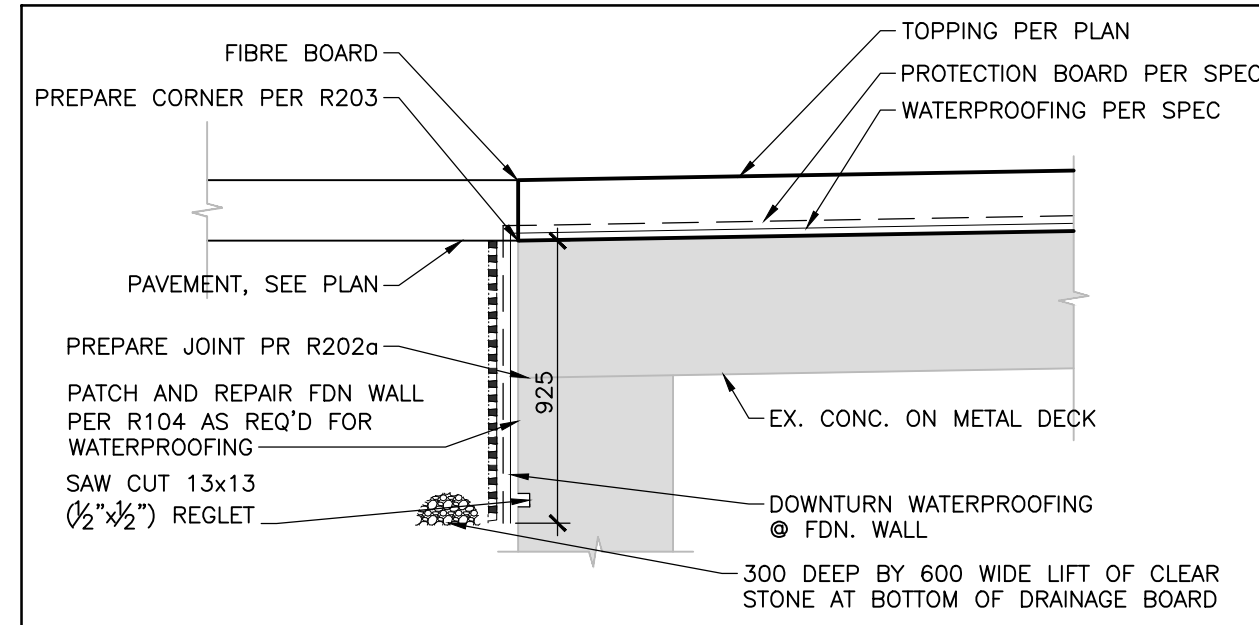
NOTES
1. DETAIL TO BE READ IN CONJUNCTION WITH CONCRETE REPAIR PROCEDURE.

WALL DELAMINATION REPAIR R104

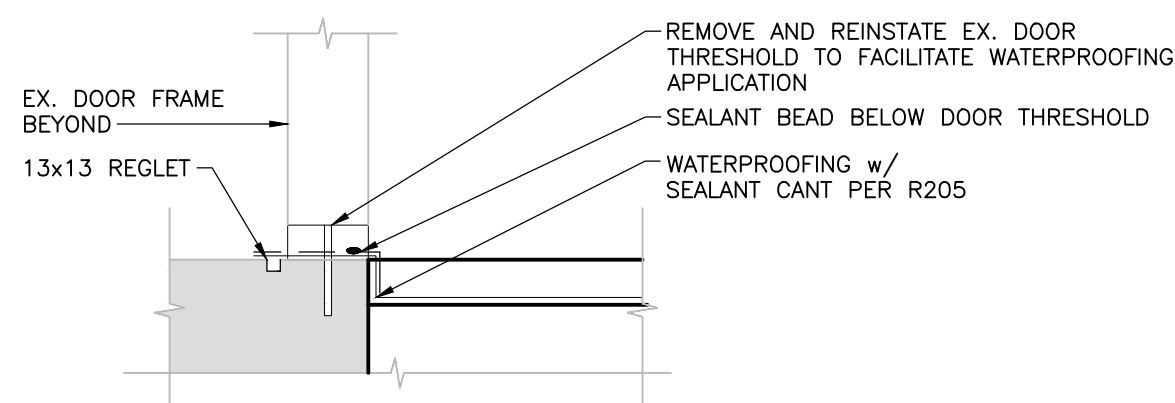


NOTES
1. REMOVE EXISTING SEALANT (IF PRESENT).
2. THOROUGHLY CLEAN AND PREPARE SURFACES TO RECEIVE SEALANT CANT PER SPECIFICATIONS.

SEALANT CANT BEAD R205

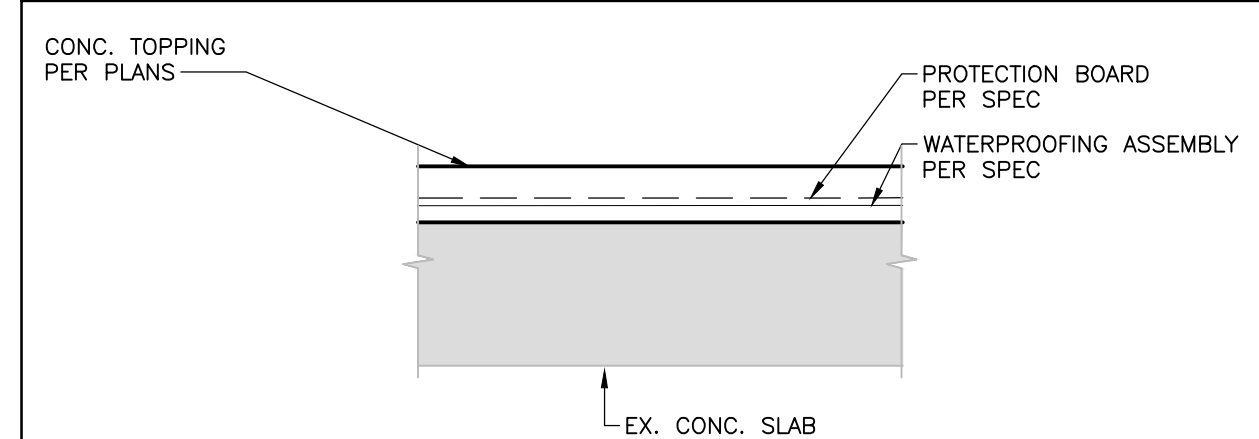


TYPICAL WATERPROOFING DOWNTURNS R209a



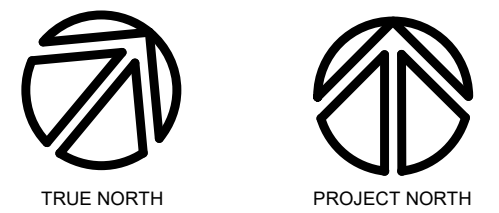
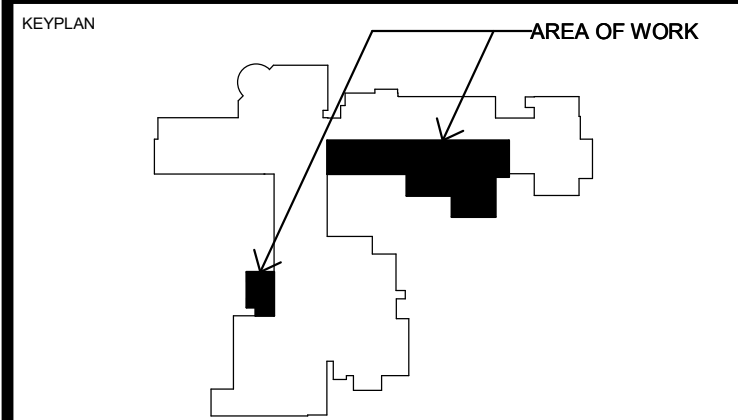
NOTES
1. THOROUGHLY CLEAN AND PREPARE SURFACES TO RECEIVE WATERPROOFING PER SPECIFICATIONS.

WATERPROOFING AT DOOR THRESHOLDS R211



NOTES
1. FULLY REMOVE EXISTING WATERPROOFING WHERE SHOWN ON PLAN, INCLUDING UPTURNS (IF ANY).
2. PROTECT EXISTING WATERPROOFING TO REMAIN ADJACENT TO THE WORK (IF ANY).
3. THOROUGHLY CLEAN AND PREPARE SURFACES TO RECEIVE WATERPROOFING.

