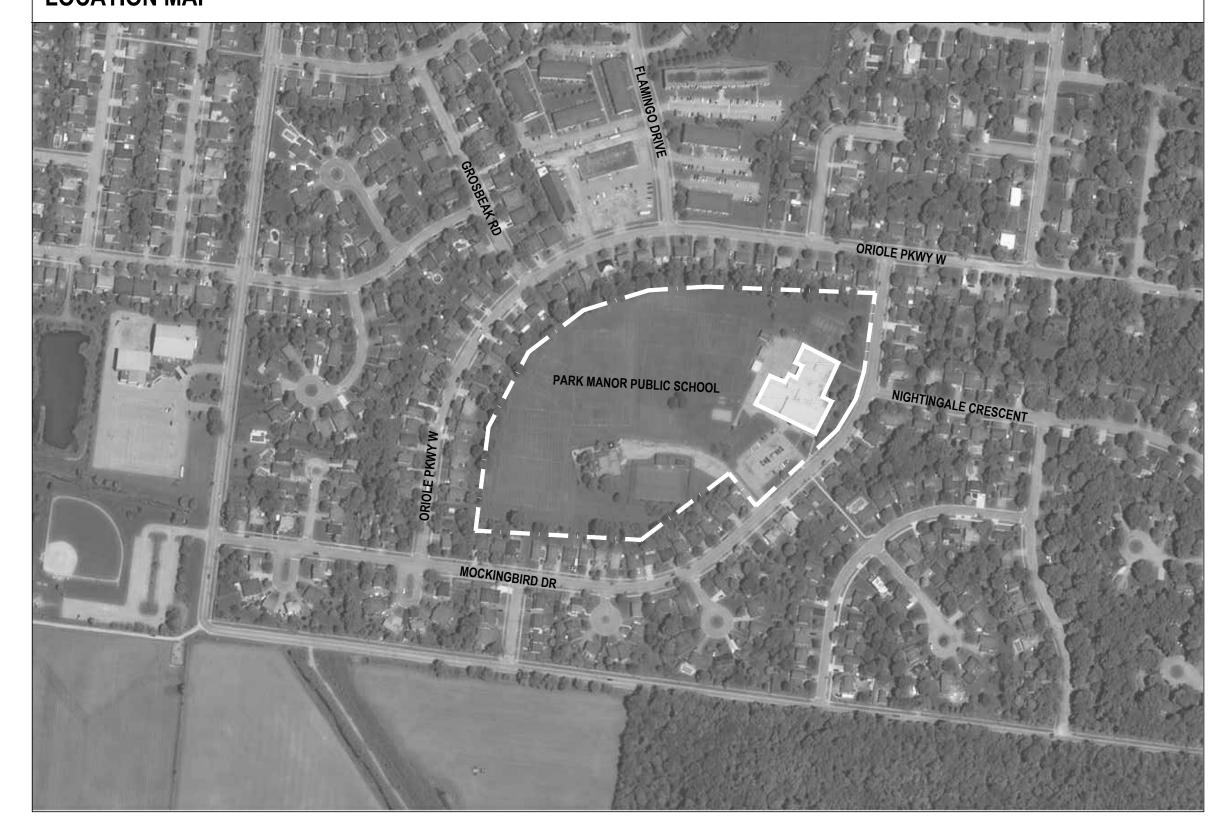
PARK MANOR PUBLIC SCHOOL - PHASE 2 INTERIOR AND WINDOW ENHANCEMENTS

18 MOCKINGBIRD DR, ELMIRA, ON N3B 1T1 TENDER # 7266-RW-22

LOCATION MAP



SCOPE OF WORK

RENOVATION OF EXISTING CORRIDOR AND CLASSROOMS INCLUDING NEW PLUMBING FIXTURES, FINISHES, LIGHTING, MILLWORK AND EXTERIOR GLAZED OPENINGS. MINOR RENOVATION TO THE MAIN OFFICE TO ADD INTERIOR GLAZED SCREENS.

THIS PROJECT IS SPLIT INTO 2 PHASES:

AND CONSTRUCTION WITHIN THE FOLLOWING CLASSROOMS: NW2, NW4, NW6 AND CORRIDOR AS PART OF PHASE 1.

REFER TO A006 FOR MORE INFORMATION ABOUT

DRAWING LIST-ARCHITECTURAL

A001 OBC MATRIX AND FIRE SEPARATION DRAWINGS

PHASE 1- THIS PHASE IS TO BEGIN ON JUNE 1. IT IS TO INCLUDE ALL ABATEMENT, DEMOLITION, NW1. NO EXTERIOR WORK IS TO BE UNDERTAKEN

PHASE 2 - THIS PHASE IS TO BEGIN JULY1. IT IS TO INCLUDE ALL OTHER WORK AT THE INTERIOR AND EXTERIOR OF THE PROJECT.

A000 COVER SHEET AND SHEET LIST

A002 ANNOTATION LEGEND, ABRREVIATIONS, AND GENERAL NOTES

A003 SCHEDULES A004 ASSEMBLIES AND LEGENDS

A005 FINISHES A006 AREAS OF WORK

A010 SITE PLAN A020 GROUND FLOOR PLAN - DEMOLITION

A021 ROOF PLAN - DEMOLITION

101 GROUND FLOOR PLAN - PARTIAL PROPOSED

102 GROUND FLOOR PLAN - PARTIAL PROPOSED A103 ROOF PLAN - PROPOSED

A201 GROUND FLOOR RCP - PARTIAL PROPOSED

A301 PARTIAL EXTERIOR ELEVATIONS - PROPOSED A501 DETAILS

A601 INTERIOR ELEVATIONS
A602 INTERIOR ELEVATIONS
A801 ENLARGED MILLWORK PLANS
A802 MILLWORK DETAILS

DRAWING LIST - MECHANICAL

M101 GROUND FLOOR DEMOLITION PLAN - HVAC M102 ROOF DEMOLITION PLAN - HVAC

M201 GROUND FLOOR NEW WORK PLAN - HVAC M202 ROOF NEW WORK PLAN - HVAC

M301 GROUND FLOOR DEMOLITION PLAN - PLUMBIN M302 GROUND FLOOR NEW WORK PLAN - PLUMBING

M401 MECHANICAL DETAILS 1

M402 MECHANICAL DETAILS 2
M403 MECHANICAL DETAILS 3 M501 MECHANICAL SCHEDULES

DRAWING LIST - ELECTRICAL

E001 ELECTRICAL LEGEND & SHEET LIST

E101 PARTIAL GROUND FLOOR DEMOLITION PLAN - LIGHTING

D3 PARTIAL ROOF DEMOLITION PLAN - ELECTRICAL

201 PARTIAL GROUND FLOOR NEW WORK PLAN - LIGHTING

D2 PARTIAL GROUND FLOOR NEW WORK PLAN - POWER & SYSTEMS 203 PARTIAL ROOF NEW WORK PLAN - ELECTRICAL

E301 FIRE ALARM DEMOLITION PLAN E302 FIRE ALARM NEW WORK PLAN

E401 SCHEDULES & DETAILS - ELECTRICAL

DRAWING LIST - STRUCTURAL

S1.0 ROOF FRAMING PLAN (OFFICE AREA) AND GENERAL NOTES

ROOF FRAMING PLAN (CLASSROOMS)



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DO NOT SCALE DRAWINGS

ISSUE DATE:

05	2022-02-11	ISSUED FOR TENDER
04	2022-01-31	ISSUED FOR 90% CD REVIEW
03	2022-01-18	ISSUED FOR PERMIT
02	2022-01-17	ISSUED FOR CLIENT REVIEW
01	2022-01-11	ISSUED FOR COORDINATION
NO.	DATE	DESCRIPTION

PROJECT:

Park Manor Public School - Phase 2 Interior and Window Enhancements

WRDSB Tender #7266-RW-22

DRAWING TITLE:

COVER SHEET AND SHEET LIST

PROJECT NO: 21970 SCALE: **DRAWN BY:** REVIEWED BY: DS

DRAWING NO: A000

MECHANICAL/ELECTRICAL CONSULTANT

OWNER Waterloo Region District School Board

51 Ardelt Avenue Kitchner, ON N2C 2R5 519.570.0003

LGA Architectural Partners 310 Spadina Ave, Suite 100B Toronto, Ontario M5T 2E8 416. 203.7600

ARCHITECT

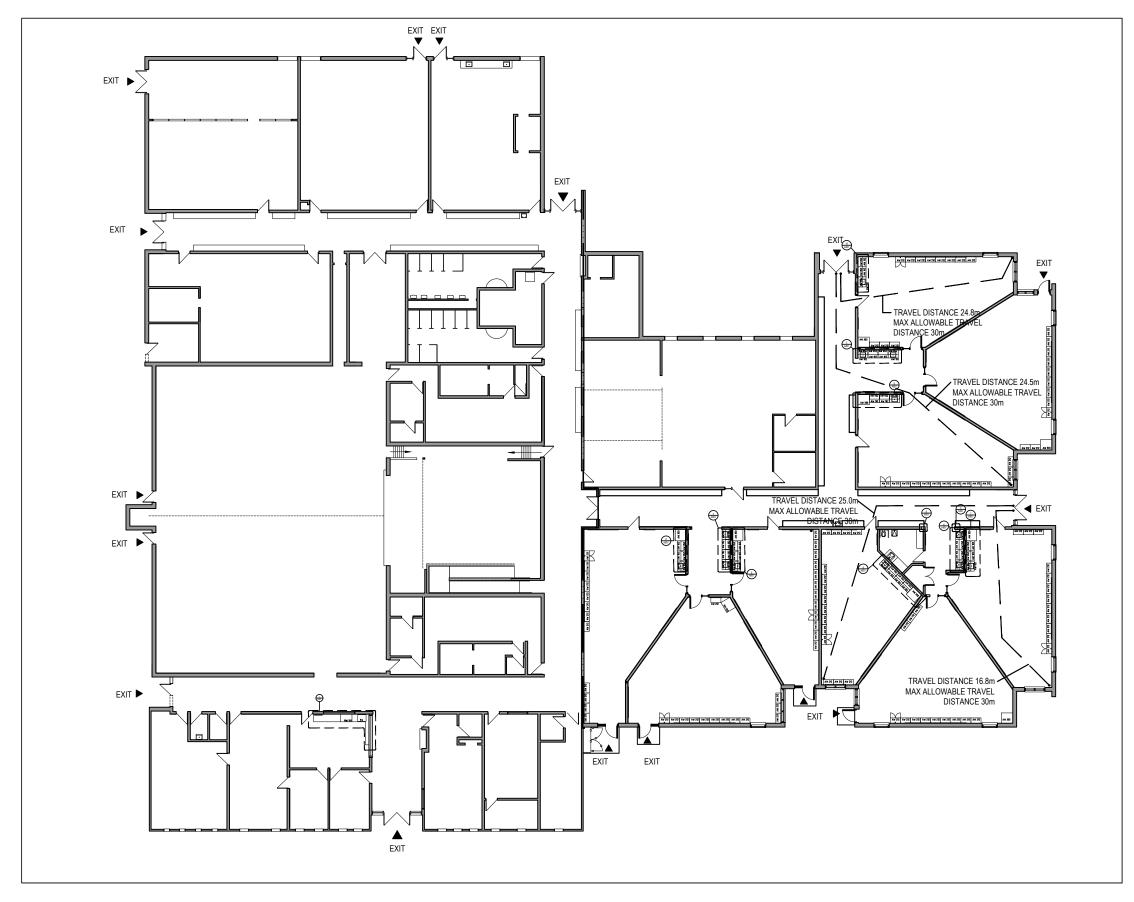
WitzelDyce Engineering Inc, 826 King Street North, Unit 20 Waterloo, ON N2J 4G8 519.594.0182

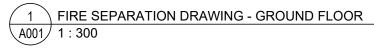
STRUCTURAL CONSULTANT

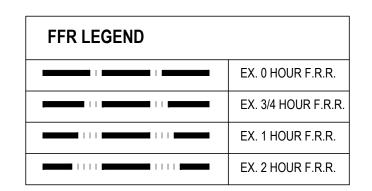
Quasar Consulting Group 250 Rowntree Dairy Road Woodbridge, Ontario L4L 9J7 905.507.0800

Name of project: Park Manor Public School Location: 18 Mockingbird Drive	Firm Name and Address: LGA Architectural Partners Inc. 310 Spadina Ave, Suite 100B Toronto, ON M5T 2E8 Certification of Practice Number: No. 5162						
Elmira, ON N3B 1T1	Ontario Building Code Data Matrix Part 11 – Renovation of Existing Building	Building Code Reference ¹	Ontario Building Code Data Matrix (CONT'D)				
11.00 Building Code Version:	O. Reg. 332/12 Last Amendment O. Reg. 191/14		11.11 Plumbing Fixture Requirements	Ratio: M/F = 1/1 Except as otherwise noted	3.7.4.		
11.01 Project Type:	 ☐ Addition ☐ Change of use ☐ Basic interior renovation of existing classrooms and office space of existing public school. 	[A] 1.1.2.	·	Floor Level/Area Occupant OBC Fixtures Fixtures Load Reference Required Provided			
11.02 Major Occupancy Classification:	Occupancy Use Group A, Division 2 Elementary School	3.1.2.1.(1)		Existing Water closets to Remain Unchanged			
11.03 Superimposed Major Occupancies:	No □ Yes Description:	3.2.2.7.	11.12 Barrier-free Design:	Yes	11.3.3.2.(2)		
11.04 Building Area (m2)	Description: Existing New Total Basement - - - Ground Floor (north half) 1,263 - 1,263 Firewall in-between - - - Ground Floor (south half) 2,077 - 2,077 Total 3,340 - 3,340	[A] 1.4.1.2.	11.13 Reduction in Performance Level:	Structural: ☒ No ☐ Yes By Increase in occupant load: ☒ No ☐ Yes By change of major occupancy: ☒ No ☐ Yes Plumbing: ☒ No ☐ Yes Sewage-systems: ☒ No ☐ Yes Extension of combustible construction: ☒ No ☐ Yes	11.4.2.1. 11.4.2.2. 11.4.2.3. 11.4.2.4. 11.4.2.5. 11.4.2.6.		
11.05 Building Height		[A] 1.4.1.2. & 3.2.1.1.	11.14 Compensating Construction:	Structural: No □ Yes Increase in occupant load: No □ Yes	11.4.3.1, 11.4.3.2,		
11.06 Number of Streets/ Firefighter access	1	3.2.2.10. & 3.2.5.		Change of major occupancy: ☒ No ☐ Yes	11.4.3.3, 11.4.3.4,		
11.07 Building Size	☐ Small ☐ Medium ☒ Large ☐ > Large	T.11.2.1.1.BN.		Sewage systems:	11.4.3.5,		
11.08 Existing Building Classification:	Change in Major Occupancy: ☐ Yes ☒ Not Applicable (no change of major occupancy) Construction Index: N/A	11.2.1.1. T 11.2.1.1A		Extension of combustible construction:	11.4.3.6,		
	Hazard Index: N/A Importance Category : □ Low □ Normal □ High □ Post-disaster	T 11.2.1.1B to N 4.2.1.(3), 5.2.2.1.(2)	11.15 Compliance Alternatives Proposed:	⊠ No □ Yes	11.5.1.		
11.09 Renovation type:	☑ Basic Renovation ☐ Extensive Renovation	11.3.3.1. 11.3.3.2.					
11.10 Occupant Load	Floor Level/Area Occupancy Type Based On Occupant Load (Persons) Ground Floor A2, Division 2 Design No Change to Existing	3.1.17.	11.16 Notes:		11.5.1.		
¹ All references are to Div	vision B of the OBC unless preceded by [A] for Division A and [C] for Division C.						

OBC MATRIX PART 11









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PROJECT:

Park Manor Public School - Phase 2 Interior and Window Enhancements

WRDSB Tender #7266-RW-22

DRAWING TITLE:

OBC MATRIX AND FIRE SEPARATION DRAWINGS

PROJECT NO: 21970

SCALE: AS NOTED

DRAWN BY: JG

REVIEWED BY: DS

DRAWING NO:

GRAPHICS LEGEND ASSEMBLY TAGS TAGS DRAWING TAGS **DOOR TAG** WALL ASSEMBLY TAG DETAIL NUMBER 101 DRAWING SHEET NUMBER SCREEN NUMBER TAG SC SECTION NUMBER (REFER TO SCREEN SCHEDULE) ROOF ASSEMBLY TAG DRAWING SHEET NUMBER WINDOW UNIT TAG W10 FLOOR ASSEMBLY TAG (REFER TO WINDOW SCHEDULE) EXTERIOR ELEVATION NUMBER DRAWING SHEET NUMBER CURTAIN WALL UNIT TAG **CEILING TAG** CW (REFER TO WINDOW SCHEDULE) INTERIOR ELEVATION NUMBER (REFER TO ASSEMBLIES SCHEDULES) DRAWING SHEET NUMBER MATERIAL FINISH TAG (REFER TO FINISH SCHEDULE) 20 R @ 100mm **GRID BUBBLE** STAIR TAG SPOT ELEVATION (ABOVE FINISH FLOOR) ROOM TAG WITH AREA **REVISION TAG** CENTRELINE

GENERAL NOTES

1. THE CONTRACTOR WILL VERIFY ALL DIMENSIONS FOR THE WORK AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK.

2. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION PURPOSES.

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5. THE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE LANDSCAPE, STRUCTURAL, ELECTRICAL, MECHANICAL, CIVIL, GEOTECHNICAL, ENVIRONMENTAL CONSULTANTS DOCUMENTS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO ANY EXECUTION OF RELATED WORK.

6. THE CONTRACTORS SHALL ENSURE THAT MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH CONTRACT DOCUMENTS.

7. THE CONTRACTORS SHALL ENSURE THAT THE LOCATIONS OFALL UNDERGROUND SERVICES ARE IDENTIFIED PRIOR TO THE COMMENCEMENT OF WORK AND EXCAVATIONS.
THE CONTRACTOR IS FULLY RESPONSIBLE TO REPAIR ANY DAMAGE TO UNDERGROUND SERVICES THEY HAVE COMMITTED.

8. ALL STRUCTURAL COMPONENTS TO BE TAKEN OFF THE STRUCTURAL DOCUMENTS. NO STRUCTURAL DESIGN INFORMATION SHALL BE INFERRED FROM THE ARCHITECTURAL DRAWINGS.

9. ALL MECHANICAL COMPONENTS TO BE TAKEN OFF THE MECHANICAL DOCUMENTS. NO MECHANICAL DESIGN INFORMATION SHALL BE INFERRED FROM THE ARCHITECTURAL DRAWINGS.

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11 .ALL CIVIL COMPONENTS TO BE TAKEN OFF THE CIVIL DOCUMENTS. NO CIVIL DESIGN INFORMATION SHALL BE INFERRED FROM THE ARCHITECTURAL DRAWINGS.