COLD FLUID APPLIED WATERPROOFING (CONCRETE TOPPING) R309a



No.	ISSUANCE	DATE
1	ISSUED FOR OWNER REVIEW	2022-01-26
2	ISSUED FOR BID & PERMIT	2022-02-01

CONSULTANT LOGO

CLIENT
WATERLOO REGION DISTRICT SCHOOL BOARD

PROJECT
WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

TITLE
TYPICAL DETAILS

WALTERFEDY
KITCHENER HAMILTON 800.685.1378 walterfedy.com

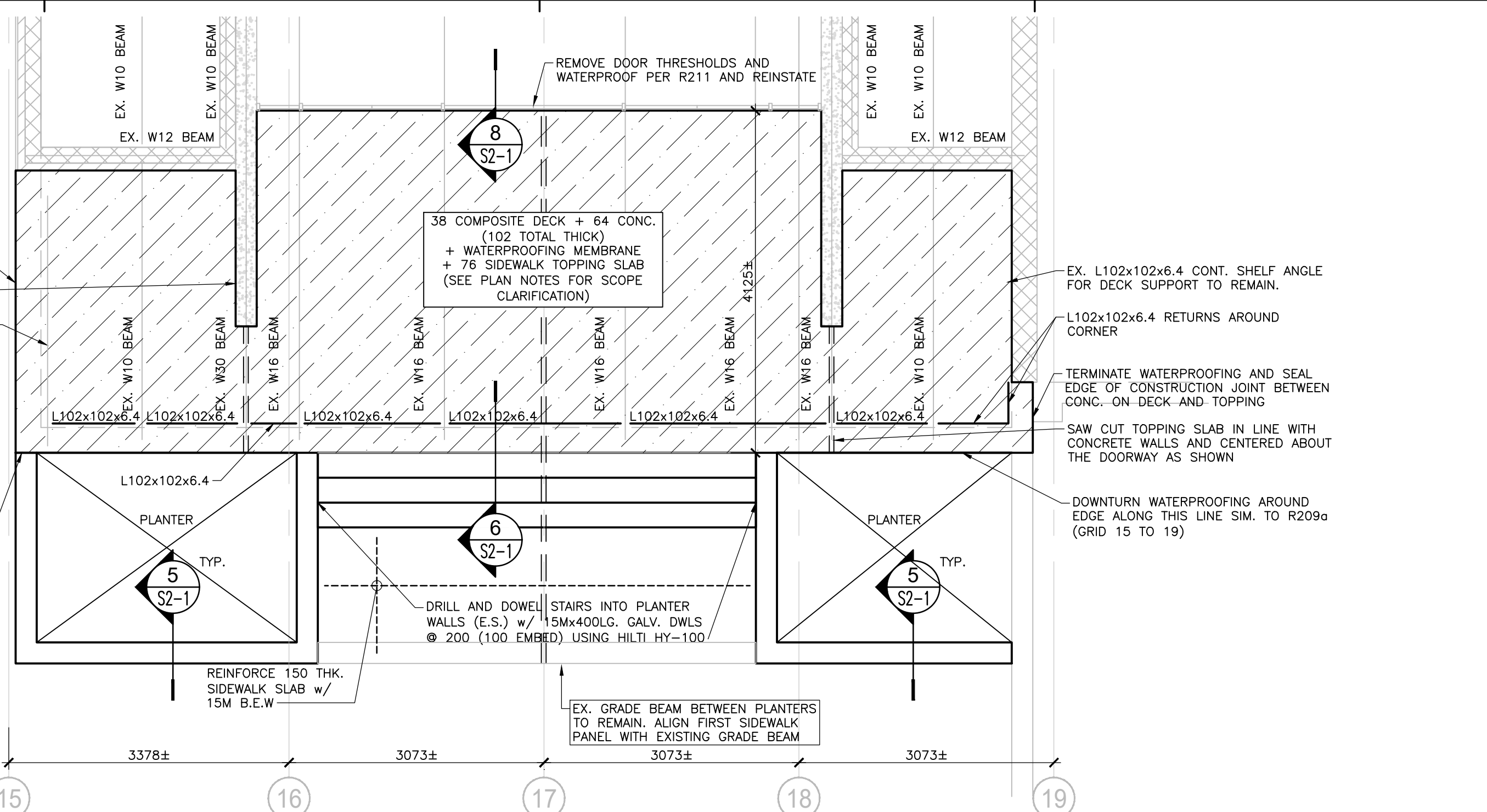
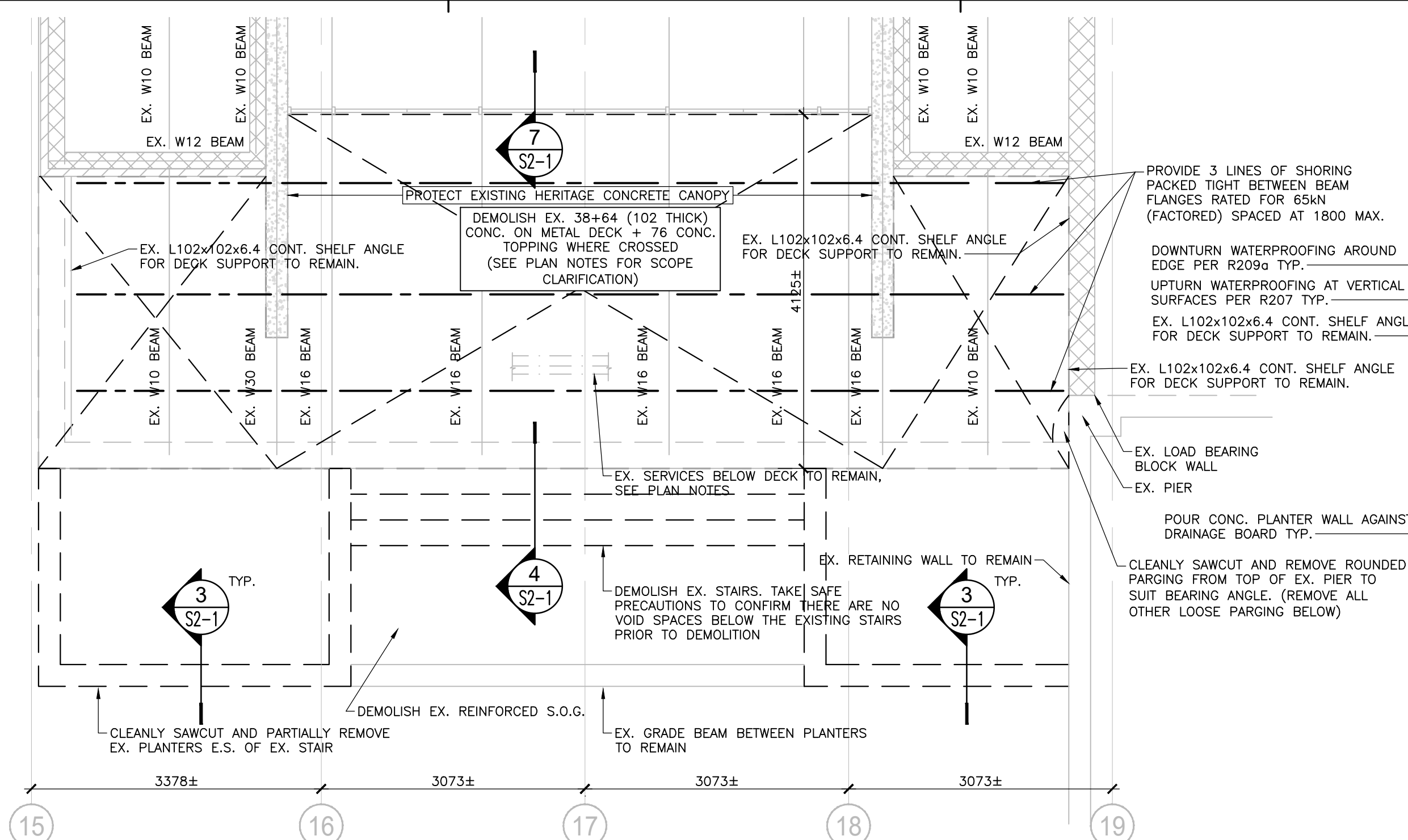


REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS FORBIDDEN. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS TO WALTERFEDY. DO NOT SCALE THIS DRAWING.

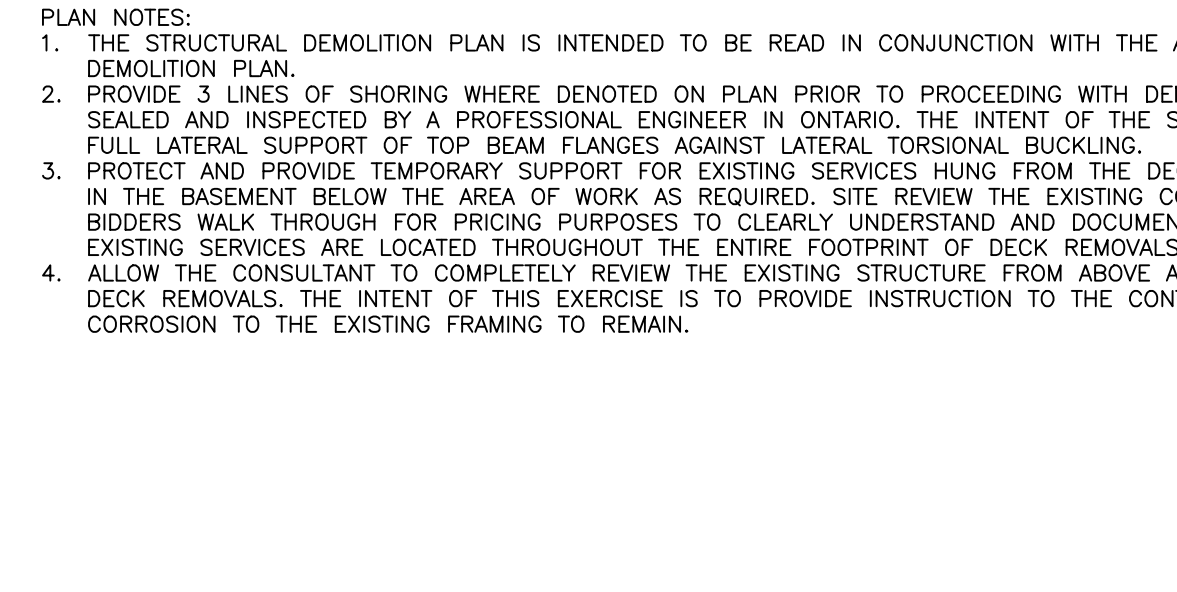
SCALE:	AS NOTED	SHEET NO:	S0-2
DATE:	2022-02-01		
PROJECT NO:	2020-0735-13		
FILE:			
DRAWN BY:	KP		
CHECKED BY:			

COPYRIGHT © 2021 WalterFedy Inc.