12. .ALL LANDSCAPE COMPONENTS TO BE TAKEN OFF THE LANDSCAPE DOCUMENTS. NO LANDSCAPE DESIGN INFORMATION SHALL BE INFERRED FROM THE ARCHITECTURAL DRAWINGS.

ARCHITECTURAL ABBREVIATIONS LEGEND

ABBREVIATIONS MAY OR MAY NOT INCLUDE PERIOD PUNCTUATION. ABBREVIATIONS APPLY TO ARCHITECTURAL DOCUMENTS ONLY.

ABBREVIATIONS A	APPLY TO ARCHITECTURAL DOCUMENTS ONLY.				
@ &	AT	FE	FIRE EXTINGUISHER	REQ	REQUIRED
	AND	FF	FLOOR FINISH	REV	REVERSE
AB	AIR BARRIER	FFL	FINISHED FLOOR LEVEL	RF	RESISLIENT FLOORING
ACH	ADULT CHANGE TABLE	FH	FIRE HYDRANT	RL	RECESSED LIGHTING
ACM	ALUMINUM COMPOSITE PANEL\	FG	FIXED GLASS	RM	ROOM
ADO	AUTOMATIC DOOR OPENER	FHC	FIRE HOSE CABINET	RO	ROUGH OPENING
AFF	ABOVE FINISH FLOOR	FIN	FINISHED	ROW	RIGHT-OF-WAY
AG	ABOVE GRADE	F/O	FACE OF	RP	REMOVABLE PANEL
ALUM	ALUMINUM	FR. GL	FROSTED GLASS	RR	REMOVE & REPLACE
ANOD	ANODIZED	FRR	FIRE RESISTANCE RATING	RTU	ROOF TOP UNIT
APOLI	ACCESS PANEL	FS	FIRE SHUTTER	RWL	RAIN WATER LEADER
ARCH	ARCHITECTURAL	G G1S	GARBAGE BIN	S SB	SEALER SANITARY BIN
AVB BB	AIR & VAPOUR BARRIER BULLETIN BOARD	G2S	GOOD ONE SIDE GOOD TWO SIDES	SC	SEALED CONCRETE
BCH	BABY CHANGE TABLE	GA	GAUGE	SCH	SCHEDULE
BD	BOARD	GALV	GALVANIZED	SCR	SWIPE CARD READER
BF	BARRIER FREE	GB	GRAB BAR	SCW	SOLID CORE WOOD
BG/AS	BELOW GRADE/ABOVE SLAB	GYP	GYPSUM	SD	SOAP DISPENSER
BLDG	BUILDING	GWB	GYPSUM WALL BOARD	SF	SQUARE FEET
BLK	BULKHEAD	HB	HOSEBIB	SG	SUPPLEMENTARY GUIDELINES
BOTT	BOTTOM	HD	HAND DRYER		OF OBC
BTF	BOTTLE FILLER	HM	HOLLOW METAL	SH	SILL HEIGHT
BTLS	BLUETOOTH LOCKSET	H/O	HOLD OPEN	SIM	SIMILAR
BTWN	BETWEEN	HOR	HORIZONTAL	SL	SLIDING DOORS
CAB	CABINET	HR	HOUR	SM	SQUARE METER(S)
CAT	CATEGORY	HSS	HOLLOW STEEL SECTION	SMK	SMOKE SEAL
CB	CATCH BASIN	HT	HEIGHT	SND	SANITARY NAPKIN DISPOSAL
C/C	CENTRE TO CENTRE	ID	INSIDE DIAMETER	SOG	SLAB ON GRADE
CC	CONCEALED CLOSER	INSUL	INSULATION	SPEC	SPECIFICATION
CF	CEILING FINISH	KLS	KEYLATCH SET	SQ	SQUARE
CG	CORNER GUARD	KP	KICKPLATE	SS	STAINLESS STEEL
CH	COAT HOOK	LF	LIGHT FIXTURE	SSF	STAINLESS STEEL FRAME
CHW	CUSTOM HARDWARE	LK	LOCKERS	SSG	STRUCTURAL SILICON GLAZING
CJ	CONTROL JOINT	LLS	LEVER LATCH SET	SSM	SOLID SURFACE
CL	CENTER LINE	M&E	MECHANICAL & ELECTRICAL	ST	STEEL SOUND TRANSMISSION OF ACC
CLG	CEILING	MAG	MAGLOCK	STC	SOUND TRANSMISSION CLASS
CLOS	CLOSER	MAS	MASONRY	STD	STANDARD STAIN CRADE
CLR CO	CLEAR CLEAR OPENING	MATL MAX	MATERIAL	ST GR	STAIN GRADE
COL	CLEAR OPENING COLUMN	MB	MAXIMUM MOISTURE BARRIER	STRUCT SUPP	STRUCTURAL SUPPLEMENTARY
CONC	CONCRETE	MDF	MEDIUM DENSITY FIBREBOARD	T	TREADS
CONT	CONTINUOUS	MECH	MECHANICAL	TB	THERMALLY BROKEN
CONST	CONSTRUCTION	MEL	MELAMINE	TBD	TO BE DETERMINED
COORD	COORDINATE	MFR	MANUFACTURER	TG	TEMPERED GLAZING
COR	CORROSION	MHO	MAGNETIC HOLD OPEN	THK	THICK
CPT	CARPET TILE	MI	MIRROR	TH	THRESHOLD
CR	CARD READER	MIN	MINIMUM	TL	TILE
CST	CONCRETE STAIN	MO	MASONRY OPENING	TM	TILT MIRROR
CW	COMPLETE WITH	MTL	METAL	T/O	TOP OF
D	DRYER	N/A	NOT APPLICABLE	TP	TOILET PAPER DISPENSER
DB	DEADBOLT	NIC	NOT IN CONTRACT	TS	TRANSITION STRIP
DC	DOOR CONTACT	NO.	NUMBER	TYP	TYPICAL
DF	DRINKING FOUNTAIN	NTS	NOT TO SCALE	TWB	TOWEL BAR
DIA	DIAMETER	OBC	ONTARIO BUILDING CODE	TWF	THROUGH WALL FLASHING
DIM	DIMENSION	O.C.	ON CENTRE	ULC	UNDERWRITER'S LABORATORY
DLO	DAYLIGHT OPENING (GLAZING)	OD	OUTSIDE DIAMETER		OF CANADA
DN	DOWN	OH	OVERHEAD	UNO	UNLESS NOTED OTHERWISE
DW	DISHWASHER	OTA	OPEN TO ABOVE	U/S	UNDERSIDE
DWG	DRAWING	OTB	OPEN TO BELOW	VERT	VERTICAL
EB	EXIT BUTTON	OPG	OPENING	VB	VAPOUR BARRIER
EF C	EXHAUST FAN	OPP	OPPOSITE OPEN WED STEEL LOIST	VCT	VENEER CORE
ELEC ELEV	ELECTRICAL ELEVATION	OWSJ BFPB	OPEN WEB STEEL JOIST BARRIER FREE PUSH BUTTON	VCT VIF	VINYL COMPOSITE TILE VERIFY IN FIELD
	ELEVATION	PH	PANIC HARDWARE	VIF VP	VAPOUR PERMEABLE
ELVR EP	ELECTRICAL PANEL	PL PL	PROPERTY LINE	VP VR	VAPOUR PERMEABLE VAPOUR RETARDER
EQ	EQUAL	PLAM	PLASTIC LAMINATE	W	WASHER
EQUIP	EQUIPMENT	PLS	PRIVACY LOCKET	W/	WITH
ES	ELECTRIC STRIKE	PLY	PLYWOOD	WB	WALL BASE
EXIST	EXISTING	PSF	PRESSED STEEL FRAME	W/C	WASHROOM
EXP	EXPOSED	PT	PAINT	WD	WOOD
EXT	EXTERIOR	PTD	PAINTED	WDV	WOOD VENEER
F	REFRIGERATOR	PTWR	PAPER TOWEL & WASTE RECEPTACLE	WG	WIRED GLASS
FAAP	FIRE ANNUNCIATOR & ALARM PANEL	R	RISER	WM	WATERMAIN
FAN EX	FAN EXHAUST	RAD	RADIATOR	WRB	WATER RESISTANT BARRIER
FB	FLASHBOLT	RCP	REFLECTED CEILING PLAN	WS	WEATHERSTRIP
FCL	FINISHED CEILING ELEVATION	RD	ROOF DRAIN	WSH	WINDOW SHADE
FD	FLOOR DRAIN	RE-INF	RE-INFORCED	WTB	WHITE BOARD

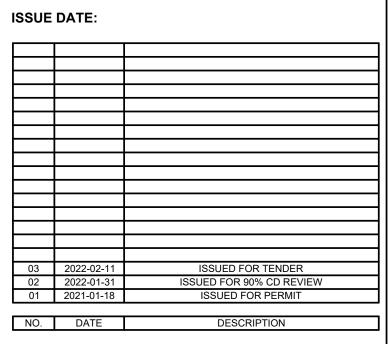


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PROJECT:

Park Manor Public School - Phase 2 Interior and Window Enhancements

WRDSB Tender #7266-RW-22

DRAWING TITLE:

ANNOTATION LEGEND, ABBREVIATIONS, AND GENERAL NOTES

PROJECT NO: 21970

SCALE: N/A

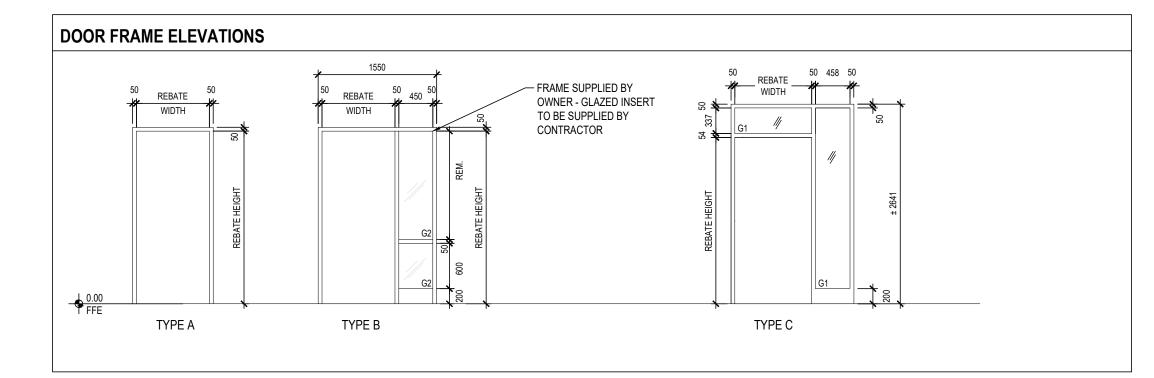
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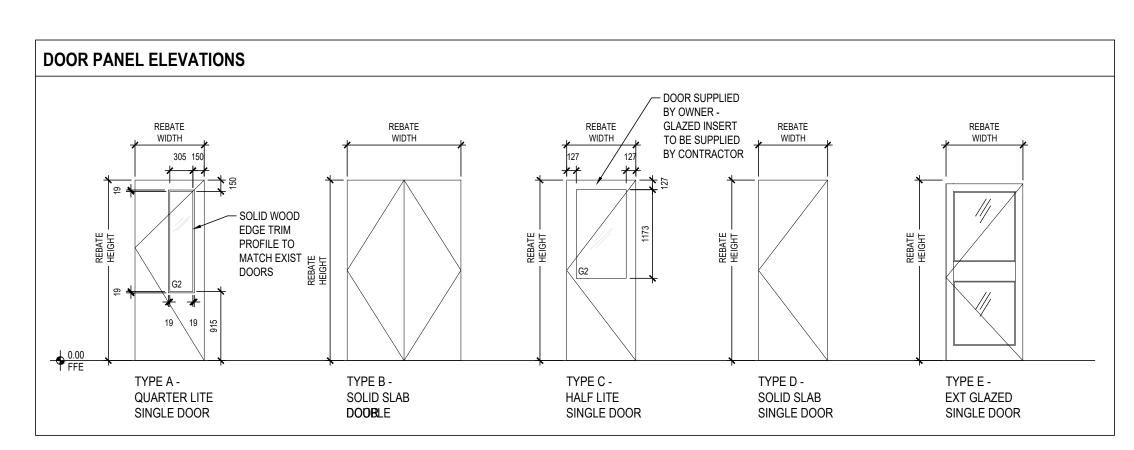
REVIEWED BY: DS

DRAWING NO:

GLAZING SCHEDULE								
ABBREVIATION	DESCRIPTION	MANUFACTURER	PRODUCT	NOTES				
G1	EXTERIOR, DOUBLE GLAZED, TG, LOW-E, TINTED GLASS	GUARDIAN GLASS	SN 54	OUTSIDE: TEMPERED GLASS WITH LOW-E COATING (U 0.29; SHGC 0.38) AIR SPACE: ARGON GAS, WARM EDGE SPACER WITH PORT AT TOP OF UNIT INSIDE: TEMPERED GLASS				
G2	INTERIOR, TLG, NON RATED	-	-	MIN. 10mm TOTAL THICKNESS; TEMPERED AND LAMINATED VISION GLASS USED FOR INTERIOR SCREENS AND DOORS INCLUDE FOR CUSTOM VINYL VISION STRIPS FOR (50mm THICK AT 1500mm AFF)				

WINDOW	LOCATION		WINDOW		WINDOW SIZE		FRAME CON	ISTRUCTION	GLAZING	
NO.	ROOM NAME	ROOM#	TYPE	R.O. WIDTH	R.O. HEIGHT	THICKNESS	MATERIAL	FINISH	TYPE	NOTES
W101	CLASSROOM	NW6	Α	1220	2844	100	AL	AN	G1	SINGLE AWNING, DOUBLE FIXED, ROLLER SHA
W102	CLASSROOM	NW6	Α	1220	2844	100	AL	AN	G1	SINGLE AWNING, DOUBLE FIXED, ROLLER SHA
W103	CLASSROOM	NW6	С	EX	EX	100	AL	AN	G1	DOUBLE HUNG SASH, ROLLER SHADE
W104	CLASSROOM	NW4	D	EX	EX	100	AL	AN	G1	DOUBLE HUNG SASH, ROLLER SHADE
W105	CLASSROOM	NW4	Α	1220	2844	100	AL	AN	G1	SINGLE AWNING, DOUBLE FIXED, ROLLER SHA
W106	CLASSROOM	NW4	Α	1220	2844	100	AL	AN	G1	SINGLE AWNING, DOUBLE FIXED, ROLLER SHA
W107	CLASSROOM	NW2	С	EX	EX	100	AL	AN	G1	DOUBLE HUNG SASH, ROLLER SHADE
W108	CLASSROOM	N12	Α	1220	2844	100	AL	AN	G1	SINGLE AWNING, DOUBLE FIXED, ROLLER SHA
W109	CLASSROOM	N12	Α	1220	2844	100	AL	AN	G1	SINGLE AWNING, DOUBLE FIXED, ROLLER SH
W110	CLASSROOM	N12	С	EX	EX	100	AL	AN	G1	DOUBLE HUNG SASH, ROLLER SHADE
W111	CLASSROOM	N10	В	1220	2438	100	AL	AN	G1	SINGLE AWNING, DOUBLE FIXED, ROLLER SHA
W112	CLASSROOM	N10	В	1220	2438	100	AL	AN	G1	SINGLE AWNING, DOUBLE FIXED, ROLLER SH
W113	CLASSROOM	N10	С	EX	EX	100	AL	AN	G1	DOUBLE HUNG SASH, ROLLER SHADE
W114	CLASSROOM	N8	D	EX	EX	100	AL	AN	G1	DOUBLE HUNG SASH, ROLLER SHADE
W115	CLASSROOM	N4	Е	EX	EX	100	AL	AN	G1	DOUBLE HUNG SASH, ROLLER SHADE
W116	CLASSROOM	N4	В	1220	2438	100	AL	AN	G1	SINGLE AWNING, DOUBLE FIXED, ROLLER SH





WINDOW NOTES

- 1. CONTRACTOR TO CONFIRM ALL FINISHES, LOCATIONS, AND NUMBERS AND NOTIFY CONSULTANT OF ANY DISCREPANCIES.
- 2. ALL EXTERIOR WINDOWS ARE TO BE INSULATED & HAVE THERMALLY BROKEN FRAMES. FILL FRAMES AND SPACE BETWEEN FRAMES AND ADJACENT MATERIALS WITH SPRAY FOAM INSULATION.
- 3. CONTRACTOR TO COORDINATE WINDOW WIDTHS AND DETAILS WITH ON-SITE CONDITIONS. CONTRACTOR TO PRODUCE SHOP DRAWINGS OF WINDOW ASSEMBLIES FOR ARCHITECTS REVIEW.
- 4. THE OPERABLE OPENING TO BE LIMITED TO 185MM, ENSURE THAT OPERABLE FRAME DOES NOT EXTEND PAST THE SURFACE OF THE WALL.
- 6. ALL INTERIOR SILLS TO BE REPLACED. REFER TO INDOW SCHEDULE AND SECTION DETAILS FOR MORE INFORMATION.

OTHERWISE SPECIFIED.