No.	ISSUANCE	DATE
1	ISSUED FOR OWNER REVIEW	2022-01-26
2	ISSUED FOR BID & PERMIT	2022-02-01



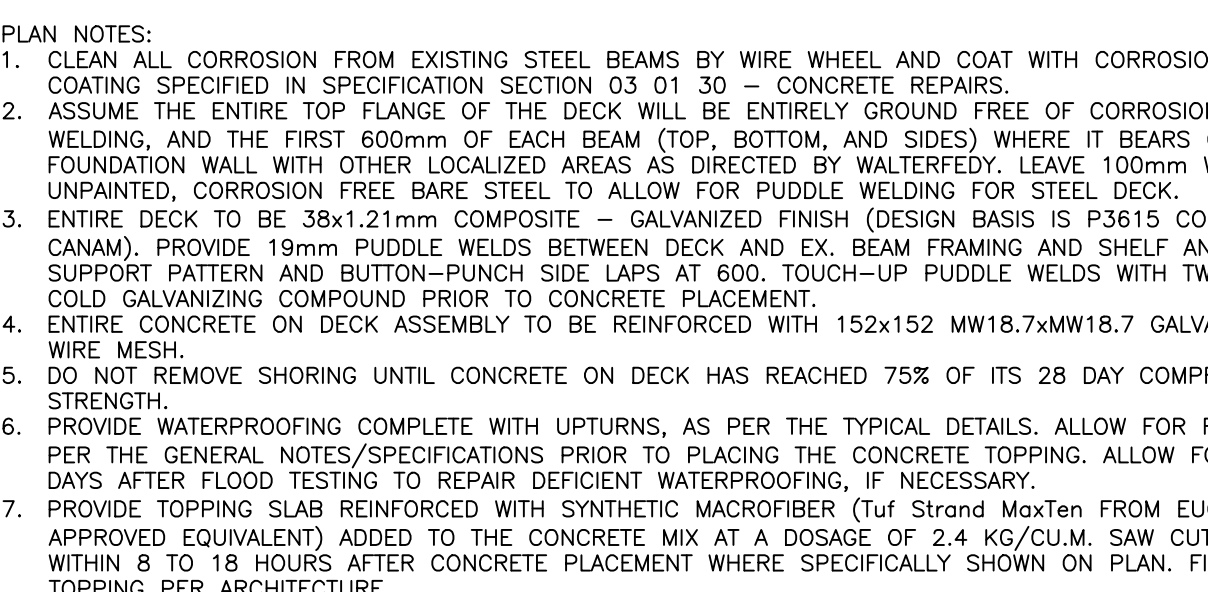
3 EXISTING PLANTER DEMOLITION
1:16



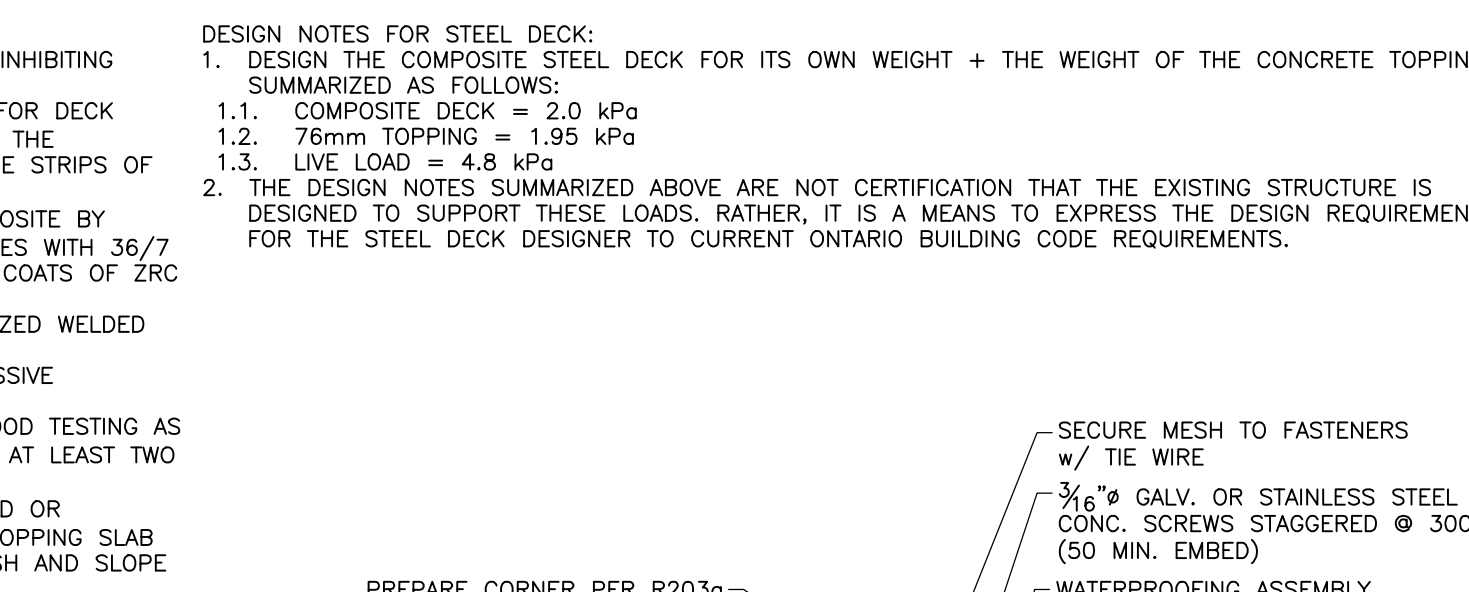
4 EXISTING STAIR DEMOLITION
1:16



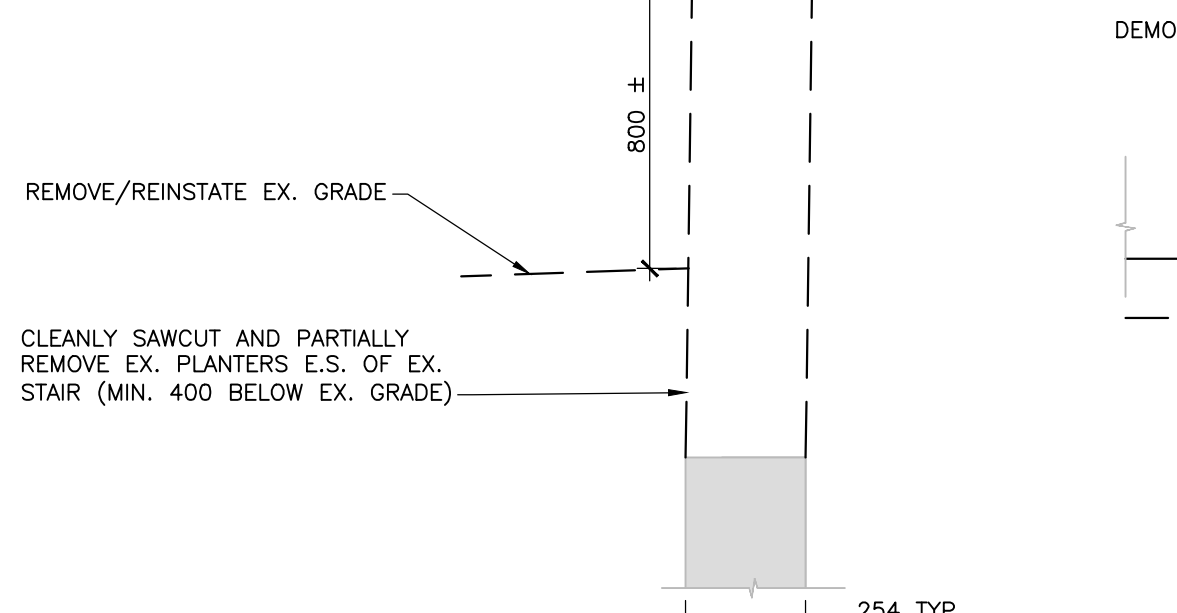
5 PLANTER FOUNDATION WALL SECTION
1:16



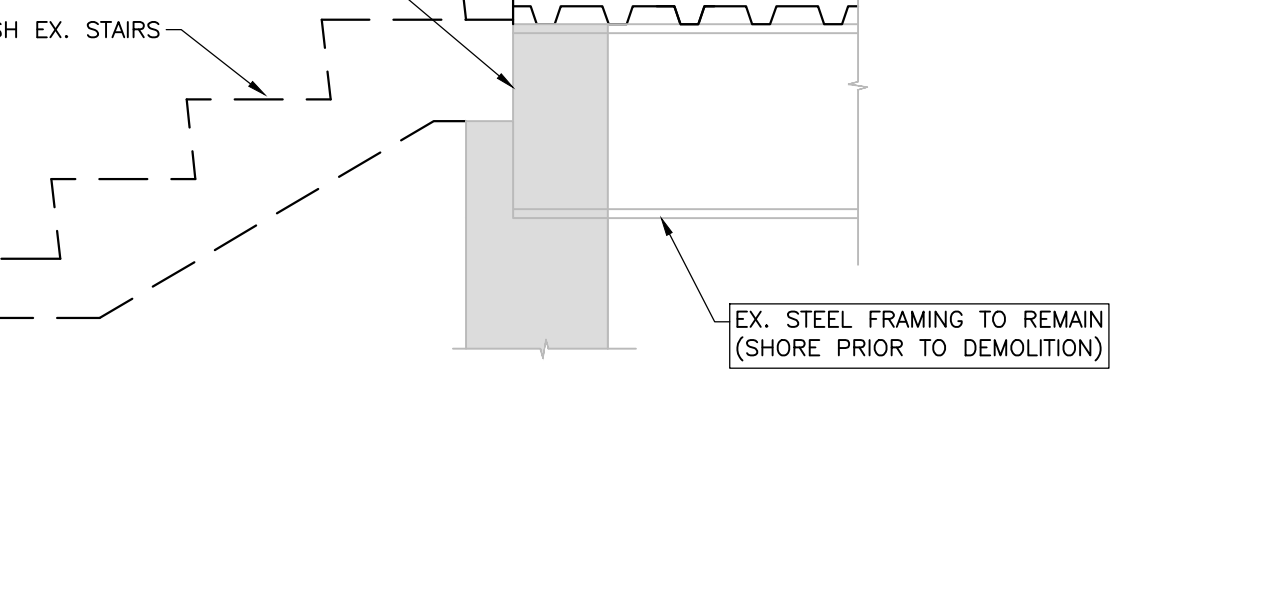
6 STAIR REPLACEMENT SECTION
1:16



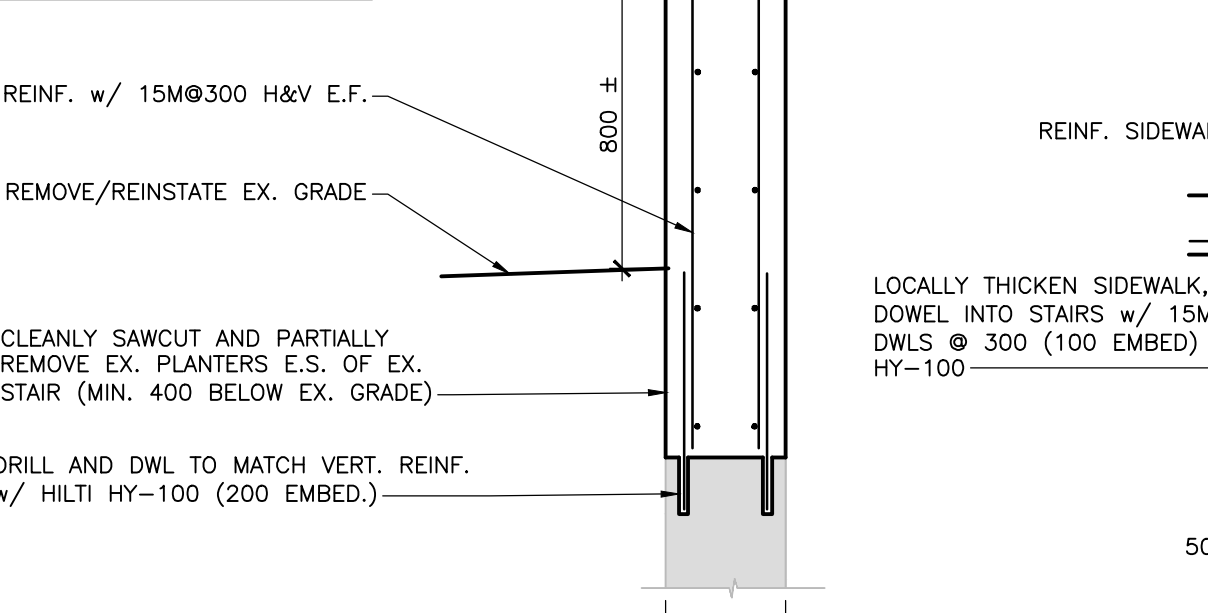
7 DEMOLITION AT EXISTING DOOR/GLASSFRONT
1:16

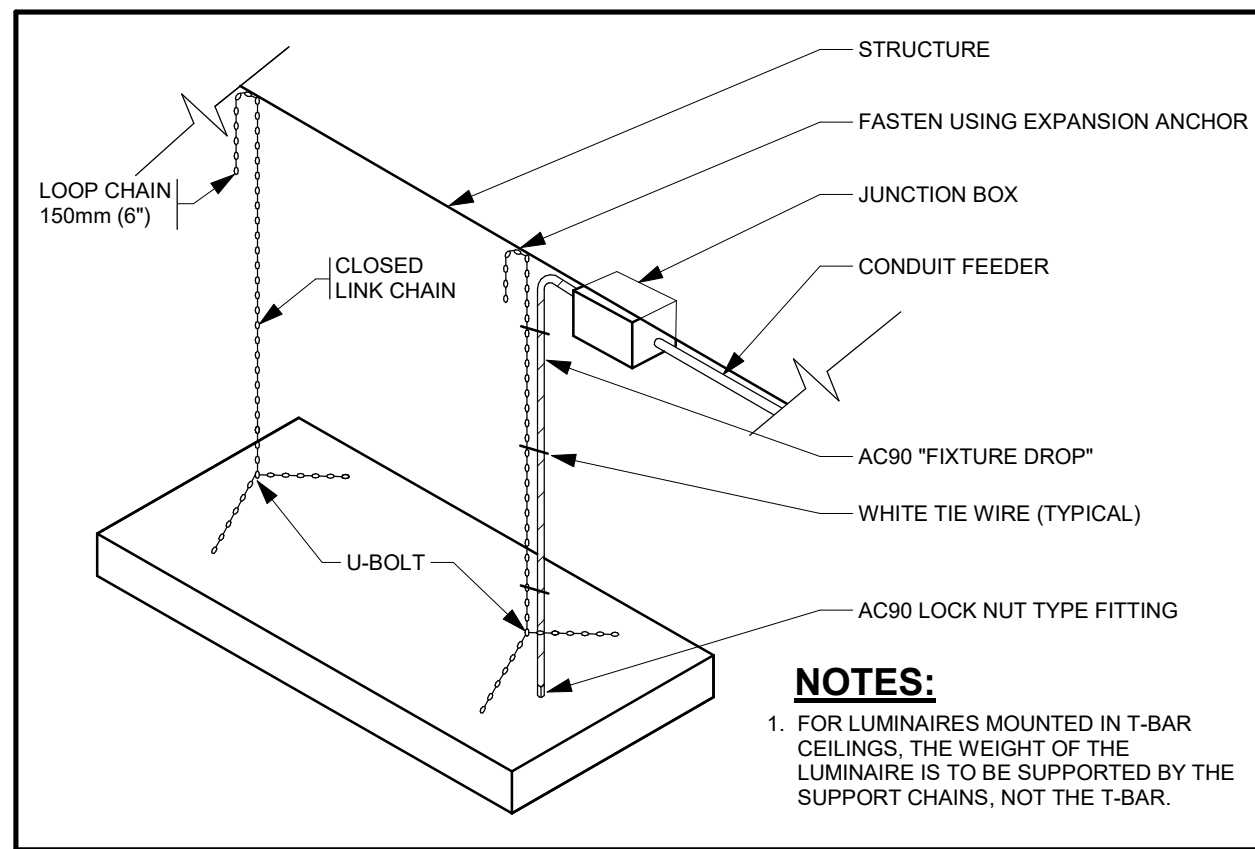


8 SECTION AT EXISTING DOOR/GLASSFRONT
1:16



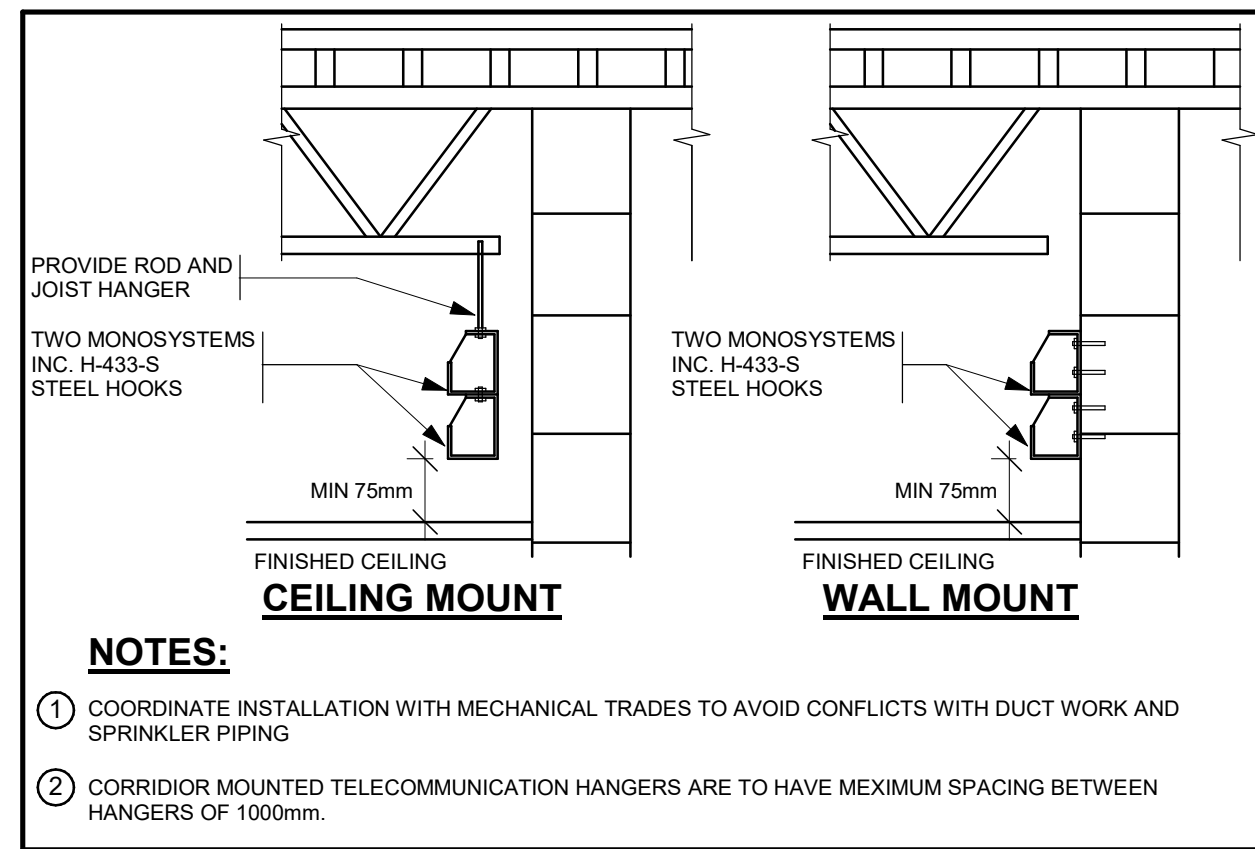
8 SHORING DESIGN INTENT
1:16





1
E001 **LUMINAIRE SUSPENSION DETAIL**
N.T.S.

NOTES:
1. FOR LUMINAIRES MOUNTED IN T-BAR CEILING, THE WEIGHT OF THE LUMINAIRE IS TO BE SUPPORTED BY THE SUPPORT CHAINS, NOT THE T-BAR.



2
E001 **CORRIDOR TELECOMMUNICATIONS HANGER DETAIL**
N.T.S.

NOTES:
① COORDINATE INSTALLATION WITH MECHANICAL TRADES TO AVOID CONFLICTS WITH DUCT WORK AND SPRINKLER PIPING
② CORRIDOR MOUNTED TELECOMMUNICATION HANGERS ARE TO HAVE MAXIMUM SPACING BETWEEN HANGERS OF 1000mm.