5. ALL GLAZING TO BE TEMPERED UNLESS

HARDWARE LEGEND

- AUTOMATIC DOOR OPENER CC CONCEALED CLOSER COAT HOOK
- CLOSER CLASSROOM LOCK FUNCTION CM CENTRE MULLION CS CARD SWIPE DC DOOR CONTACT DOOR PULL
- PANIC BAR EXIT DEVICE EHO ELECTRIC HOLD OPEN ELECTRIC LATCH ESC ELECTRIC SCREAMER ELECTRIC STRIKE HOLD OPEN, MAGNETIC

DOOR STOP

KICKPLATE, SS. LATCH, LOCKSET OFFICE FUNCTION LOCKSET PUSH BUTTON PANIC HARDWARE

PANIC HARDWARE W/ ALARM OVERRIDE

PUSH / PULL PRV PRIVACY LOCKSET DOOR SIGNAGE THRESHOLD

WS WEATHER STRIPPING

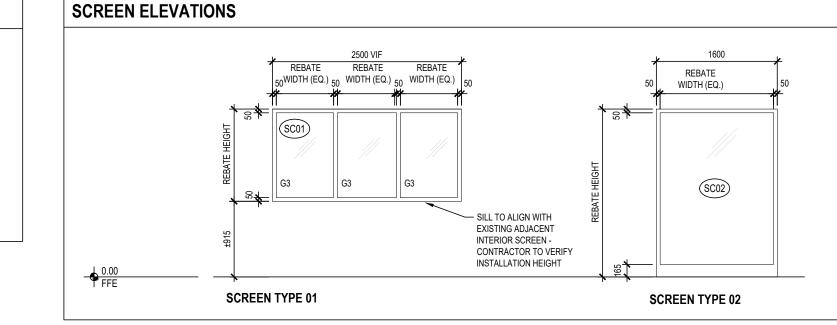
LEGEND

- ALUMINUM CLEAR ANODIZED BATT INSULATION **HOLLOW METAL** POLYISO INSULATION PAINT SCW SOLID CORE WOOD
- CF CLEAR FINISH WD WOOD TEMPERED GLASS TEMPERED LAMINATED GLASS

ST

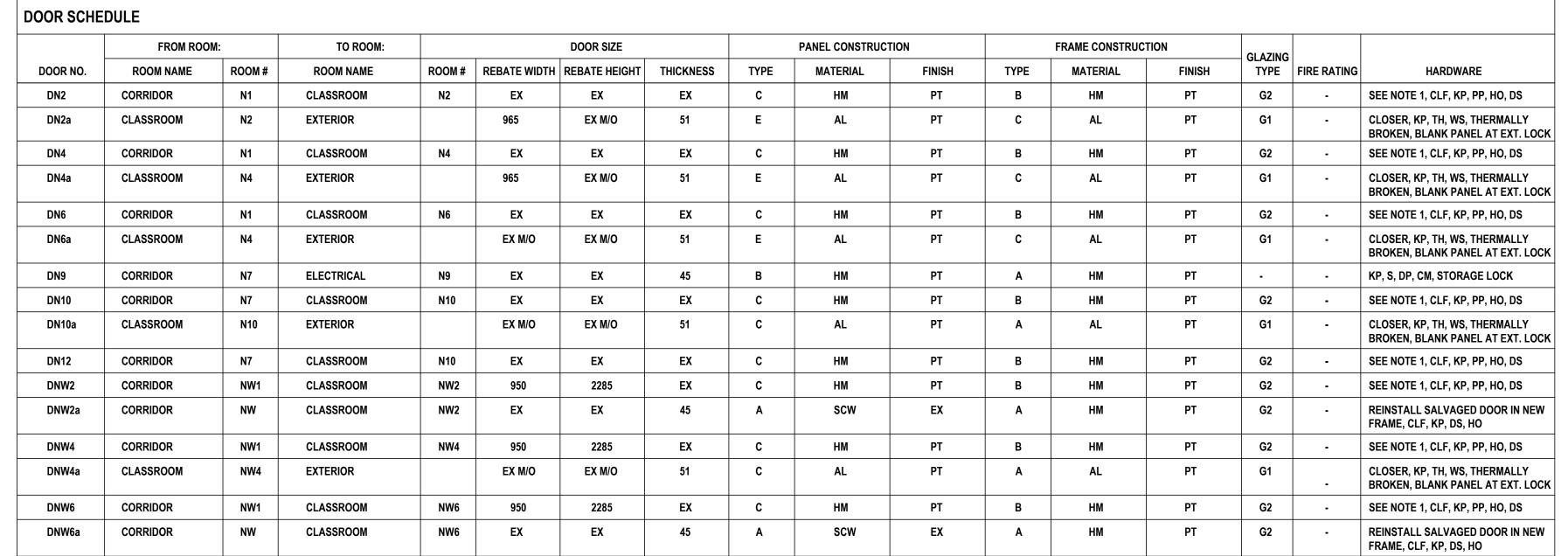
STAIN

FRG FIRE RATED GLASS



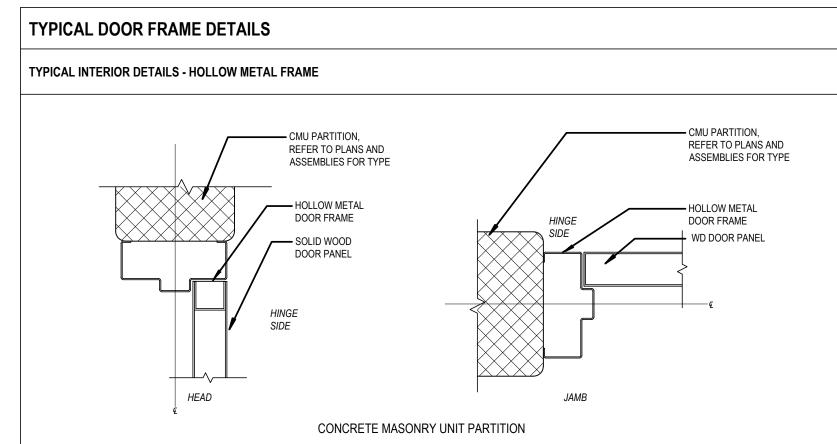
SCREEN SCHEDULE LOCATION **SCREEN SIZE** FRAME CONSTRUCTION GLAZING TYPE | FIRE RATING SCREEN NO. ROOM NAME ROOM # | REBATE WIDTH | REBATE HEIGHT | THICKNESS MATERIAL FINISH SC01 RECEPTION/ADMIN OFFICE 2500 1285 WD-1 CF SC02 CYW 2200 WD-1 CF G2 SC02 VP OFFICE 2200 WD-1 CF G2

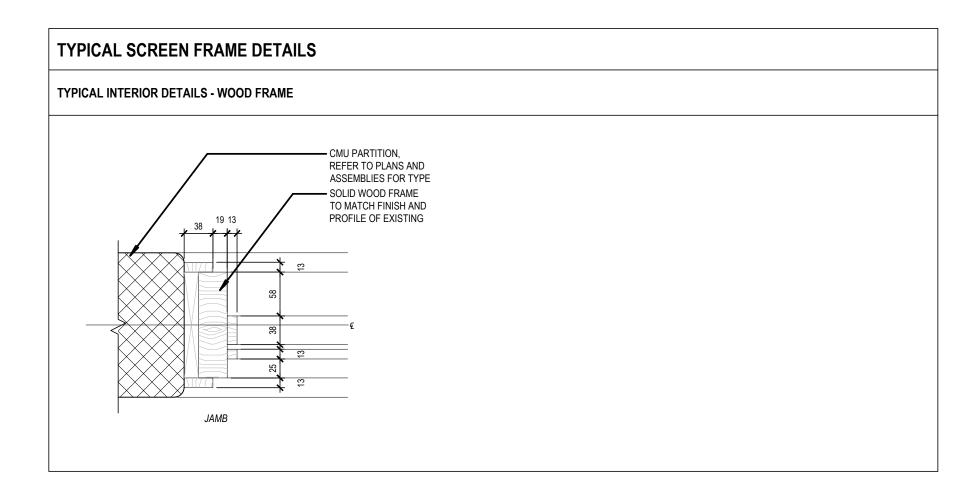
NOTE: CONTRACTOR RESPONSIBLE FOR VERIFYING ALL DIMENSIONS PRIOR TO FABRICATION.

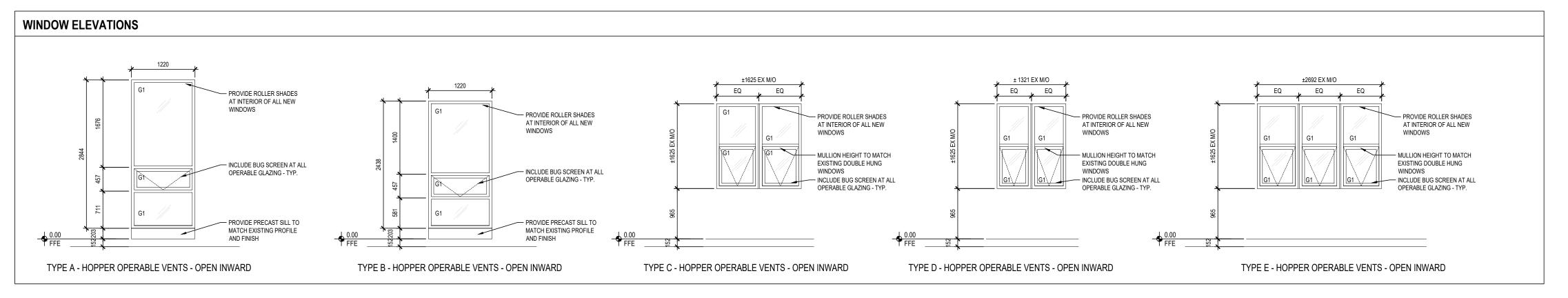


NOTE 1: CLIENT SUPPLIED DOOR AND FRAME. HARDWARE, GLAZING, PAINTING, AND INSTALLATION ONLY OF DOORS AND FRAMES TO BE PROVIDED AS PART OF THIS CONTRACT.

NOTE 2: CONTRACTOR RESPONSIBLE FOR VERIFYING ALL DIMENSIONS PRIOR TO FABRICATION.





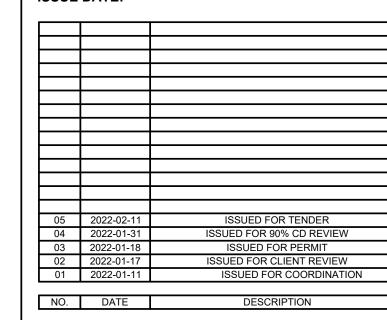


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ISSUE DATE:



PROJECT:

Park Manor Public School - Phase 2 **Interior and Window** Enhancements

WRDSB Tender #7266-RW-22

DRAWING TITLE:

SCHEDULES

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	970 A G

DRAWING NO:

FINISH SCHI					
FLOOR FINISHES	3				
ABBREVIATION	DESCRIPTION	MANUFACTURER	PRODUCT	TYPICAL LOCATION(S)	NOTES
TL-1	PORCELAIN TILE	CENTURA TILE	ACCADEMIA FULL BODY PORCELAIN, 10mm THICK, 60cm X 60cm	CORRIDORS, U.N.O.	COLOR: BELLINI, FINISH: SOFT; SEAL GROUT, CONTACT LIZ LIVINGSTON elivingston@centura.c
VSF-1	VINYL SHEET FLOORING	TARKETT	IQ OPTIMA	CLASSROOMS, U.N.O.	COLOUR: FOGGY SHORES #3242 245
WALL FINISHES			•		
TL-2	PORCELAIN TILE	STONE TILE	NOVA ARQUITECTURA; 5x5cm PRE-FORMED	CORRIDOR NW1, CLASSROOMS NW2, NW6 BACKSPLASH	COLOR: VERDE AQUA #5583; SEAL GROUT
TL-3	PORCELAIN TILE	STONE TILE	NOVA ARQUITECTURA; 5x5cm PRE-FORMED	CORRIDOR N1 BACKSPLASH, CLASSROOMS N2, N6 BACKSPLASH	COLOR: AZUL GELO #5510; SEAL GROUT
TL-4	PORCELAIN TILE	STONE TILE	NOVA ARQUITECTURA; 5x5cm PRE-FORMED	CORRIDOR N7 BACKSPLASH, CLASSROOMS N8, N12 BACKSPLASH	COLOR: AMBAR #5598; SEAL GROUT
PT-1	PAINT	BENJAMIN MOORE ECO SPEC	PAINT COLOUR: TBD	CLASSROOMS, U.N.O.	BLOCK WALLS: 2 COATS LATEX BLOCK FILLER; 2 COATS LATEX WATER-BASED EPOXY
PT-2	PAINT	BENJAMIN MOORE ECO SPEC	ACCENT PAINT COLOUR: TBD	CLASSROOMS, U.N.O.	BLOCK WALLS: 2 COATS LATEX BLOCK FILLER; 2 COATS LATEX WATER-BASED EPOXY
PT-3	PAINT	BENJAMIN MOORE ECO SPEC	MATCH EXISTING PAINT COLOURS	EXISTING CORRIDOR AT AREA OF WORK	BLOCK WALLS: 2 COATS LATEX BLOCK FILLER; 2 COATS LATEX WATER-BASED EPOXY
WALL BASE FINI	SHES				
B-T1	TILE WALL BASE	CENTURA TILE	ACCADEMIA FULL BODY PORCELAIN, BULLNOSE, 60x6.5	CORRIDORS U.N.O.	COLOR: BELLINI, FINISH: SOFT, CONTACT LIZ LIVINGSTON elivingston@centura.ca
B-V1	VINYL WALL BASE	TARKETT	TYPE: TV, 4" TOED	CLASSROOMS, U.N.O.	COLOR: BLACK
CEILING FINISHE	S .				
C1	LAY-IN ACOUSTIC PANELS, 2'x4'	ARMSTRONG	"DUNE"	TYPICAL, U.N.O.	COLOR: WHITE
MILLWORK FINIS	SHES				
PLAM-1	HIGH PRESSURE LAMINATE (HPL)	NEVAMAR	STANDARD HPL, COLOUR: LIMEADE, FINISH "SUEDE"	MAIN OFFICE COUNTER	REFER TO DETAILS FOR REQ'D TRIMS AND PROFILES
PLAM-2	HIGH PRESSURE LAMINATE (HPL)	ABETI LAMINATI	STANDARD HPL, COLOUR: #451, FINISH "SEI"	CORRIDOR NW1, CLASSROOMS NW2, NW6 COUNTERS, SILLS AS NOTED	-
PLAM-3	HIGH PRESSURE LAMINATE (HPL)	PIONITE	STANDARD HPL, COLOUR: BLUEBERRY HILL #SB040, FINISH "SUEDE"	CORRIDOR N1, CLASSROOMS N2, N6 COUNTERS, SILLS AS NOTED	-
PLAM-4	HIGH PRESSURE LAMINATE (HPL)	NEVAMAR	STANDARD HPL, COLOUR: CAFE SIENNA, FINISH "SUEDE"	CORRIDOR N7, CLASSROOMS N8, N12 COUNTERS, SILLS AS NOTED	-
MEL-1	MELAMINE		HARDROCK MAPLE	TYPICAL MILLWORK FINISH THROUGHOUT	PVC EDGES
WD-1	WOOD		FLAT CUT MAPLE TO MATCH GRAIN AND STAIN OF EXISTING	MAIN OFFICE MILLWORK, INTERIOR SCREENS	-
EXTERIOR FINISI	HES		,		
M1	METAL FLASHINGS	-	-	-	FINISH: BLACK
M2	DOORS AND WINDOW FRAMES	-	-	-	FINISH: BLACK ANODIZED TO MATCH EXISTING
M3	METAL SIDING	VICWEST	CL439	W-1 EXTERIOR CLADDING	WEATHER XL FINISH; COLOR: TBD
M4	EXPANDED METAL MESH FENCING	WIRECRAFTER	SYSTEM 840, MESH OPENING SIZE 2"X2"	10 GAUGE WELDED STEEL WIRE FABRIC ENCLOSURE - 3m HIGH ENCLOSURE C/W TWO (2) 1m WIDE LOCKABLE DOORS AND COMPLETE MESH ROOF ENCLOSURE	FINISH: FROM MANUFACTURER'S STANDARD FINISHES



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ISSUE DATE:

05	2022-02-11	ISSUED FOR TENDER
04	2022-01-31	ISSUED FOR 90% CD REVIEW
03	2022-01-18	ISSUED FOR PERMIT
02	2022-01-17	ISSUED FOR CLIENT REVIEW
01	2022-01-11	ISSUED FOR COORDINATION
	•	
NO.	DATE	DESCRIPTION

PROJECT:

Park Manor Public School - Phase 2 Interior and Window Enhancements

WRDSB Tender #7266-RW-22

DRAWING TITLE:

FINISHES

PROJECT NO: 21970

SCALE: N/A

DRAWN BY: JG

REVIEWED BY: DS

DRAWING NO:

F - FLOOR ASSEMBLIES									
TYPE	DIAGRAM	DESCRIPTION	ASSEMBLY-SPECIFIC NOTES	PERFORM	ANCE				
F1		VAR FLOOR FINISH AND UNDERLAY REFER TO FINISH PLANS & SCHEDULE - EXISTING FLOOR SLAB	EXISTING TO REMAIN	FRR STC RATING	REQUIRED -	PROVIDED -			

P - INTERIOR PARTITION AND FURRING ASSEMBLIES

FOR ALL ASSEMBLIES IN THE CONTRACT DOCUMENTS WITH A DESIGNATED LISTING FROM A TESTING AUTHORITY (E.G. ULC) IT IS THE FULL RESPONSIBILITY OF THE TRADE CONTRACTOR AND/OR CONSTRUCTION MANAGER TO INDEPENDENTLY RESEARCH, PROVIDE, AND CONSTRUCT THE COMPLETE PUBLISHED ASSEMBLY AS DESCRIBED BY THE ASSOCIATED TESTING AUTHORITIES. THE DESCRIPTION OF THE ASSEMBLIES IN THE CONTRACT DOCUMENTS ARE NOTED "AS BASIS OF DESIGN" AND MAY NOT REPRESENT THE FULL CRITERIA AS DEFINED BY THE TESTING AUTHORITY.