LIGHTING FIXTURE SCHEDULE										
TYPE	DESCRIPTION	MANUFACTURER	MODEL	CATALOGUE NUMBER	VOLTAGE	WATTAGE	LUMENS & COLOUR TEMPERATURE	MOUNTING	MOUNTING HEIGHT	REMARKS
A	RECESSED LED TROFFER	COOPER/METALUX	24GR LED	24GR-LD5-38-F1-UNV-L840-CD1-U	120 V	32 VA	3800lm, 4000K	RECESSED	CEILING	
B	SUSPENDED LED WRAPAROUND	COOPER/METALUX	LW LED	4NLW4040C-SCF	120 V	38 VA	4617lm, 4000K	SUSPENDED	3600mm A.F.F.	FIXED STEM SET (1500mm)
E1	WANDAL RESISTANT BATTERY UNIT	AINLITE	EBOV	EBQV12036-28LALUMR16-WHT-ATD	120 V	0 VA	LED MR16	SURFACE	CEILING	
X	EXISTING EXIT SIGN	EXISTING	EXIT SIGN		120 V			SURFACE	CEILING	REINSTALL ON NEW CEILING

GENERAL RENOVATION NOTES:

- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN AS PRESENTLY INSTALLED, UNLESS OTHERWISE NOTED.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- DEVICES CIRCUITED FROM EXISTING PANEL MAY NOT REFLECT THE ACTUAL CIRCUIT NUMBERS BUT ARE SHOWN FOR CONFIGURATION ONLY. CONNECT TO EXISTING SPARE BREAKERS OR PROVIDE BREAKERS AS REQUIRED TO SUIT LOADS.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).
- WHEN UTILIZING EXISTING BRANCH CIRCUIT, PROVIDE NEW BRANCH CIRCUIT WIRING AS REQUIRED MEETING THE ONTARIO ELECTRICAL SAFETY CODE LATEST EDITION REQUIREMENTS.
- EXISTING CONDUIT MADE EMPTY BY THE REMOVAL OF EQUIPMENT MAY BE REUSED TO FEED NEW EQUIPMENT AND/OR DEVICES. EXTEND EXISTING CONDUIT TO PANEL AND DEVICES WHERE EVER POSSIBLE.
- ALL CEILING MOUNTED DEVICES NOTED AS RELOCATED SHALL BE CLEANED, REPLACED AND RECONNECTED ON NEW CEILING AFTER CEILING TILES HAVE BEEN REPLACED WITH NEW TILES.
- ALL WALL MOUNTED DEVICES NOTED AS RELOCATED SHALL BE CLEANED, REPLACED AND RECONNECTED IN NEW LOCATION.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLAN AND DETAILS FOR THE EXACT LOCATION OF ALL LIGHTING FIXTURES AND ANY OTHER EQUIPMENT INSTALLED IN THE CEILING SYSTEM. VERIFY EXACT MOUNTING HEIGHTS AND FINISHES PRIOR TO ROUGH-IN.
- ELECTRICAL CONTRACTOR TO COORDINATE LOCATION AND MOUNTING HEIGHTS OF ALL DEVICES WITH ARCHITECTURAL ELEVATIONS AND DETAILS, MECHANICAL DUCTWORK AND PLUMBING PRIOR TO FINAL PLACEMENT.
- ELECTRICAL CONTRACTOR TO PROVIDE SEPARATE NEUTRALS TO ALL CIRCUITS.

GENERAL DRAWING NOTES:

- THESE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND ARE NOT TO BE SCALED. THIS TRADE MUST COORDINATE SCOPE OF WORK WITH ALL CONTRACT DRAWINGS AND COORDINATE INSTALLATIONS WITH MECHANICAL, ARCHITECTURAL SYSTEMS, AND OTHER TRADES TO AVOID CONFLICT AND DELAYS.
- THE ELECTRICAL CONTRACTOR SHALL REVIEW ALL CONTRACT DRAWINGS AND VISIT THE SITE PRIOR TO SUBMITTING HIS BID TO VERIFY ALL INSTALLATIONS AND EXISTING FIELD CONDITIONS. SUBMISSION OF THE BID IS EVIDENCE THAT THIS TRADE THOROUGHLY UNDERSTANDS THE SCOPE OF THE WORK AND HAS INCLUDED ALL COSTS FOR THE COMPLETE SCOPE OF WORK FOR ALL OPERATING SYSTEMS IN THE BID, INCLUDING COORDINATION WITH OTHER TRADES, PRIOR TO ORDERING MATERIALS AND ROUGH-IN.
- THESE DRAWINGS ARE TO BE CONSIDERED AN INTEGRAL PART OF THE SPECIFICATIONS WHICH ACCOMPANY THEM. ANY ITEM OR SUBJECT OMITTED FROM ONE BUT WHICH IS MENTIONED OR REASONABLY IMPLIED IN THE OTHER, OR AS REQUIRED BY CODE OR FOR A PROPERLY FUNCTIONING SYSTEM, SHALL NOT RELIEVE THIS TRADE OF ITS RESPONSIBILITY.
- COORDINATE ALL WORK WITH OTHER TRADES FOR AVAILABLE SPACE, AVOID INTERFERENCES, SEQUENCE OF INSTALLATIONS AND INSTALLATION REQUIREMENTS PRIOR TO COMMENCING CONSTRUCTION. PLAN WORK WELL IN ADVANCE TO ELIMINATE INSTALLATION AND COORDINATION DIFFICULTIES.
- COOPERATE WITH OTHER TRADES ON SITE TO RESOLVE INTERFERENCES TO SATISFACTORILY COMPLETE THE PROJECT. IMMEDIATELY NOTIFY THE CONSULTANT OF ANY CONFLICTS WHICH IMPACT THE DESIGN INTENT PRIOR TO INSTALLATION, UNDER NO CIRCUMSTANCES SHALL THE TRADE PROCEED IN UNCERTAINTY.

ELECTRICAL LEGEND	
LIGHTING	
	SUSPENDED/SURFACE MOUNTED LIGHT FIXTURE (LETTER DENOTES TYPE)
	RECESSED LIGHT FIXTURE (LETTER DENOTES TYPE)
	FIXTURE ON UNSWITCHED CIRCUIT (E = EMERGENCY POWER, NL = NIGHT LIGHT)
	EXIT LIGHT CEILING MOUNTED (ARROW INDICATES DIRECTION OF EXIT)
	DOUBLE EMERGENCY LIGHTING HEADS
	OCCUPANCY SENSOR - CEILING MOUNTED
POWER AND SYSTEMS	
	JUNCTION BOX
	WIRELESS ACCESS POINT
	ELECTRICAL EQUIPMENT DESIGNATION
SOUND	
	PAGING SPEAKER
	WALL MOUNTED SPEAKER
FIRE ALARM	
	MANUAL PULL STATION (NC - NORMALLY CLOSED AUXILIARY CONTACTS)
	SMOKE DETECTOR - IONIZATION TYPE (R=RELAY BASE)
	DOOR HOLDER/CLOSER
ABBREVIATION	
CM	CEILING MOUNTED
AFF	ABOVE FINISHED FLOOR
WP	WEATHERPROOF
RENOVATION	
	EXISTING DEVICE TO REMAIN AS PRESENTLY INSTALLED
	DISCONNECT AND REMOVE EXISTING DEVICE COMPLETELY
	DISCONNECT AND REMOVE EXISTING DEVICE FOR RELOCATION
	EXISTING DEVICE IN RELOCATED POSITION AND RECONNECTED AS PREVIOUS UNLESS NOTED OTHERWISE

ELECTRICAL DRAWING LIST	
NO.	DRAWING NAME
E001	ELECTRICAL NOTES, LEGEND, AND DRAWING LIST
E201	ELECTRICAL DEMOLITION AND RENOVATION LAYOUTS

CLIENT LOGO



No.	ISSUANCE	DATE
1	ISSUED FOR OWNER REVIEW	2022-01-26
2	ISSUED FOR BID & PERMIT	2022-02-01

CLIENT
WATERLOO REGION DISTRICT SCHOOL BOARD

Enter client address here

PROJECT
WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

TITLE
ELECTRICAL NOTES, LEGEND, AND DRAWING LIST

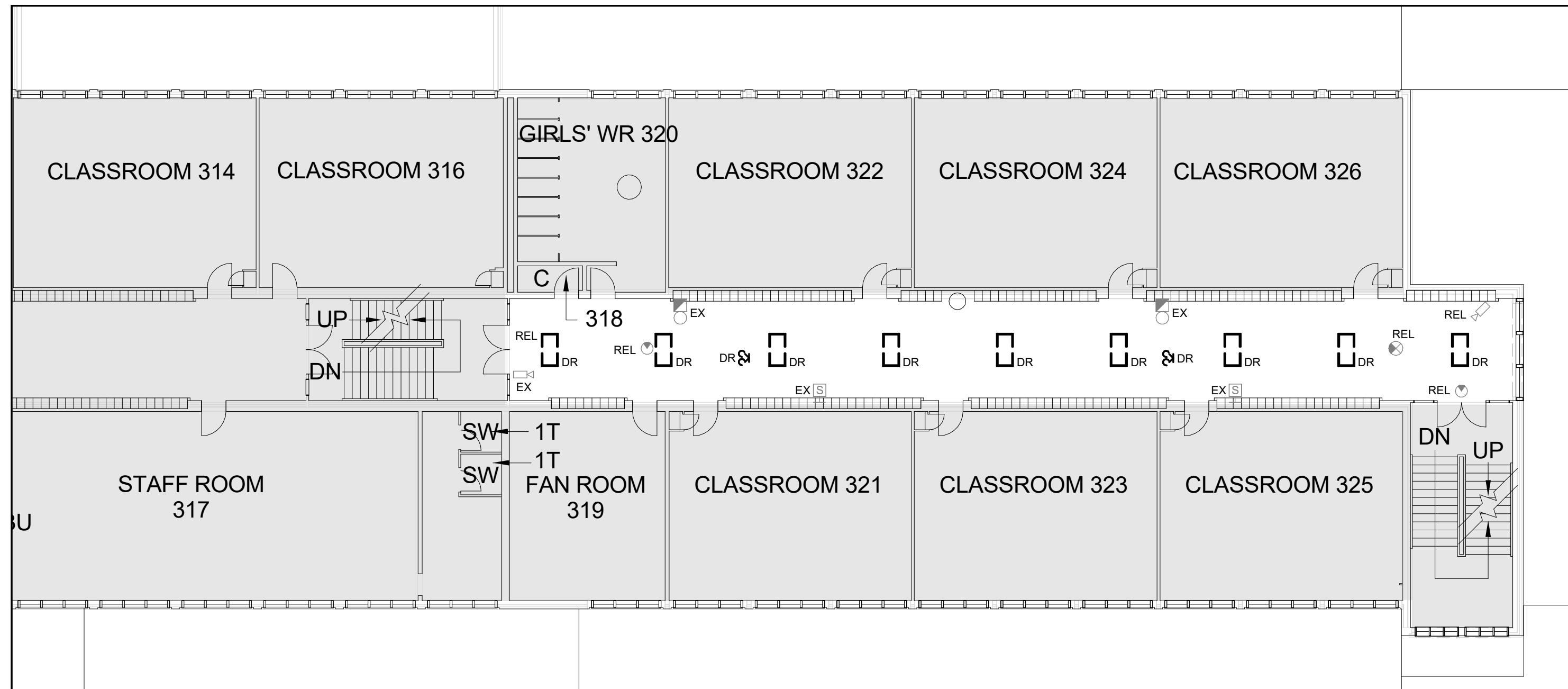
WALTERFEDY
KITCHENER HAMILTON 800.685.1378 walterfedy.com



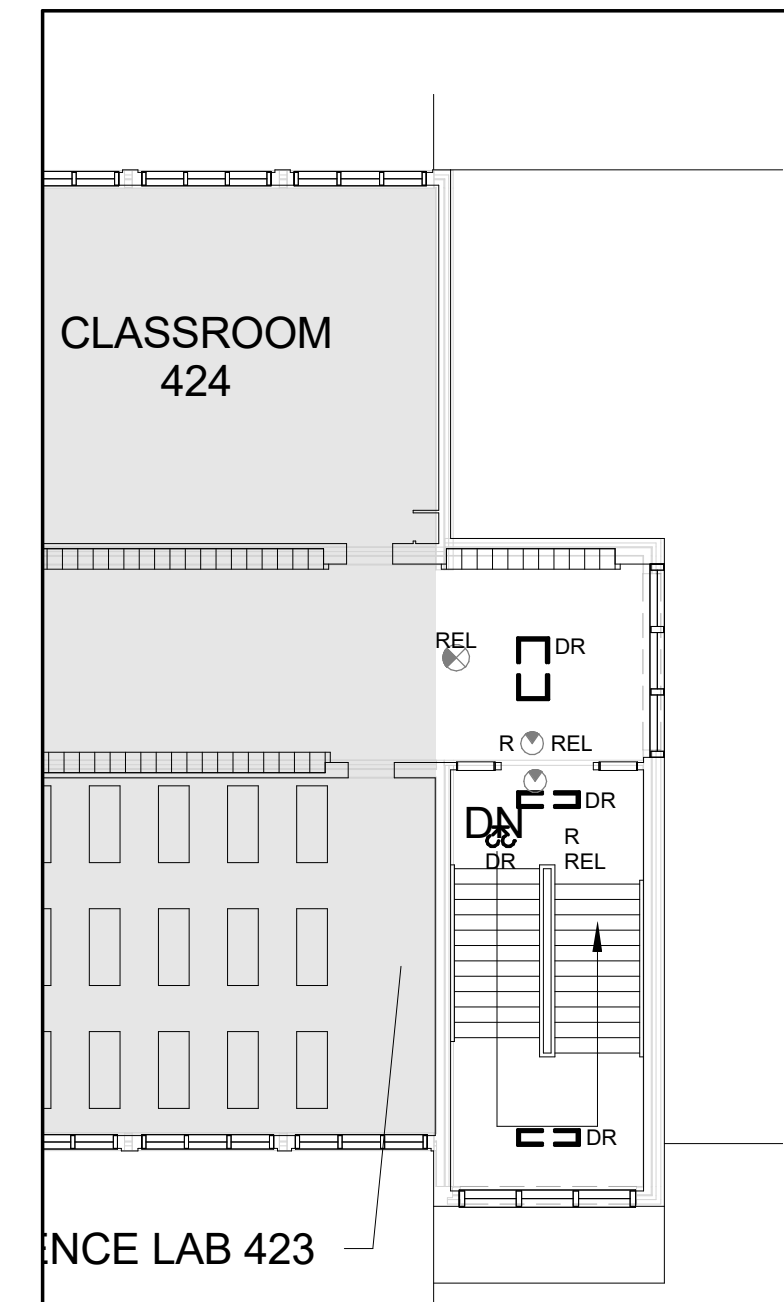
REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS FORBIDDEN. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS TO WALTERFEDY. DO NOT SCALE THIS DRAWING.

COPYRIGHT © 2021 WalterFedy Inc.	
SCALE:	SHEET NO:
DATE: 07/30/21	
PROJECT NO: 2020-0735-13	
FILE:	
DRAWN BY: D.E.	
CHECKED BY: T.D.	