TYPE	DIAGRAM	DESCRIPTION	ASSEMBLY-SPECIFIC NOTES	PERFORM	ANCE	
P1		190mm NON-LOADBEARING CMU - TYP. PAINT FINISH 190mm CMU HOLLOW BLOCK, NORMAL WEIGHT TYPE "N" REFER TO STRUCTURAL PAINT FINISH	REFER TO STRUCTURAL DRAWINGS FOR LATERAL SUPPORT CONNECTIONS AND DETAILS AND LINTEL SUPPORT DETAILS TYPICAL HORIZONTAL AND VERTICAL MORTAR JOINT SPACING TO BE 10mm UNLESS NOTED OTHERWISE PROVIDE BULLNOSE BLOCK AT ALL EXPOSED CORNER, JAMB, AND HEAD CONDITIONS U.N.O. PARTITION TO EXTEND TO U/S OF EXST STRUCTURE U.N.O.	FRR STC RATING	REQUIRED -	PROVIDED 1.5 HR
P1a P1a		190mm NON-LOADBEARING CMU W/FINISH 1 CERAMIC TILE 190mm CMU HOLLOW BLOCK, NORMAL WEIGHT TYPE "N" REFER TO STRUCTURAL PAINT FINISH	REFER TO STRUCTURAL DRAWINGS FOR LATERAL SUPPORT CONNECTIONS AND DETAILS AND LINTEL SUPPORT DETAILS TYPICAL HORIZONTAL AND VERTICAL MORTAR JOINT SPACING TO BE 10mm UNLESS NOTED OTHERWISE PROVIDE BULLNOSE BLOCK AT ALL EXPOSED CORNER, JAMB, AND HEAD CONDITIONS U.N.O. PARTITION TO EXTEND TO U/S OF EXST STRUCTURE U.N.O.	FRR STC RATING	REQUIRED -	PROVIDED 1.5 HR
P1b>		190mm NON-LOADBEARING CMU W/FINISH 2 CERAMIC TILE 190mm CMU HOLLOW BLOCK, NORMAL WEIGHT TYPE "N" REFER TO STRUCTURAL CERAMIC TILE	REFER TO STRUCTURAL DRAWINGS FOR LATERAL SUPPORT CONNECTIONS AND DETAILS AND LINTEL SUPPORT DETAILS TYPICAL HORIZONTAL AND VERTICAL MORTAR JOINT SPACING TO BE 10mm UNLESS NOTED OTHERWISE PROVIDE BULLNOSE BLOCK AT ALL EXPOSED CORNER, JAMB, AND HEAD CONDITIONS U.N.O. PARTITION TO EXTEND TO U/S OF EXST STRUCTURE U.N.O.	FRR STC RATING	REQUIRED -	PROVIDED 1.5 HR
P2	EXISTING CORRIDOR 406 CLASSROOM	102mm NON-LOADBEARING STEEL STUDS WITH 16mm GB (BOTH SIDES) 16mm GB-1 GYPSUM BOARD MUDDED AND TAPED 92mm NON-LOADBEARING STEEL STUD FRAMING @ 406mm O.C. 89mm INS-03 BATT INSULATION GB-1 GYPSUM BOARD MUDDED AND TAPED	 PARTITION TYPE TO BE CONSTRUCTED FROM TOP OF EXISTING 8" CMU PARTITION TO U/S OF EXISTING ROOF STRUCTURE. ALIGN F/O NEW PARTITION WITH CORRIDOR SIDE OF EX CMU PARTITION BELOW. TOP AND BOTTOM OF PARTITION TO BE CAULKED WITH ACOUSTIC SEALANT. EX. PARTITION BELOW SHOWN DASHED 	FRR STC RATING	REQUIRED -	PROVIDED -

W WALL ASSEMBLIES

TYPE	DIAGRAM	DESCRIPTION	ASSEMBLY-SPECIFIC NOTES	PERFORMANCE		
		NEW STANDING SEAM METAL SIDING ON CMU	PARTITION TYPE TO BE CONSTRUCTED ARE	CATEGORY	REQUIRED	PROVIDED
(W1)	EXTERIOR	38mm STANDING SEAM STEEL SIDING ON	AREA OF REMOVED DOOR OPENING.ALIGN F/O NEW WALL WITH F/O ADJ. WALL	FRR	-	-
	N1	THERMALLY BROKEN CLIPS (M3) 76mm ROCKWOOL RIGID INSULATION R-12 SELF- ADHESIVE VAPOUR PERMEABLE AIR BARRIER 190mm CONC BLOCK PAINT FINISH		STC RATING	-	-
	INTERIOR					



C - SUSPENDED CEILING ASSEMBLIES

O OOOI ENDED GEIEING MOGEINBEIEG						Toronto, Ontario, Canada M5T 2E8	
TYPE	DIAGRAM	DESCRIPTION	ASSEMBLY-SPECIFIC NOTES	PERFORMANCE			T: 416 203 7600 F: 416 203 3342 lga-ap.com
		SUSPENDED LAY-IN ACOUSTICAL TILE CEILING	NOTE: ALL ACOUSTICAL TILE GRID SYSTEM	CATEGORY	REQUIRED	PROVIDE	NOTE: This drawing is the property of the architect and may not be
C1	SUPPORTING STRUCTURE VAR 19mm	VAR MAIN BEAM AND CROSS TEE ACOUSTICAL TILE GRID SYSTEM SUPPPORT FRAMING AS REQUIRED C/W WIRE TIE SUPPORTS 19mm AT-1 LAY-IN ACOUSTICAL TILE (610 x 1220mm)	SUPPORT FRAMING AND WIRE TIE HANGERS TO BE HOT-DIPPED GALVANIZED.	FRR	-	-	reproduced or used without the expressed consent of the architect. The contractor shall be responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the architect and obtain
			NOTE: WIRE TIE HANGERS ARE NOT TO BE FASTENED BACK TO METAL ROOF DECKING. CONTRACTOR TO PROVIDE ADDITIONAL FRAMING AS REQUIRED TO SUPPORT CEILING ASSEMBLY AND ASSOCIATED FIXTURES.	STC RATING		-	clarification prior to commencing work. Not for construction unless stamped by the architect and issued for such purpose. DO NOT SCALE DRAWINGS
			NOTE: REFER TO RCP FOR LOCATIONS AND INSTALLATION HEIGHT				

ASSEMBLY GENERAL NOTES

- REFER TO FIRE SEPARATION DRAWINGS FOR REQUIRED FIRE SEPARATION RATINGS. THE CONTRACTOR IS TO ENSURE THE CONTINUITY OF ALL FIRE SEPARATIONS AS REQUIRED.
- THE CONTRACTOR IS TO PROVIDE ULC-LISTED FIRESTOP SYSTEMS AS REQUIRED FOR ALL BUILDING SERVICE PENTRATIONS THROUGH RATED ASSEMBLIES, REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
- THE CONTRACTOR IS TO PROVIDE ULC-LISTED FIRESTOP SYTEMS AS REQUIRED FOR ALL RATED PARTITION ASSEMBLY CONDITIONS.
- ALL WALLS WITHOUT A WALL TAG ARE TO CONSTRUCTED AS PARTITION TYPE P1, UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ALL PARTITION AND FURRING ASSEMBLIES ARE TO EXTEND
- FROM STRUCTURAL DECK/SLAB TO U/S OF STRUCTURAL DECK/SLAB ABOVE. HEIGHT LIMITS FOR NON-LOADBEARING INTERIOR AND EXTERIOR CONCRETEBLOCK
- MASONRY IS TO CONFORM TO OBC 9.20.10.1. REFER TO STRUCTURAL DRAWINGS FOR REINFORCING, LINTELS, AND LATERAL SUPPORT.
- HEIGHT LIMITS OF INTERIOR AND FURRING PARTITION STEEL STUD FRAMING IS TO CONFORM TO OBC 9.24.2.1, OR STEEL STUD SUPPLIER HEIGHT TABLES.
- THE CONTRACTOR IS TO PROVIDE ENGINEERED SHOP DRAWINGS, SIGNED AND SEALED BY A P.ENG LICENSED WITHIN THE PROVICE OF ONTARIO FOR ALL STEEL STUD FRAMING DENOTED AS "WIND-BEARING" OR "STRUCTURAL".
- THE CONTRACTOR IS TO PROVIDE ENGINEERED SHOP DRAWINGS, SIGNED AND SEALED BY A STRUCTURAL P.ENG LICENSED WITHIN THE PROVINCE OF ONTARIO FOR ALL EXTERIOR CLADDING PANEL SYSTEMS, INCLUDING ALL ASSOCIATED SUPPORT FRAMING AND CONNECTIONS.
- THE CONTRACTOR IS TO PROVIDE STRUCTURAL STUD FRAMING AS REQUIRED TO SUPPORT ALL EXTERIOR CURTAINWALL, STOREFRONT GLAZING AND PUNCH WINDOW SYSTEMS, IN ADDITION TO ALL INTERIOR SCREENS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE STUD SPACING AND CONFIGURATION AS REQUIRED TO MEET CURTAINWALL, STOREFRONT, PUNCH WINDOW, AND INTERIOR SCREEN SUPPLIER
- PROVIDE CEMENT BOARD IN LIEU OF GYPSUM BOARD AT ALL ASSEMBLIES TO RECEIVE TILE FINISHES, REFER TO FINISH PLANS.
- IN AREAS WITH HIGH VAPOUR CONTENT (IE. JANITOR ROOMS AND WASHROOMS) PROVIDE MOULD-RESISTANT GYPSUM BOARD IN LIEU OF REGULAR GPYSUM BOARD WHERE PAINT FINISHES ARE INDICATED, REFER TO FINISH PLANS.
- PROVIDE FLEXIBLE BONDED WATERPROOFING AND VAPOUR RETARDER MEMBRANE AT ALL SHOWER AREAS RECEIVING TILE (FLOORS AND WALLS).
- PROVIDE CONT. ACOUSTICAL SEALANT (BOTH SIDES) AT TOP AND BOTTOMOF ALL INTERIOR STUD AND GPYSUM BOARD PARTITIONS. PROVIDE ULC-LISTED SEALANT AT ALL

SEPARATION DRAWINGS.

- RATED PARTITIONS AS REQUIRED, REFER TO FIRE SEPARATION DRAWINGS. ACCESS PANELS LOCATED WITHIN SUSPENDED GYPSUM BOARD CEILING ASSEMBLIES ARE TO BE PAINTED OUT TO MATCH THE SURROUNDING CEILING FINISH. PROVIDE ULC-LISTED ACCESS PANEL WHERE PANEL IS LOCATED IN A RATED CEILING, REFER TO FIRE
- ACCESS PANELS LOCATED WITHIN EXTERIOR SOFFITS ARE TO BE PAINTED OUT TO MATCH
- THE SURROUNDING SOFFIT FINISH. UNLESS NOTED OTHERWISE, ASSEMBLIES ABOVE DOORS, WINDOWS, EXTERIOR OPENINGS

AND INTERIOR SCREENS IS TO BE THE SAME AS THE TYPE DENOTED ON EITHER SIDE.

- PROVIDE 19mm PLYWOOD BLOCKING AS REQUIRED FOR ALL GRAB-BARS AND WALL MOUNTED ACCESSORIES, REFER TO FINISH PLANS AND INTERIOR ELEVATIONS.
- ALL R AND RSI VALUES SHOWN ARE NOMINAL. REFER TO PROJECT MANUAL FOR FULL LISTING OF INSULATION TYPES AND WEATHER BARRIER TYPES.

WEATHER BARRIER AND FLASHING LEGEND

- AWP-1 AIR AND WATER BARRIER, VAPOUR PERMEABLE
- AWV-1 AIR, WATER, AND VAPOUR BARRIER
- _ _ _ _ _ _ _ _ MBR-1 MODIFIED BUILT-UP ROOFING MEMBRANE
- ----FDP-1 FOUNDATION DAMPPROOFING MEMBRANE
- MTF-# METAL FLASHING (# DENOTES TYPE)
- STS-1 SILICONE TRANSITION SYSTEM
- _ . _ . _ . _ . _ . _ . _ TRM-1 TRANSITION MEMBRANE
- · · · · · · · -TWF-1 THRU-WALL FLEXIBLE FLASHING MEMBRANE
- _____
- VCB-1 VAPOUR CONTROL BARRIER, SLABS (15 MIL)
- VCB-2 VAPOUR CONTROL BARRIER, WALLS (6 MIL)
- _ _ _ _ _ _ _ _ VCB-3 VAPOUR CONTROL AND AIR BARRIER, ROOF DECKS (SELF-ADHERED)

GYPSUM BOARD AND SHEATHING LEGEND

GB-1 16mm GYPSUM BOARD

16mm TYPE "X" GYPSUM BOARD, MOULD RESISTANT

GB-5 16mm TYPE "X" GYPSUM BOARD, ABUSE AND MOULD RESISTANT

GB-7 25mm SHAFTWALL LINER PANEL

CB-1 16mm CEMENT BOARD

16mm TILE BACKER BOARD

INSULATION LEGEND

- INS-1 MINERAL FIBRE BOARD INSULATION
- INS-2 MINERAL FIBRE BATT INSULATION
- INS-3 MINERAL FIBRE ACOUSTICAL BATT INSULATION
- INS-4 EXTRUDED POLYSTYRENE BOARD INSULATION
- INS-5 EXTRUDED POLYSTYENER BOAD INSULATION (HIGH-DENSITY)

INS-6 EXTRUDED POLYSTYRENE BOARD INSULATION (CONCRETE-FACED)

- INS-7 POLYISOCYANURATE ROOFING INSULATION
- INS-8 POLYISOCYANURATE ROOFING INSULATION, TAPERED (2% SLOPE)
- INS-9 ROOFING INSULATION COVERBOARD

GB-2 16mm TYPE "X" GYPSUM BOARD

GB-3 16mm TYPE "X" GYPSUM BOARD, ABUSE RESISTANT

16mm TYPE "X" GYPSUM BOARD, HIGH-IMPACT AND MOULD RESISTANT

EP-1 EXTERIOR GRADE PLYWOOD SHEATHING

EG-1 EXTERIOR GRADE GYPSUM SHEATHING

ISSUE DATE:

310 Spadina Ave, Suite 100B

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١	02	2022-01-17	ISSUED FOR CLIENT REVIEW
1	01	2022-01-11	ISSUED FOR COORDINATION

DESCRIPTION

PROJECT:

NO. DATE

Park Manor Public School - Phase 2 Interior and Window Enhancements

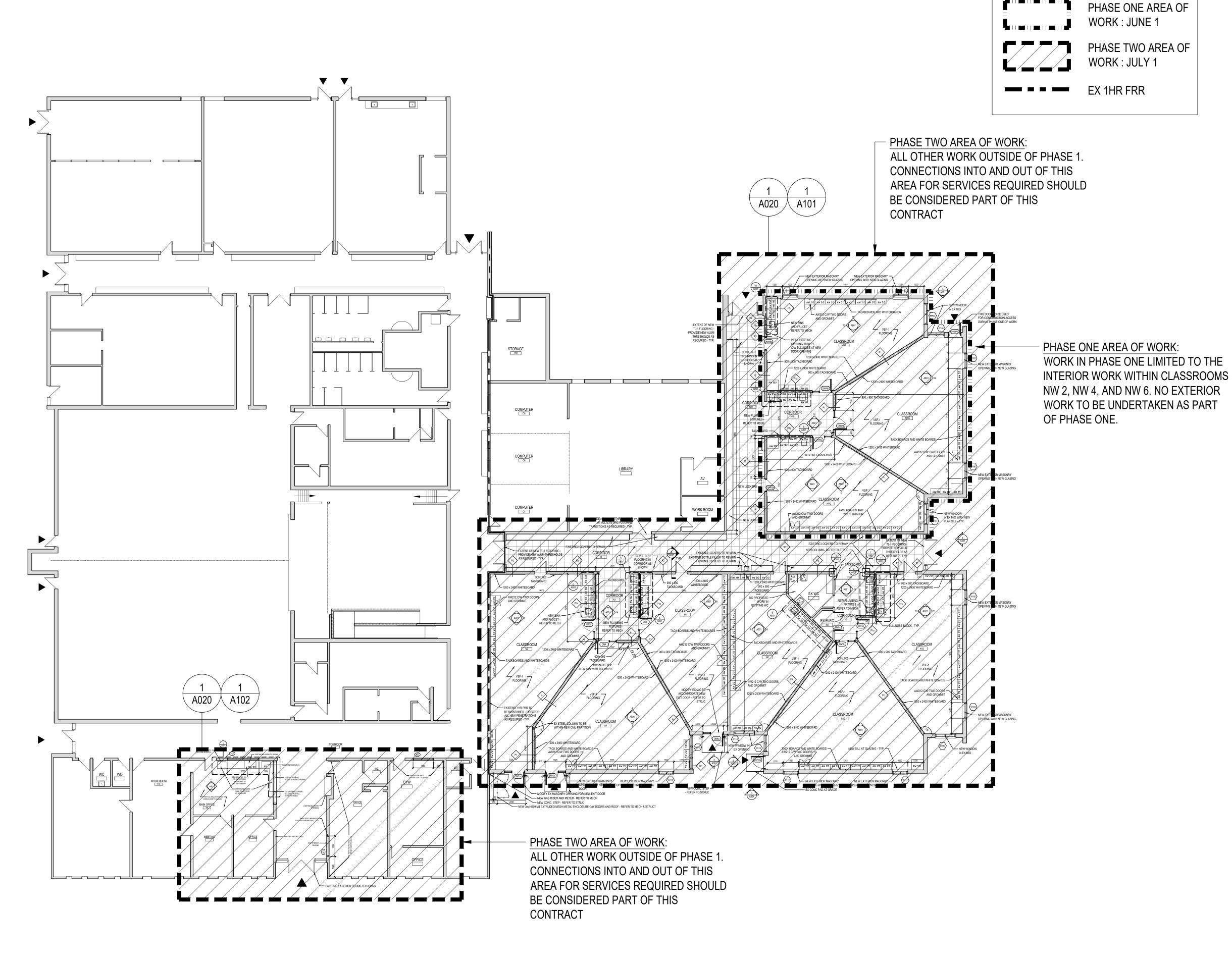
WRDSB Tender #7266-RW-22

DRAWING TITLE:

ASSEMBLIES AND **LEGENDS**

PROJECT NO: 21970 SCALE: DRAWN BY: REVIEWED BY: DS

DRAWING NO:



A OF

PLAN LEGEND

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partners

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ISSUE DATE:

07 2022-02-11 ISSUED FOR TENDER
06 2022-01-31 ISSUED FOR 90% CD REVIEW
05 2022-01-18 ISSUED FOR PERMIT
04 2022-01-17 ISSUED FOR CLIENT REVIEW
03 2022-01-11 ISSUED FOR COORDINATION
02 2021-12-20 ISSUED FOR 100% DD
01 2021-12-09 ISSUED FOR COORDINATION
NO. DATE DESCRIPTION

PROJECT:

Park Manor Public School - Phase 2 Interior and Window Enhancements

WRDSB Tender #7266-RW-22

DRAWING TITLE:

GROUND FLOOR PLAN - AREAS OF WORK

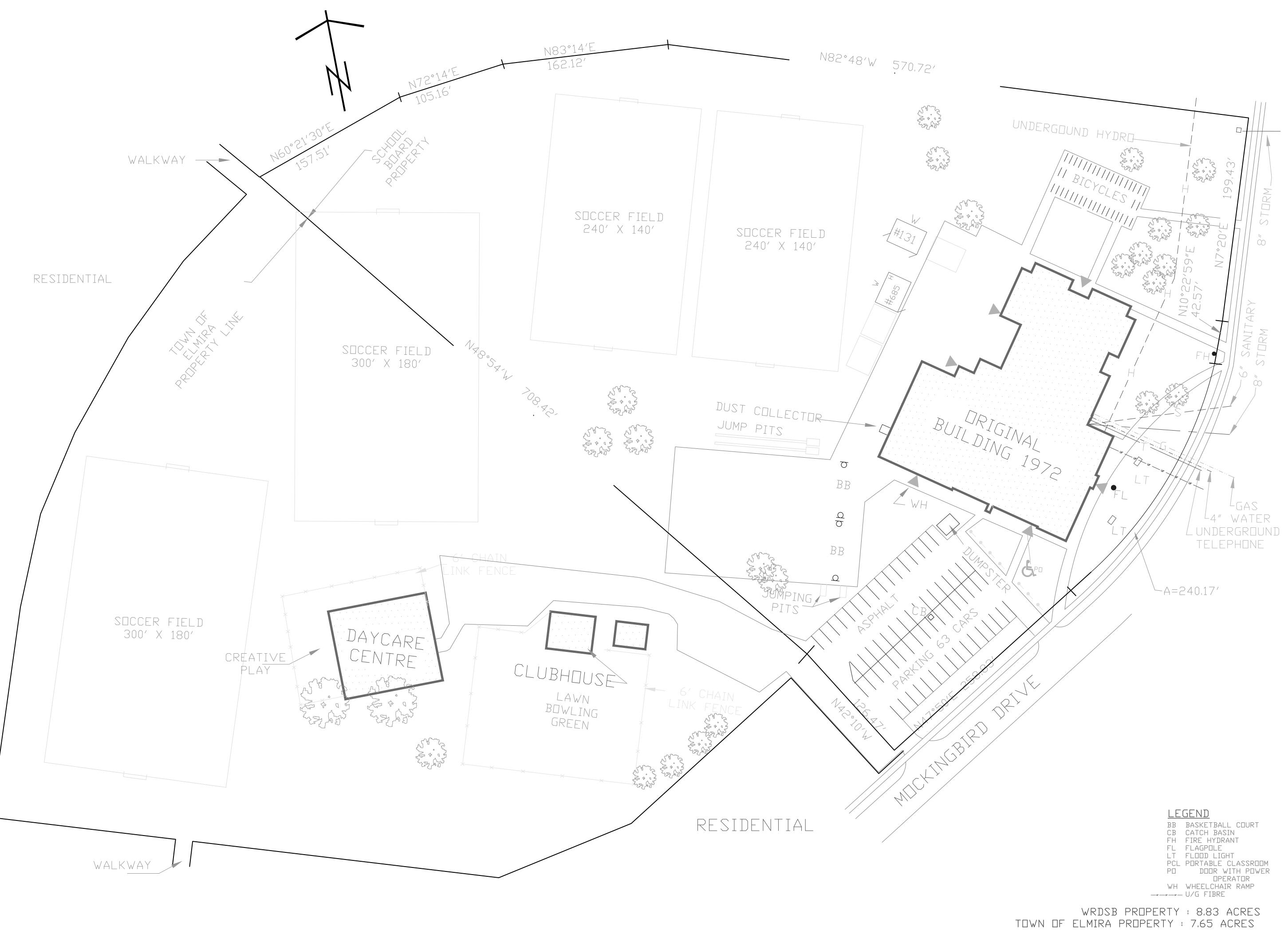
PROJECT NORTH:

PROJECT NO: 21970 SCALE: 1:150 DRAWN BY: JG

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A006

REVIEWED BY: DS

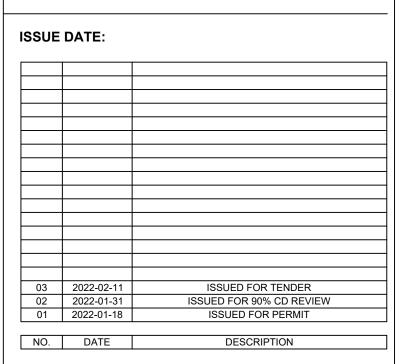


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PROJECT:

Park Manor Public School - Phase 2 Interior and Window Enhancements

WRDSB Tender #7266-RW-22

DRAWING TITLE:

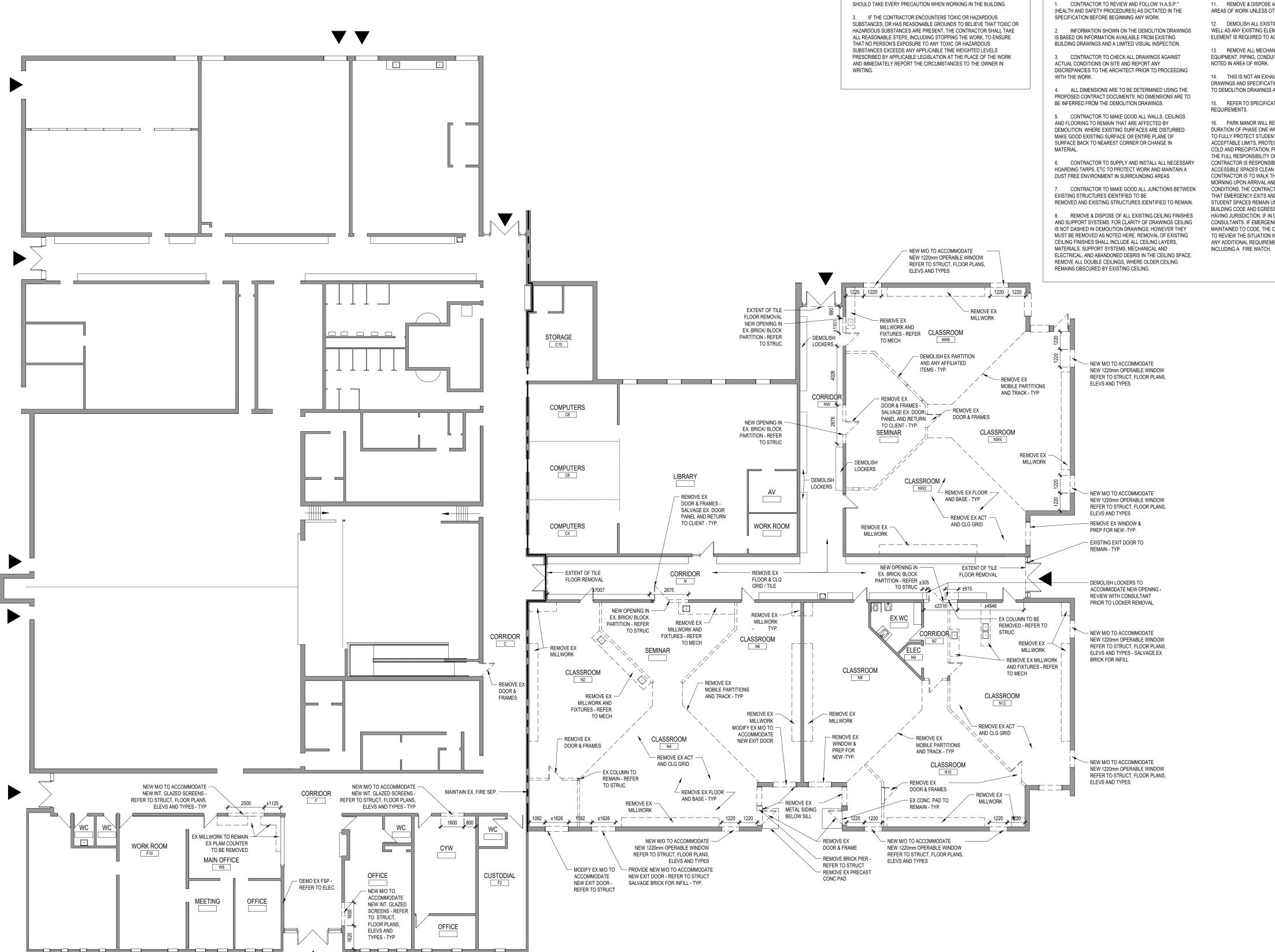
SITE PLAN

PROJECT NO:	21970	
SCALE:	N/A	
DRAWN BY:	JG	
REVIEWED BY:	DS	

DRAWING NO:

A010

NOTE: NO SITE WORK PROPOSED, NO CHANGE TO BUILDING FOOTPRINT



GROUND FLOOR - DEMOLITION PLAN A020 / 1 : 150

NOTES ON DESIGNATED SUBSTANCES: **GENERAL DEMOLITION NOTES:**

THE DEMOLITION DRAWINGS ILLUSTRATE A GENERAL SCOPE OF

WORK. IT IS THE FULL RESPONSIBILITY OF THE CONTRACTOR

TO DETERMINE THE FULL SCOPE OF DEMOLITION REQUIRED

USING EXISTING CONDITIONS AND THE COMPLETE CONTRACT

DOCUMENT SETS INCLUSIVE OF ALL DISCIPLINES INCLUDING

BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL. MECHANICAL, AND ELECTRICAL TO ACHIEVE THE FINAL SCOPE

ABATEMENT OF ALL DESIGNATED SUBSTANCES WITHIN AREAS OF WORK AS IDENTIFIED BY THE MTE REPORT DATED FEB 1, 2019 TO BE CONSIDERED PART OF THE CONTRACT. FOR ALL DESIGNATED SUBSTANCES FOUND WITHIN THE AREA OF WORK AND NOT NOTED IN THE AFOREMENTIONED REPORT, REFER TO THE CASH ALLOWANCES OUTLINED IN THE SPECIFICATION.

2. IN NO WAY SHOULD THE CONTRACTOR ASSUME IT OTHERWISE TO BE 100% FREE OF DESIGNATED SUBSTANCES AND AS SUCH THE CONTRACTOR SHOULD TAKE EVERY PRECAUTION WHEN WORKING IN THE BUILDING.

REMOVE & DISPOSE OF ALL ABANDONED SERVICES -FIXTURES, EQUIPMENT, CONDUITS, PIPE, WIRING, ETC. (INTERIOR AND EXTERIOR) IN AREAS OF WORK. 10. REMOVE & DISPOSE OF ALL EXISTING MILLWORK,

FURNITURE, LOOSE MISCELLANEOUS ARTICLES AND EQUIPMENT IN AREAS OF WORK UNLESS OTHERWISE NOTED. 11. REMOVE & DISPOSE ALL EXISTING SIGNAGE WITHIN

AREAS OF WORK UNLESS OTHERWISE NOTED. 12. DEMOLISH ALL EXISTING ELEMENTS SHOWN HERE AS

WELL AS ANY EXISTING ELEMENT WHERE DEMOLITION OF THE ELEMENT IS REQUIRED TO ACCOMMODATE THE NEW WORK. 13. REMOVE ALL MECHANICAL SYSTEMS, FIXTURES, EQUIPMENT, PIPING, CONDUIT, DUCTWORK, ETC., UNLESS NOTED IN AREA OF WORK.

14. THIS IS NOT AN EXHAUSTIVE LIST. TO BE READ WITH ALL DRAWINGS AND SPECIFICATIONS (INCLUDING BUT NOT LIMITED TO DEMOLITION DRAWINGS AND SPEC SECTIONS). REFER TO SPECIFICATIONS FOR ADDITIONAL

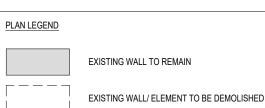
16. PARK MANOR WILL REMAIN OPERATIONAL THROUGH THE DURATION OF PHASE ONE WORK. CONTRACTOR IS REQUIRED TO FULLY PROTECT STUDENTS FROM DUST & DEBRIS, NOISE TO ACCEPTABLE LIMITS, PROTECTION FROM WEATHER INCLUDING COLD AND PRECIPITATION. PROTECTION MEASURES WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE TO KEEP ALL PUBLIC ACCESSIBLE SPACES CLEAN AND FREE OF DEBRIS. THE CONTRACTOR IS TO WALK THE PERIMETER OF THE SITE EACH MORNING UPON ARRIVAL AND AT THE END OF DAY TO INSPECT CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT EMERGENCY EXITS AND EGRESS FROM OCCUPIED STUDENT SPACES REMAIN UN-OBSTRUCTED AND MEET BUILDING CODE AND EGRESS REQUIREMENTS BY AUTHORITIES HAVING JURISDICTION. IF IN DOUBT, DISCUSS WITH THE CONSULTANTS. IF EMERGENCY EXITING CANNOT BE MAINTAINED TO CODE, THE CONTRACTOR WILL BE REQUIRED TO REVIEW THE SITUATION WITH AUTHORITIES AND PROVIDE ANY ADDITIONAL REQUIREMENT AUTHORITIES RECOMMEND,

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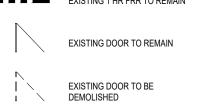
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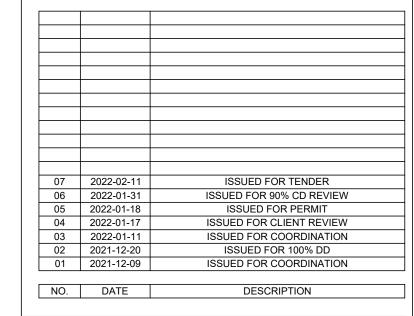
DO NOT SCALE DRAWINGS



EXISTING 1 HR FRR TO REMAIN



ISSUE DATE:



PROJECT:

Park Manor Public School - Phase 2 Interior and Window Enhancements

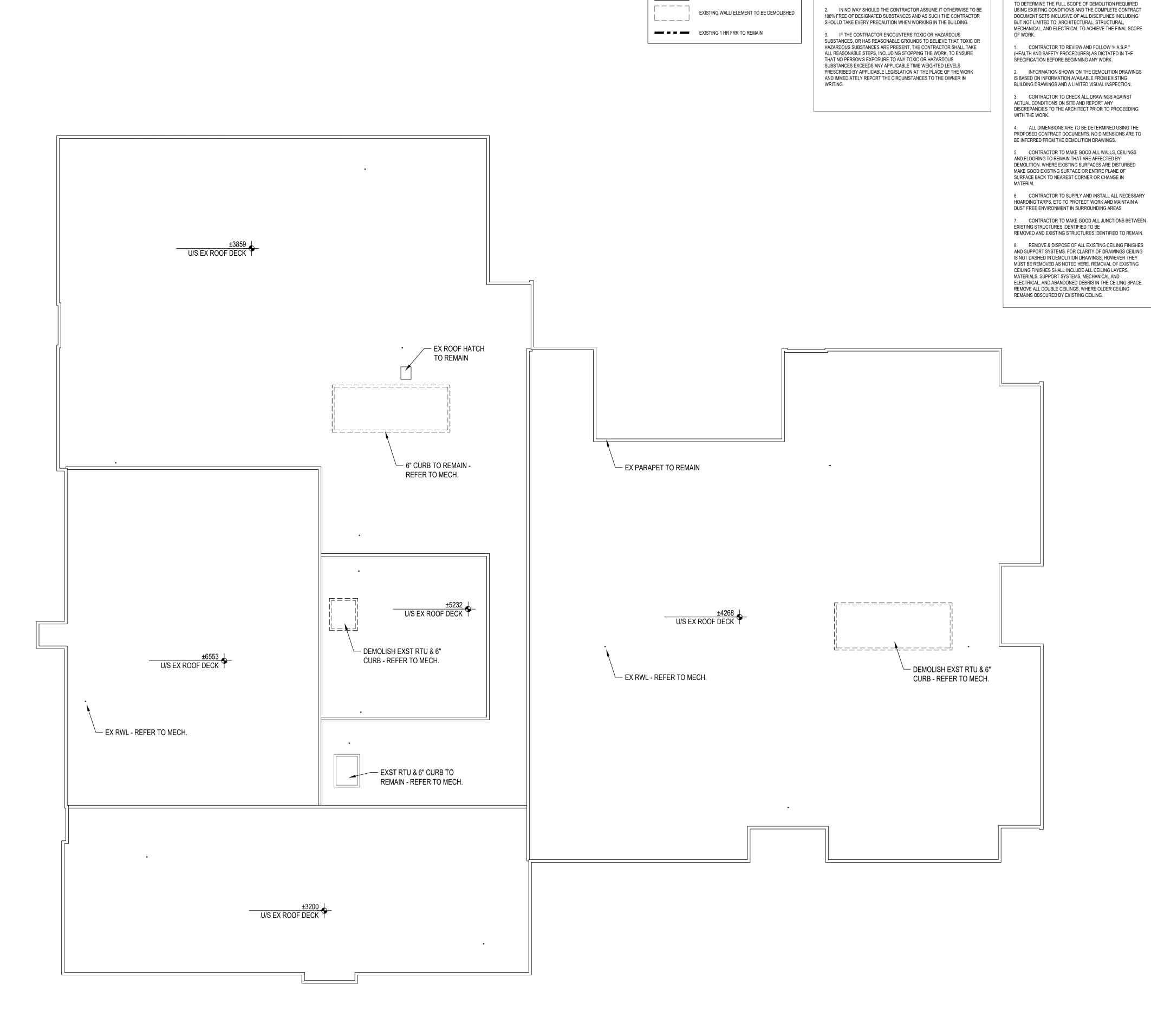
WRDSB Tender #7266-RW-22

DRAWING TITLE:

GROUND FLOOR PLAN - DEMOLITION

PROJECT NO:	21970	PROJECT NOR
SCALE:	1:150	
DRAWN BY:	JG	

REVIEWED BY: DS **DRAWING NO:**



PLAN LEGEND

EXISTING WALL TO REMAIN

NOTES ON DESIGNATED SUBSTANCES:

1. THE SCOPE OF WORK <u>DOES NOT</u> ENTAIL THE REMOVAL OF

GENERAL DEMOLITION NOTES:

THE DEMOLITION DRAWINGS ILLUSTRATE A GENERAL SCOPE OF

WORK. IT IS THE FULL RESPONSIBILITY OF THE CONTRACTOR

REMOVE & DISPOSE OF ALL ABANDONED SERVICES -

REMOVE & DISPOSE OF ALL EXISTING MILLWORK,

EQUIPMENT IN AREAS OF WORK UNLESS OTHERWISE NOTED.

11. REMOVE & DISPOSE ALL EXISTING SIGNAGE WITHIN

DEMOLISH ALL EXISTING ELEMENTS SHOWN HERE AS

WELL AS ANY EXISTING ELEMENT WHERE DEMOLITION OF THE

ELEMENT IS REQUIRED TO ACCOMMODATE THE NEW WORK.

REMOVE ALL MECHANICAL SYSTEMS, FIXTURES,

14. THIS IS NOT AN EXHAUSTIVE LIST. TO BE READ WITH ALL DRAWINGS AND SPECIFICATIONS (INCLUDING BUT NOT LIMITED

16. PARK MANOR WILL REMAIN OPERATIONAL THROUGH THE

DURATION OF PHASE ONE WORK. CONTRACTOR IS REQUIRED TO FULLY PROTECT STUDENTS FROM DUST & DEBRIS, NOISE TO

ACCEPTABLE LIMITS, PROTECTION FROM WEATHER INCLUDING COLD AND PRECIPITATION. PROTECTION MEASURES WILL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR. THE

MORNING UPON ARRIVAL AND AT THE END OF DAY TO INSPECT

CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE

MAINTAINED TO CODE, THE CONTRACTOR WILL BE REQUIRED

TO REVIEW THE SITUATION WITH AUTHORITIES AND PROVIDE

ANY ADDITIONAL REQUIREMENT AUTHORITIES RECOMMEND,

THAT EMERGENCY EXITS AND EGRESS FROM OCCUPIED

STUDENT SPACES REMAIN UN-OBSTRUCTED AND MEET
BUILDING CODE AND EGRESS REQUIREMENTS BY AUTHORITIES

HAVING JURISDICTION. IF IN DOUBT, DISCUSS WITH THE

CONSULTANTS. IF EMERGENCY EXITING CANNOT BE

INCLUDING A FIRE WATCH.

EQUIPMENT, PIPING, CONDUIT, DUCTWORK, ETC., UNLESS

TO DEMOLITION DRAWINGS AND SPEC SECTIONS).

15. REFER TO SPECIFICATIONS FOR ADDITIONAL

CONTRACTOR IS RESPONSIBLE TO KEEP ALL PUBLIC

ACCESSIBLE SPACES CLEAN AND FREE OF DEBRIS. THE CONTRACTOR IS TO WALK THE PERIMETER OF THE SITE EACH

FIXTURES, EQUIPMENT, CONDUITS, PIPE, WIRING, ETC.

FURNITURE, LOOSE MISCELLANEOUS ARTICLES AND

(INTERIOR AND EXTERIOR) IN AREAS OF WORK.

AREAS OF WORK UNLESS OTHERWISE NOTED.

NOTED IN AREA OF WORK.

REQUIREMENTS.