E001

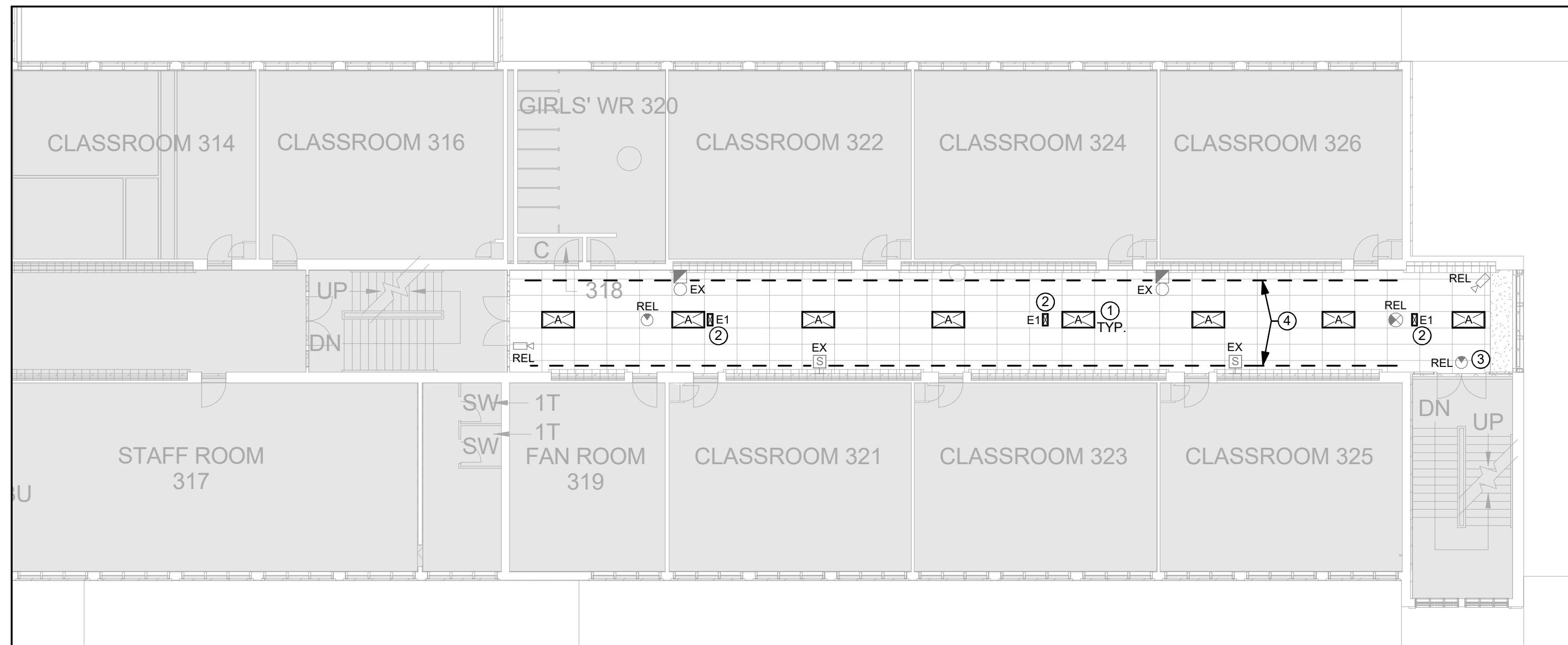


1 SECOND FLOOR ELECTRICAL DEMOLITION LAYOUT
E201 1:150

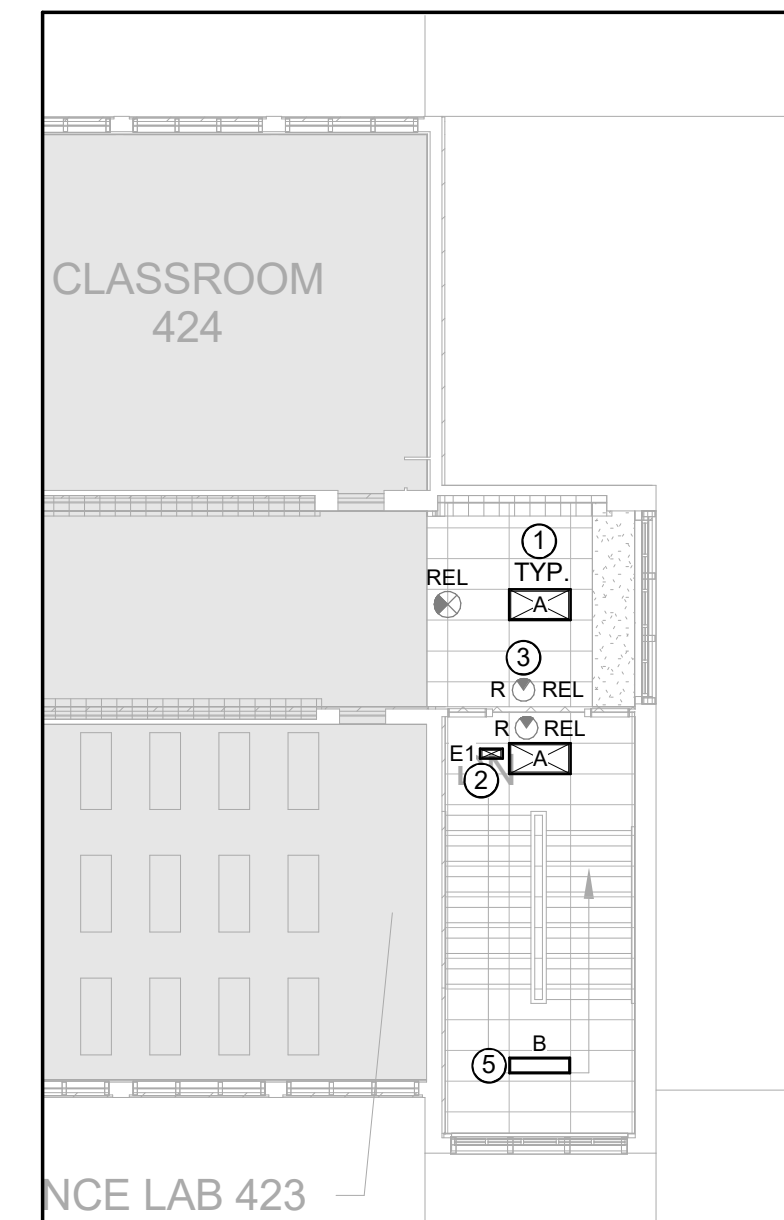


3 THIRD FLOOR ELECTRICAL DEMOLITION LAYOUT
E201 1:150

- GENERAL NOTES:**
1. REMOVE AND DISPOSE OF ALL LIGHTING AND EMERGENCY LIGHTING FIXTURES.
 2. EXISTING EXIT SIGNS (2 TOTAL) ARE TO BE TESTED FOR PROPER OPERATION PRIOR TO REMOVAL AND STORAGE FOR REINSTALLATION.
 3. REMOVE EXISTING SMOKE DETECTORS FOR CEILING REPLACEMENT AND PROPERLY SUPPORT FOR REINSTALLATION.

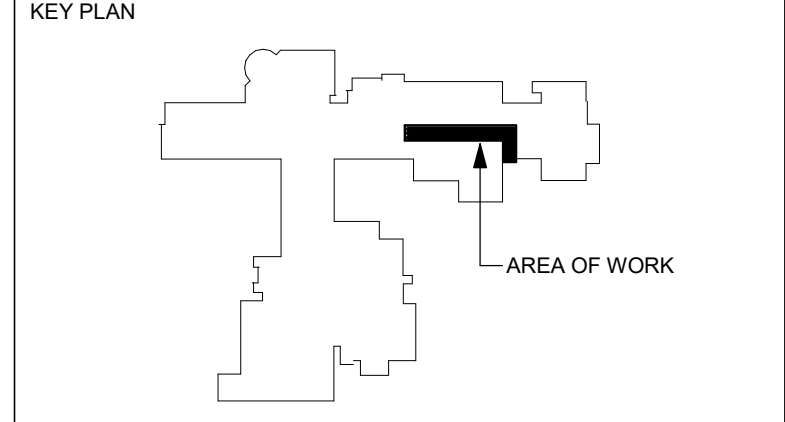


2 SECOND FLOOR ELECTRICAL LAYOUT
E201 1:150



4 THIRD FLOOR ELECTRICAL LAYOUT
E201 1:150

- ELECTRICAL NOTES:**
- 1 RECONNECT LIGHTING TO EXISTING CIRCUITS AND CONTROLS.
 - 2 CONNECT NEW EMERGENCY LIGHTING TO UNSWITCHED SIDE OF CORRIDOR LIGHTING CIRCUIT.
 - 3 REINSTALL SMOKE DETECTORS IN NEW ACT CEILING WITHIN 1500mm OF DOORS WITH HOLD OPEN DEVICES. REVERIFY DEVICES AS REQUIRED.
 - 4 INSTALL J-HOOK COMMUNICATION WIRING SUPPORT SYSTEM ON WALLS AS INDICATED. RELOCATION OF EXISTING WIRING IS NOT PART OF THIS SCOPE OF WORK.
 - 5 LIGHT FIXTURE IS TO BE STEM MOUNTED OVER STAIR LANDING AT NO MORE THAN 3800mm (12'-0") A.F.F. STEM LENGTH TO BE APPROX. 1500mm LONG.



No.	ISSUANCE	DATE
1	ISSUED FOR OWNER REVIEW	2022-01-26
2	ISSUED FOR BID & PERMIT	2022-02-01

CLIENT
WATERLOO REGION DISTRICT SCHOOL BOARD

PROJECT
WCI: PARTIAL WINDOW REPLACEMENT, CORRIDOR UPGRADE & EXTERIOR CONCRETE REPAIR

TITLE
ELECTRICAL DEMOLITION AND RENOVATION LAYOUTS

WALTERFEDY
KITCHENER HAMILTON 800.685.1378 walterfedy.com



REPRODUCTION OR DISTRIBUTION FOR PURPOSES OTHER THAN AUTHORIZED BY WALTERFEDY IS FORBIDDEN. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS TO WALTERFEDY. DO NOT SCALE THIS DRAWING.

COPYRIGHT © 2021 WalterFedy Inc.

SCALE:	DATE:	07/30/21	SHEET NO.:
PROJECT NO.:	FILE:	2020-0735-13	E201
DRAWN BY:	CHECKED BY:	D.E.	
		T.D.	