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ISSUED FOR 90% CD REVIEW
ISSUED FOR PERMIT

ISSUED FOR CLIENT REVIEW

PROJECT NORTH:

D. DATE

PROJECT:

ISSUE DATE:

Park Manor Public School - Phase 2 Interior and Window Enhancements

WRDSB Tender #7266-RW-22

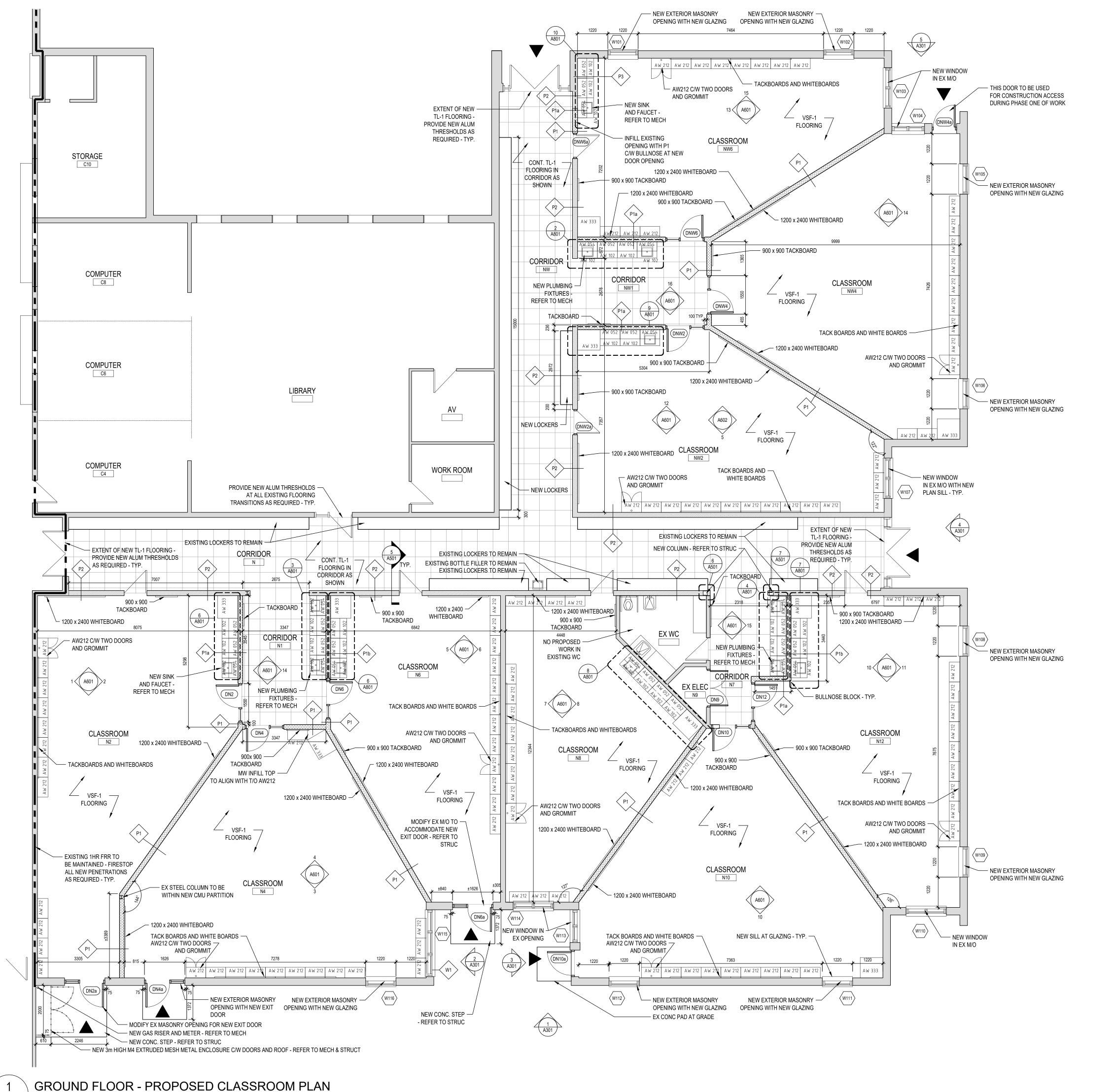
DRAWING TITLE:

ROOF PLAN -DEMOLITION

PROJECT NO: 21970
SCALE: 1:150
DRAWN BY: DS

DRAWING NO:

REVIEWED BY: DS



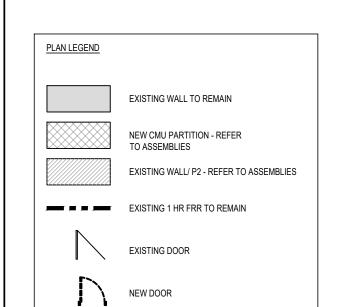
LG/ a

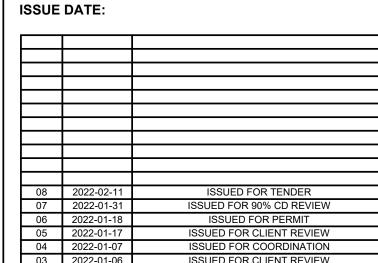
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ISSUED FOR COORDINATION

PROJECT:

Park Manor Public School - Phase 2 Interior and Window Enhancements

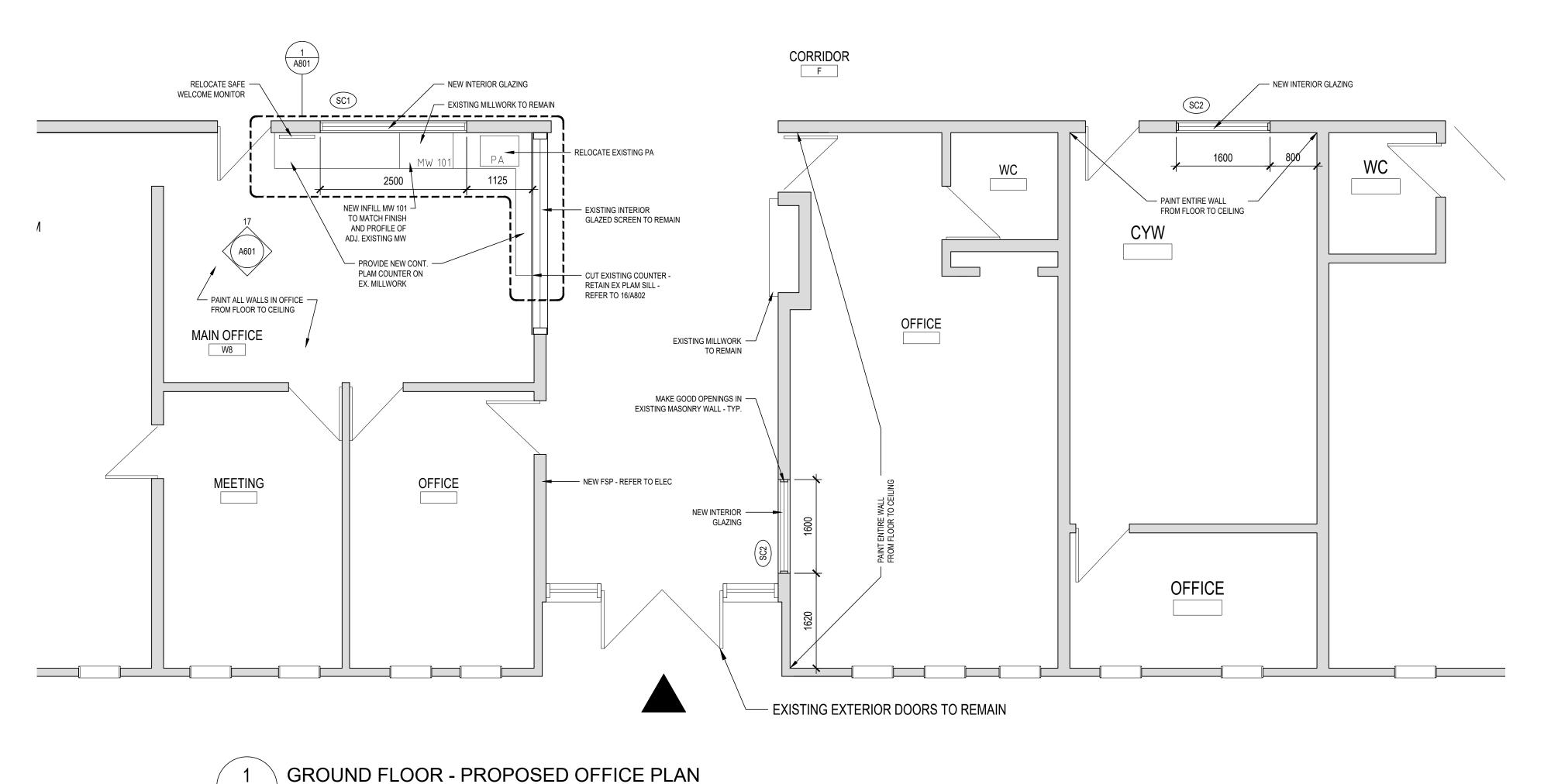
WRDSB Tender #7266-RW-22

DRAWING TITLE:

GROUND FLOOR PLAN - PARTIAL PROPOSED

PROJECT NO:	21970	PROJECT NOF
SCALE:	1:75	
DRAWN BY:	DS	
REVIEWED BY:	DS	

DRAWING NO:



A102 1:50

LGA architectural partners

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ISSUE DATE:

07	2022-02-11	ISSUED FOR TENDER
06	2022-01-31	ISSUED FOR 90% CD REVIEW
05	2022-01-18	ISSUED FOR PERMIT
04	2022-01-17	ISSUED FOR CLIENT REVIEW
03	2022-01-06	ISSUED FOR CLIENT REVIEW
02	2021-12-20	ISSUED FOR 100% DD
01	2021-12-09	ISSUED FOR COORDINATION

PROJECT:

Park Manor Public School - Phase 2 Interior and Window Enhancements

WRDSB Tender #7266-RW-22

DRAWING TITLE:

GROUND FLOOR PLAN - PARTIAL PROPOSED

PROJECT NO: 21970 PROJECT NORTH:

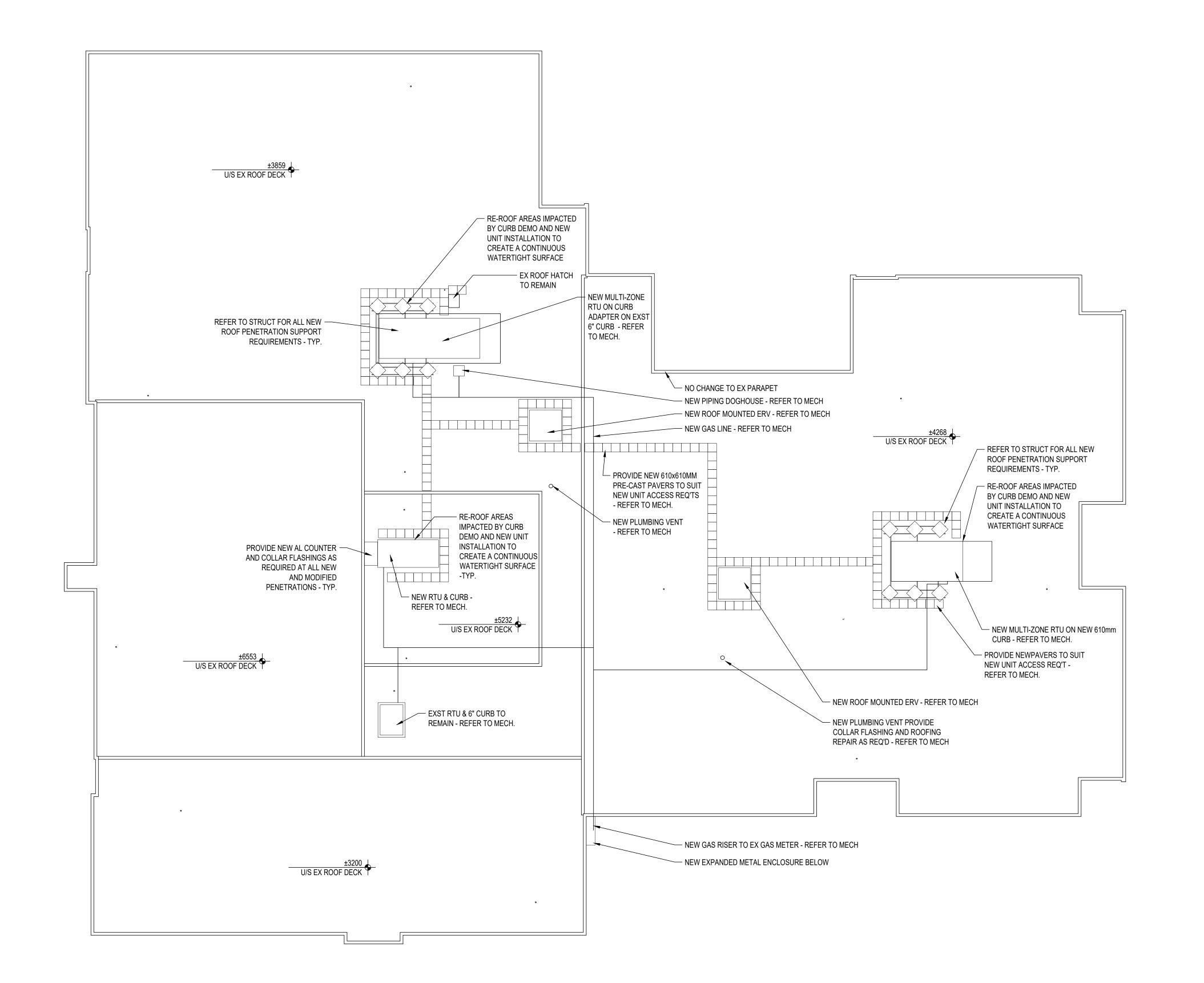
SCALE: 1:50

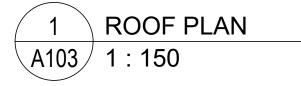
DRAWN BY: JG

DRAWING NO:

A102

REVIEWED BY: DS



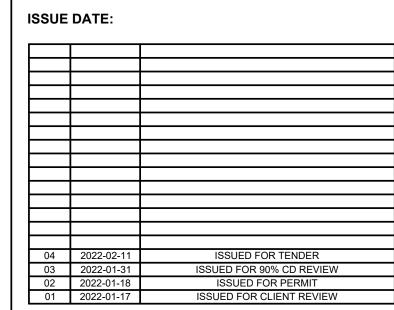




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PROJECT:

Park Manor Public School - Phase 2 Interior and Window Enhancements

WRDSB Tender #7266-RW-22

DRAWING TITLE:

ROOF PLAN -PROPOSED

PROJECT NO: 21970
SCALE: 1:150
DRAWN BY: JG

PROJECT NORTH:

DRAWING NO:

A103

REVIEWED BY: DS





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ISSUE DATE:

07	2022-02-11	ISSUED FOR TENDER
06	2022-01-31	ISSUED FOR 90% CD REVIEW
05	2022-01-18	ISSUED FOR PERMIT
04	2022-01-17	ISSUED FOR CLIENT REVIEW
03	2022-01-11	ISSUED FOR COORDINATION
02	2021-12-20	ISSUED FOR 100% DD
01	2021-12-09	ISSUED FOR COORDINATION
	•	_
NO.	DATE	DESCRIPTION

PROJECT:

Park Manor Public School - Phase 2 Interior and Window Enhancements

WRDSB Tender #7266-RW-22

DRAWING TITLE:

PARTIAL GROUND FLOOR REFLECTED CEILING PLAN -PROPOSED

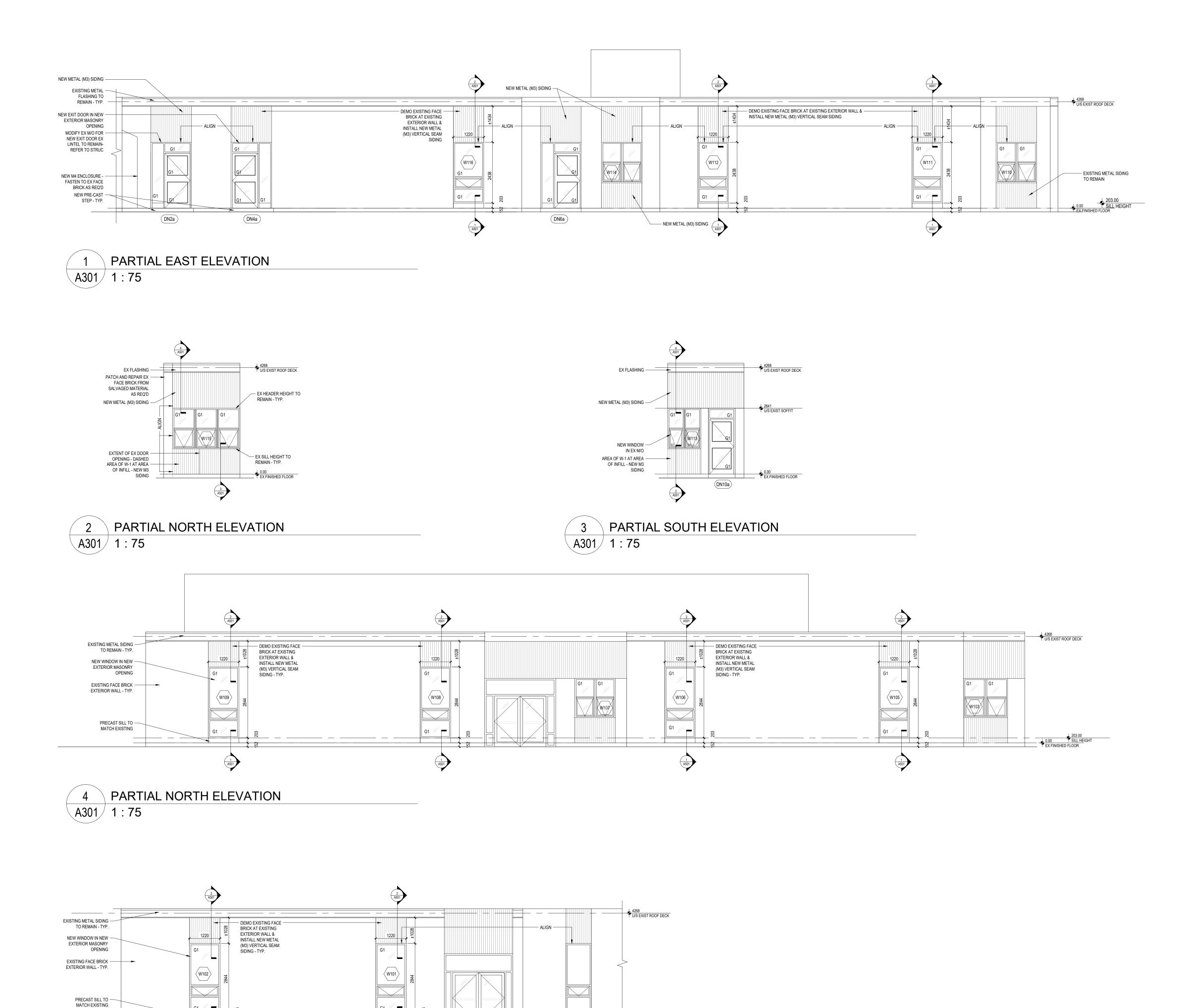
PROJECT NO: 21970 PROJECT NORTH:

SCALE: 1:75

DRAWN BY: MY

REVIEWED BY: DS

DRAWING NO:



PARTIAL WEST ELEVATION

A301 1 : 75

architectural partners

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ISSUED FOR TENDER
ISSUED FOR 90% CD REVIEW
ISSUED FOR PERMIT
ISSUED FOR CLIENT REVIEW

PROJECT:

ISSUE DATE:

Park Manor Public School - Phase 2 Interior and Window Enhancements

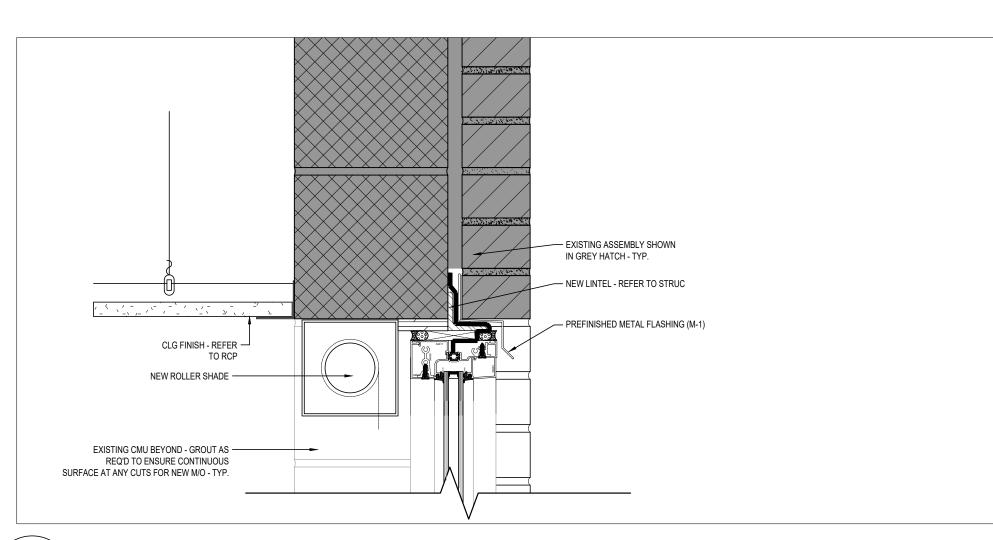
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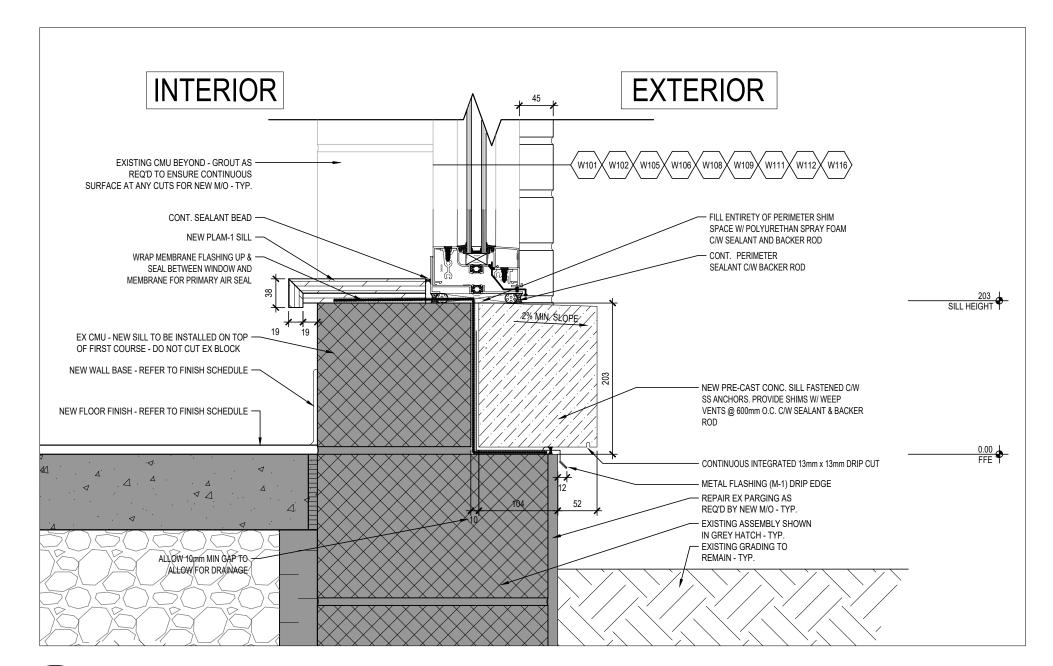
PARTIAL EXTERIOR ELEVATIONS -PROPOSED

PROJECT NO: 21970
SCALE: 1:75
DRAWN BY: DS
REVIEWED BY: DS

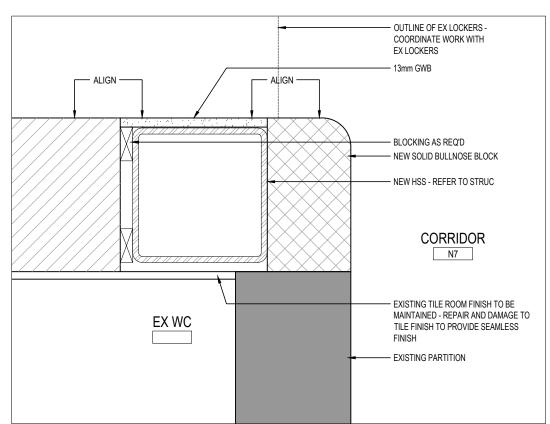
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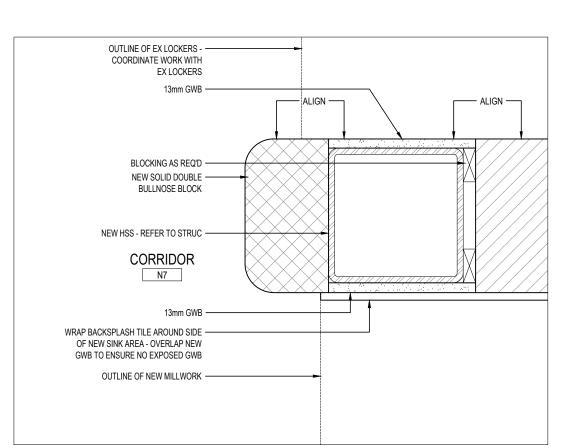
SECTION DETAIL AT HEADER OF NEW M/O A501 1:5



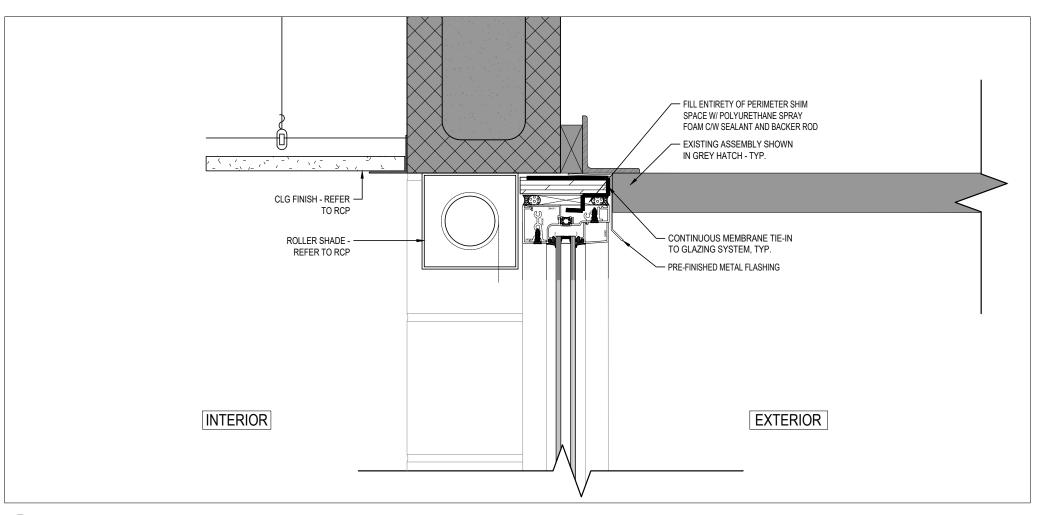
SECTION DETAIL AT SILL OF NEW M/O A501 1:5



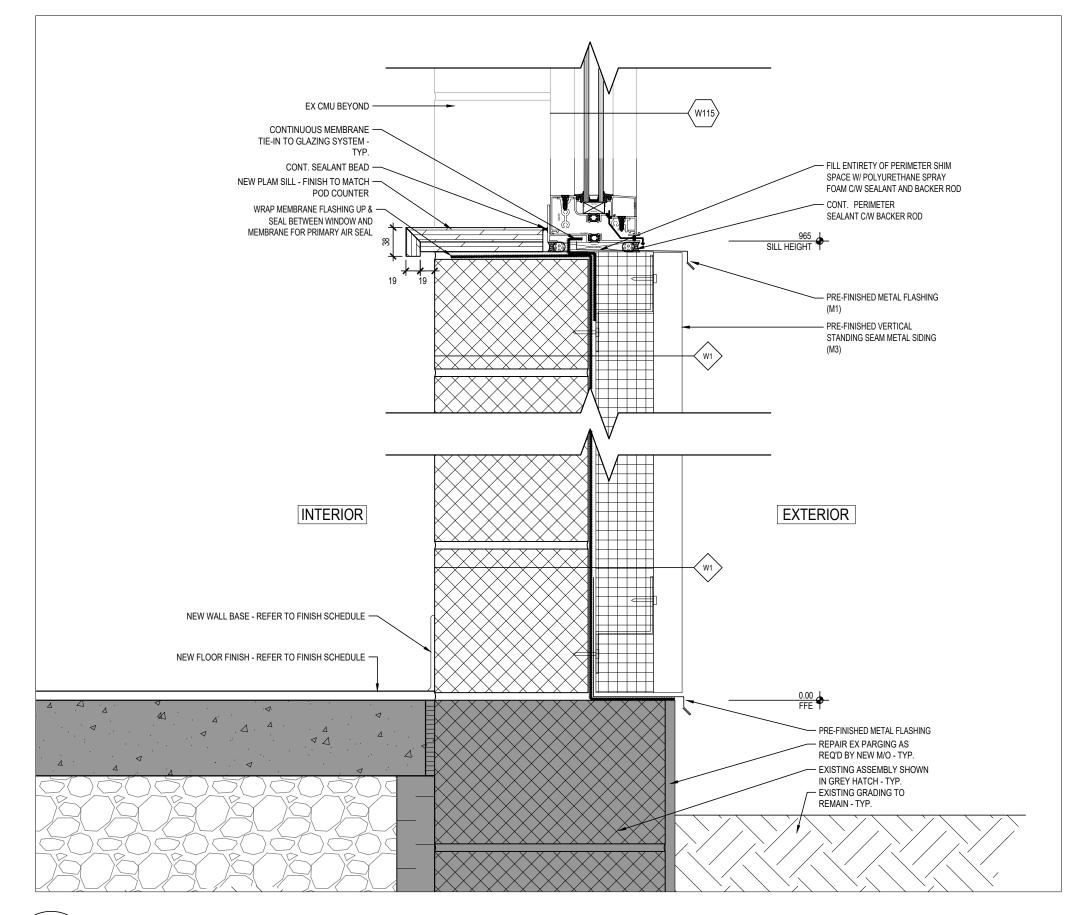
PLAN DETAIL AT NEW HSS A501 1:5



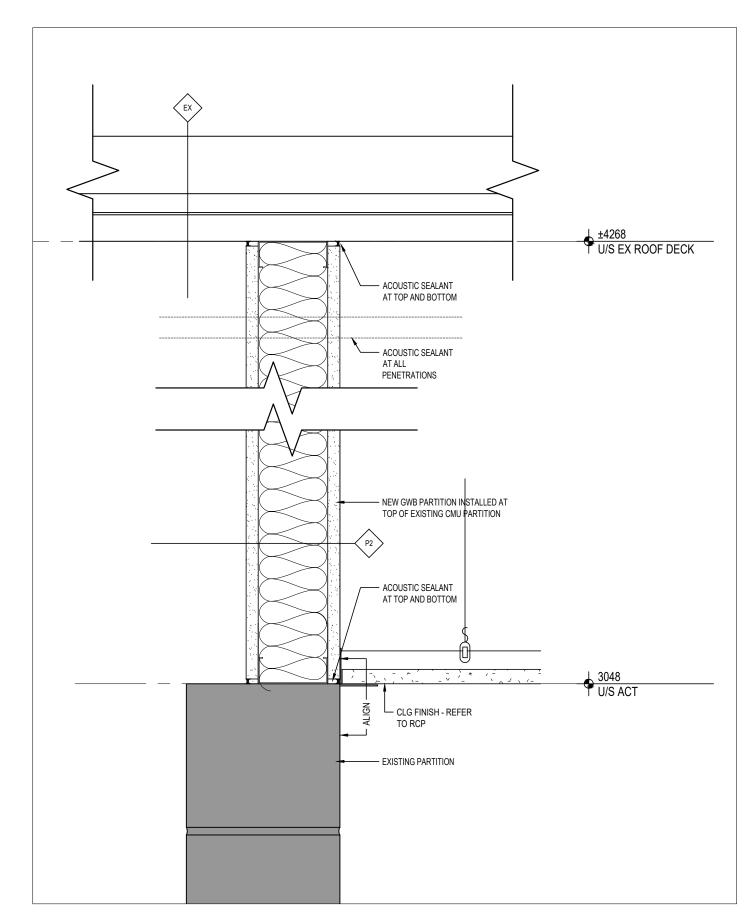
PLAN DETAIL AT NEW HSS A501 1:5



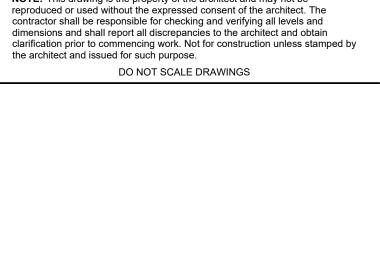
SECTION DETAIL AT HEADER OF NEW M/O A501 1:5



SECTION DETAIL AT SILL OF NEW M/O A501 1:5



SECTION DETAIL AT P2 - TYP. A501 1 : 5

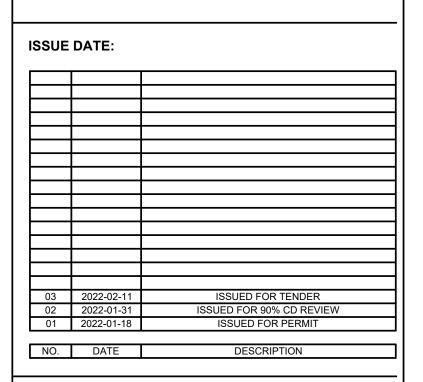


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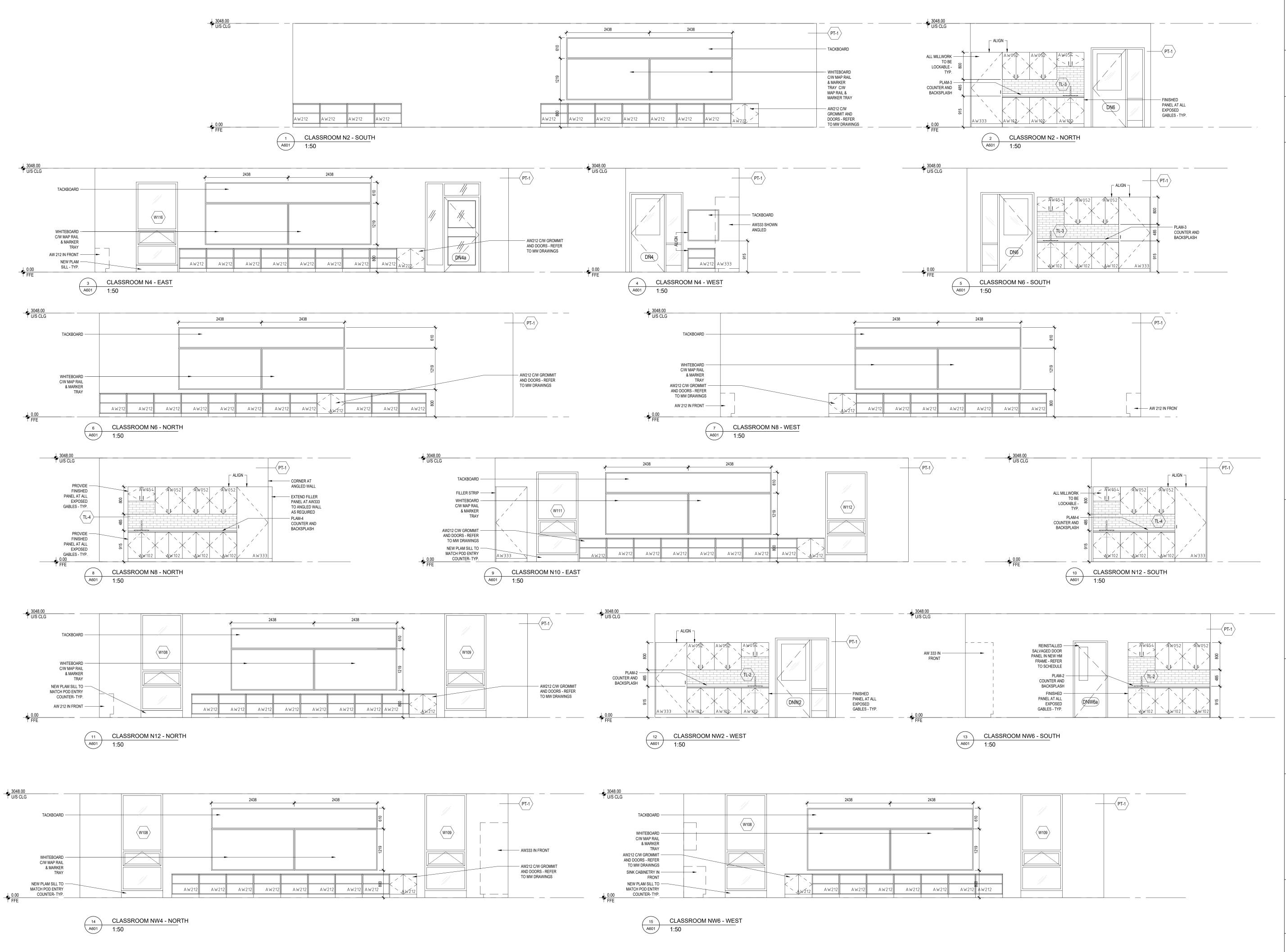
DRAWING TITLE:

EXTERIOR DETAILS

PROJECT NO: 21970 **AS NOTED** SCALE: **DRAWN BY:** REVIEWED BY: DS

DRAWING NO:





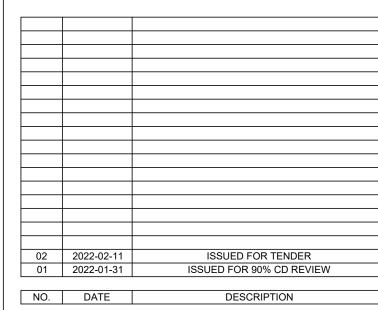


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PROJECT:

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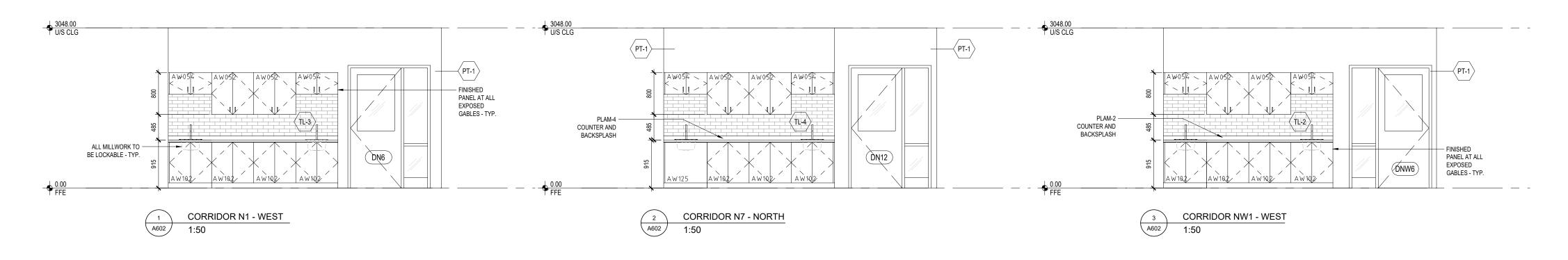
WRDSB Tender #7266-RW-22

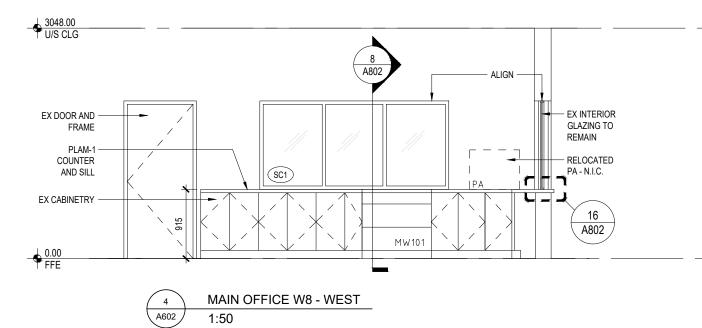
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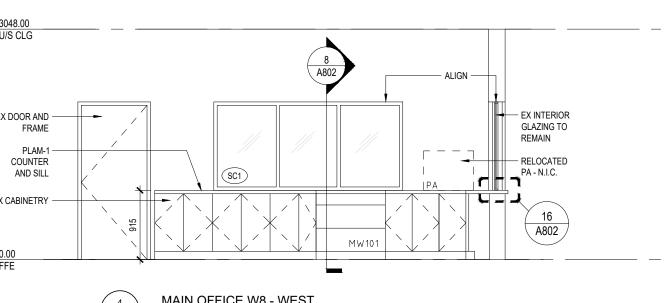
INTERIOR ELEVATIONS -PROPOSED

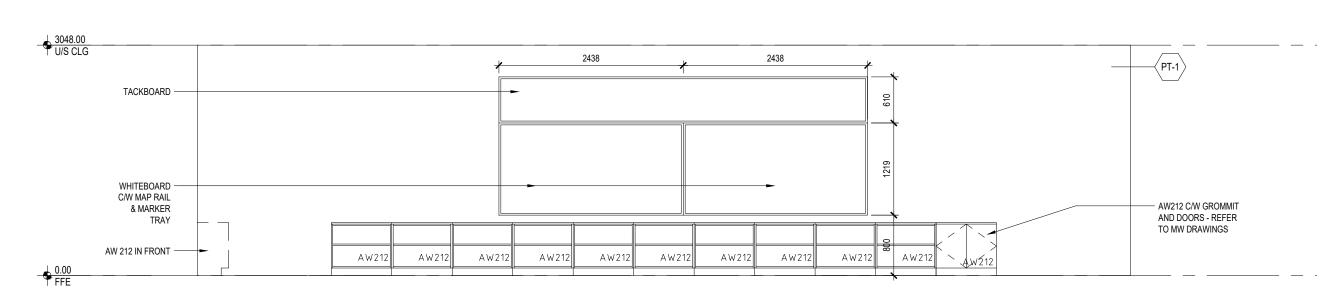
PROJECT NO: 21970
SCALE: 1:50
DRAWN BY: DS
REVIEWED BY: DS

DRAWING NO:

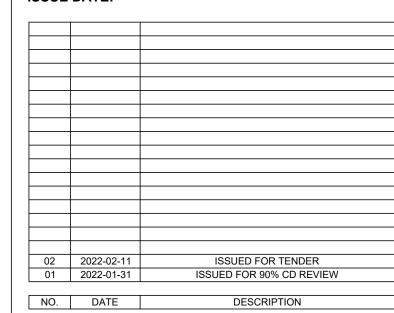








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PROJECT:

Park Manor Public School - Phase 2 Interior and Window Enhancements

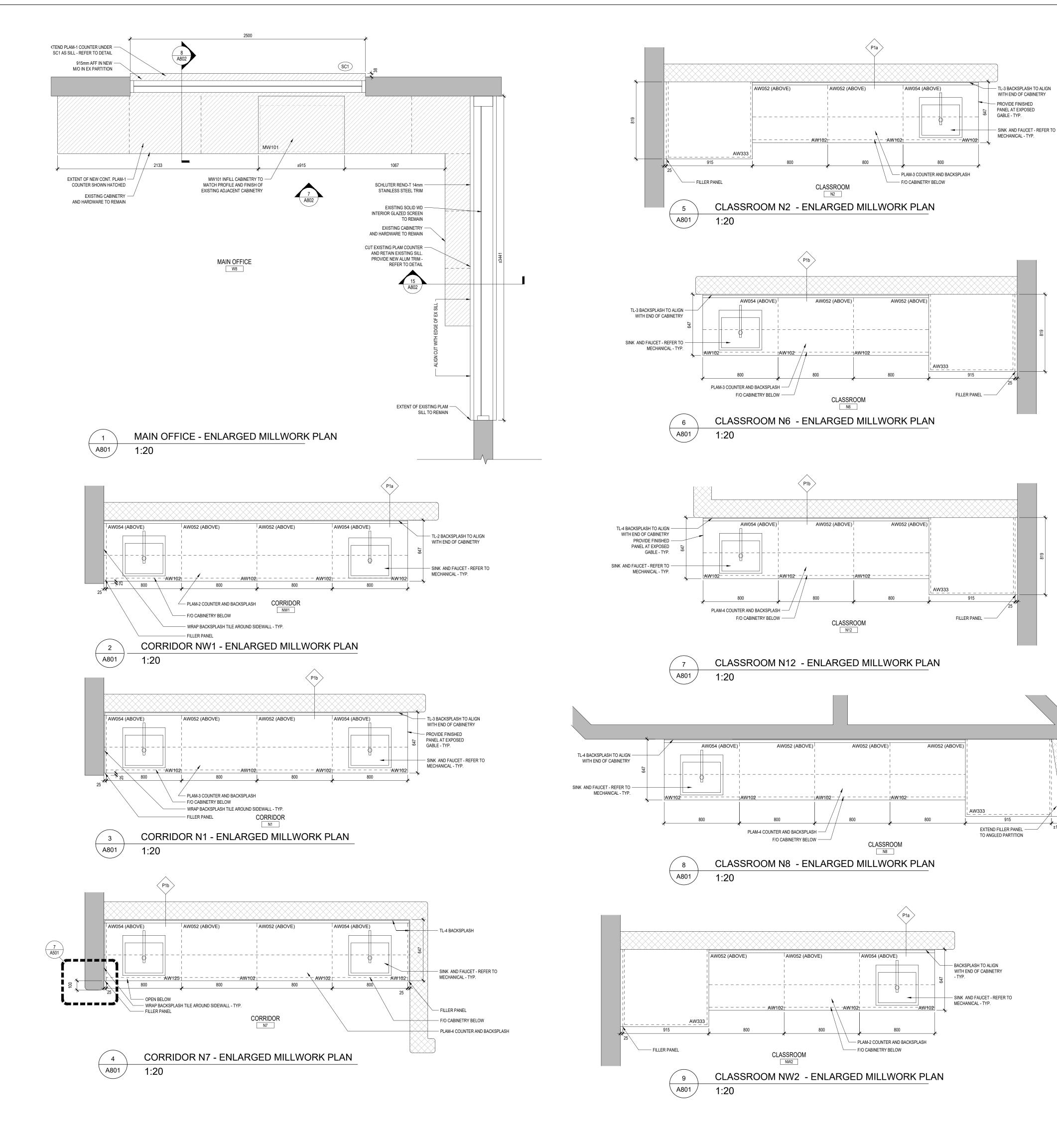
WRDSB Tender #7266-RW-22

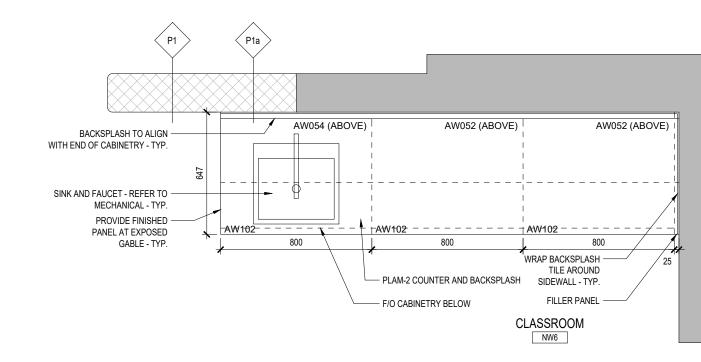
DRAWING TITLE:

INTERIOR **ELEVATIONS -**PROPOSED

PROJECT NO: 21970 DRAWN BY: REVIEWED BY: DS

DRAWING NO:





CLASSROOM NW6 - ENLARGED MILLWORK PLAN
1:20

MILLWORK MATERIALS LEGEND

11 STAINLESS STEEL SINK

2 100mm HIGH RUBBER BASE TOE KICK ON 19 VENEER CORE PLYWOOD

15 19mm MELAMINE ADJUSTABLE SHELF WITH 3mm PVC EDGES

16 16mm MELAMINE BACK c/w 3mm PVC EDGE WHERE EXPOSED

17 19mm MELAMINE TOP, BOTTOM c/w 3mm PVC EDGE

22 19mm MELAMINE FIXED SHELF c/w 3mm PVC EDGE

28 PLASTIC LAMINATE ON 19mm PLYWOOD

19mm PLASTIC LAMINATE PANEL DRAWER FRONT c/w 3mm PVC EDGES. REFER

7 POST FORMED PLASTIC LAMINATE COUNTERTOP c/w 76mm HIGH BACKSPLASH

23 19mm PLASTIC LAMINATE DOOR c/w 3mm PVC EDGE ON ALL EXPOSED EDGES

24 19mm PLASTIC LAMINATE PANEL c/w 3mm PVC EDGE ON ALL EXPOSED EDGES

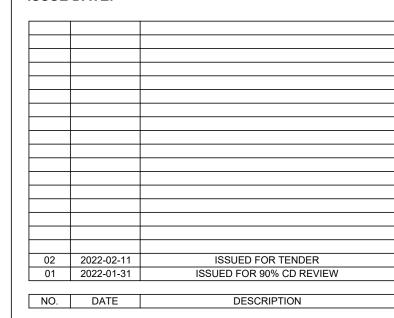
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ISSUE DATE:



PROJECT:

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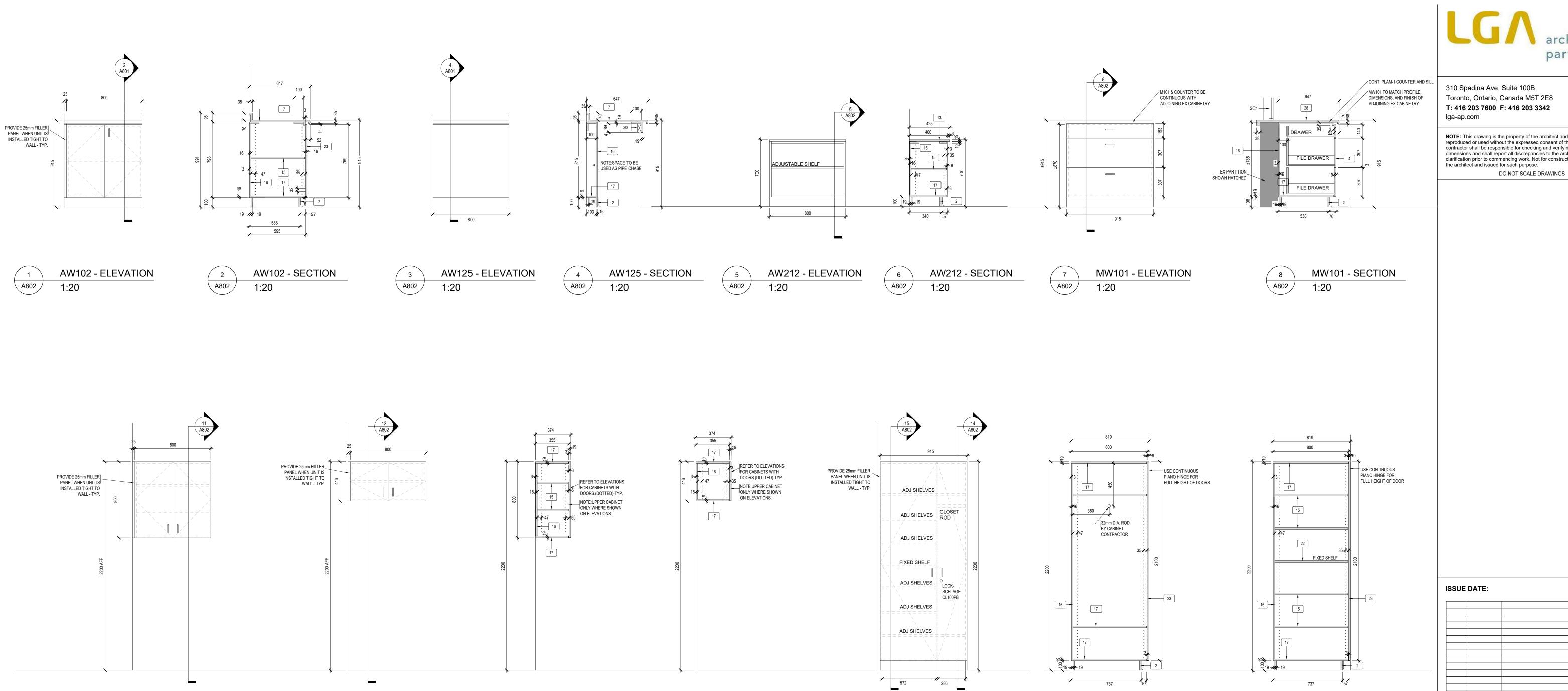
WRDSB Tender #7266-RW-22

DRAWING TITLE:

ENLARGED MILLWORK PLANS

PROJECT NO: 21970
SCALE: AS NOTED
DRAWN BY: DS

REVIEWED BY: DS



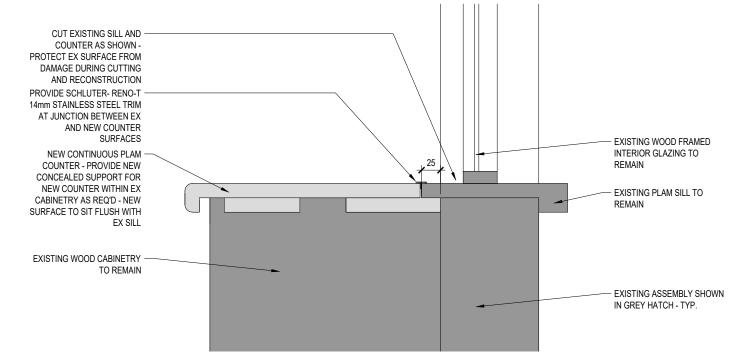
AW054 - SECTION

1:20

12 A802

AW333 - ELEVATION

A802 /



AW054 - ELEVATION

A802

AW052 - SECTION

11 A802

AW052 - ELEVATION

EX MILLWORK/ NEW COUNTER - SECTION DETAIL **16** ` A802

A802

AW333 - SECTION

A802

- MILLWORK MATERIALS LEGEND 2 100mm HIGH RUBBER BASE TOE KICK ON 19 VENEER CORE PLYWOOD
- 4 19mm PLASTIC LAMINATE PANEL DRAWER FRONT c/w 3mm PVC EDGES. REFER TO SPEC FOR DRAWER SLIDERS AND DRAWER CONSTRUCTION (METABOX)

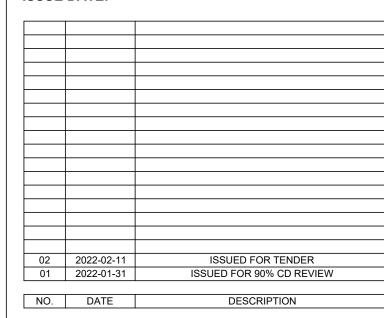
AW333 - SECTION

1:20

- 7 POST FORMED PLASTIC LAMINATE COUNTERTOP c/w 76mm HIGH BACKSPLASH ON STOCK
- 11 STAINLESS STEEL SINK
- 15 19mm MELAMINE ADJUSTABLE SHELF WITH 3mm PVC EDGES
- 16 16mm MELAMINE BACK c/w 3mm PVC EDGE WHERE EXPOSED
- 17 19mm MELAMINE TOP, BOTTOM c/w 3mm PVC EDGE
- 22 19mm MELAMINE FIXED SHELF c/w 3mm PVC EDGE
- 23 19mm PLASTIC LAMINATE DOOR c/w 3mm PVC EDGE ON ALL EXPOSED EDGES
- 24 19mm PLASTIC LAMINATE PANEL c/w 3mm PVC EDGE ON ALL EXPOSED EDGES 28 PLASTIC LAMINATE ON 19mm PLYWOOD

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PROJECT:

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WRDSB Tender #7266-RW-22

DRAWING TITLE:

MILLWORK DETAILS

PROJECT NO: 21970 **AS NOTED** SCALE: **DRAWN BY:**

REVIEWED BY: DS DRAWING NO: