



CHALMERS STREET PUBLIC SCHOOL RENOVATIONS: HVAC UPGRADE AND UNIVERSAL WASHROOM - TENDER #7191-RW-22

ARCHITECTURAL: WARD99 ARCHITECTS INC.

- A0.0 PROJECT INFORMATION AND O.B.C. MATRIX PART 11
- A1.1 EXISTING SITE MOBILIZATION AND CONSTRUCTION HOARDING PLAN, LEGEND AND NOTES, KEY PLAN AND ROOF PLAN
- A2.1 PARTIAL GROUND FLOOR DEMOLITION PLANS AND NOTES
- A2.2 PARTIAL PROPOSED GROUND FLOOR PLANS, NOTES, LEGENDS AND FINISH SCHEDULE
- A3.1 PARTIAL GROUND FLOOR DEMOLITION REFLECTED CEILING PLANS AND LEGEND
- A3.2 PARTIAL PROPOSED GROUND FLOOR REFLECTED CEILING PLANS, LEGEND, NOTES AND DETAIL
- A4.1 INTERIOR ELEVATIONS, DETAILS AND HARDWARE SCHEDULE

STRUCTURAL: VX ENGINEERING INC.

- S1 PART SLAB ON GRADE PLAN AND PART ROOF FRAMING PLAN
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- S3 WOOD DECK ROOF FRAMING DETAILS
- S4 DETAILS AND GENERAL NOTES

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- M2.1 PARTIAL DEMOLITION PLANS
- M2.2 PARTIAL RENOVATION PLANS - DRAINAGE AND PIPING AND DETAILS
- M2.3 PARTIAL RENOVATION PLANS - VENTILATION AND DETAILS
- M3.1 PARTIAL ROOF PLAN AND DETAILS

ELECTRICAL: DEI CONSULTING ENGINEERS

- E1.1 LEGEND, SCHEDULES AND KEY PLAN
- E1.2 ELECTRICAL DEMOLITION AND RENOVATION PLANS
- E1.3 ELECTRICAL DEMOLITION AND RENOVATION PLANS
- E2.1 SPECIFICATIONS
- E2.2 SPECIFICATIONS
- E3.1 FIRE ALARM RISER

Name of Practice: ward99 architects inc. 7500 Hwy 27, Unit No.27B, Vaughan, ON L4H 0J2 Telephone: 416-613-5880		
Name of Project: CHALMERS STREET PUBLIC SCHOOL RENOVATIONS: HVAC UPGRADE AND UNIVERSAL WASHROOM Waterloo Region District School Board		
Location: 35 Chalmers Street South, Cambridge ON, N1R 5B4		
Ontario 2012 Building Code Data Matrix Part 11 - Renovation of Existing Building		Building Code Reference
11.01 Building Code Version:	O Reg. 332/12 Last Amendment: O Reg. 191/14	
11.01 Project Type:	<input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation <input type="checkbox"/> Change of use Description: Interior renovation to portion of existing one storey school building to provide HVAC upgrades to three classrooms and provide for a universal washroom and relocate an existing instructor's office.	[A]1.1.2.
11.02 Major Occupancy Classification:	Occupancy: Group A, Division 2 Use: Elementary School Closest Classification: O.B.C. 3.2.2.25. Group A, Division 2, up to 2 storeys	3.1.2.1.(1)
11.03 Superimposed Major Occupancies:	<input type="checkbox"/> No <input type="checkbox"/> Yes Description:	3.2.2.7
11.04 Building Area (m ²):	Description: Existing Building Area (m ²): 2,966.26 m ² New Building Area (m ²): - Total Building Area (m ²): 2,966.26 m ² *Includes 2,430.72m ² of building area and 555.54m ² of post-and-beam building area.	[A]1.4.1.2.
11.05 Building Height:	<input checked="" type="checkbox"/> 1 Storey Above Grade 3.75 (m) Above Grade <input type="checkbox"/> Storey Below Grade	[A]1.4.1.2. & 3.2.1.1.
11.06 Number of Streets Firefighter Access:	<input checked="" type="checkbox"/> 1 Street(s)	3.2.2.10. & 3.2.5.
11.07 Building Size:	<input type="checkbox"/> Small <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Large <input type="checkbox"/> >Large	T.11.2.1.1.B.-N.
11.08 Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: - Hazard Index: - Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> Normal <input checked="" type="checkbox"/> High <input type="checkbox"/> Post-disaster *Building is an elementary school.	11.2.1.1. T 11.2.1.1.A. T 11.2.1.1B TO N 4.2.1.(3). 5.2.2.1.(2)
11.09 Renovation Type:	<input type="checkbox"/> Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation	11.3.3.1. 11.3.3.2.
11.10 Occupant Load:	*No change to occupant load.	3.1.17.1
11.11 Plumbing Fixture Requirement:	Ratio: MF = 1/1 Except as otherwise noted. *No changes to existing plumbing fixtures. Addition of one universal washroom.	
11.12 Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation: renovation complies with OBC 3.8.	11.3.3.2.(2)
11.13 Reduction in Performance Level:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Increase in Occupant Load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By Change of Major Occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage-System: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of combustible construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6
11.14 Compensating Construction:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Increase in Occupant Load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Change of Major Occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Sewage-System: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Extension of Combustible Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)	11.4.3.1 11.4.3.2 11.4.3.3 11.4.3.4 11.4.2.5 11.4.3.6 11.4.3.7.
11.15 Compliance Alternatives Proposed:	<input type="checkbox"/> No <input type="checkbox"/> Yes (list numbers and describe)	11.5.1
11.16 Notes:	Renovations to the existing non-sprinklered school building; closest classification is as follows: O.B.C. Classification: 3.2.2.25. Group A, Division 2, up to 2 Storeys. - The building is permitted to be of non-combustible construction or combustible construction. - Floor assemblies shall have fire separations and if of combustible construction shall have a fire-resistance rating not less than 45 minutes and - Mezzanines if of combustible construction shall have a fire-resistance rating not less than 45 minutes and - Roof assemblies if of combustible construction shall have a fire-resistance rating not less than 45 minutes except that a building not more than 1 storey in height, the fire rating may be waived provided the roof assembly is constructed as a fire-retardant treated wood roof system with exceptions as noted in O.B.C. 3.2.2.25. - All load-bearing walls, columns and arches shall have a fire-resistance rating not less than 45 minutes or be of non-combustible construction. *Note: The existing building area of the one storey school exceeds the maximum allowable building area for a one storey school facing 1 street. *Note: The existing building classrooms provide for a wood deck at the existing roof assembly. Existing fire-rated ceiling assemblies at the roof level in existing classrooms will be removed and reinstated to provide for a 1 hour fire-resistance rating at the roof level. 3.3.2.5.(3) Corridors: The 1 hour fire resistance rating, for the fire separation required at a corridor, in an assembly occupancy, is permitted to be waived if the floor area in which the corridor is located is sprinklered. *Note: the existing school is not sprinklered and in such a 1 hour F.R.R. is required at the corridor walls.	11.5.1

PROJECT INFORMATION

PROJECT TITLE:
CHALMERS STREET PUBLIC SCHOOL RENOVATIONS:
HVAC UPGRADE AND UNIVERSAL WASHROOM
WATERLOO REGION DISTRICT SCHOOL BOARD

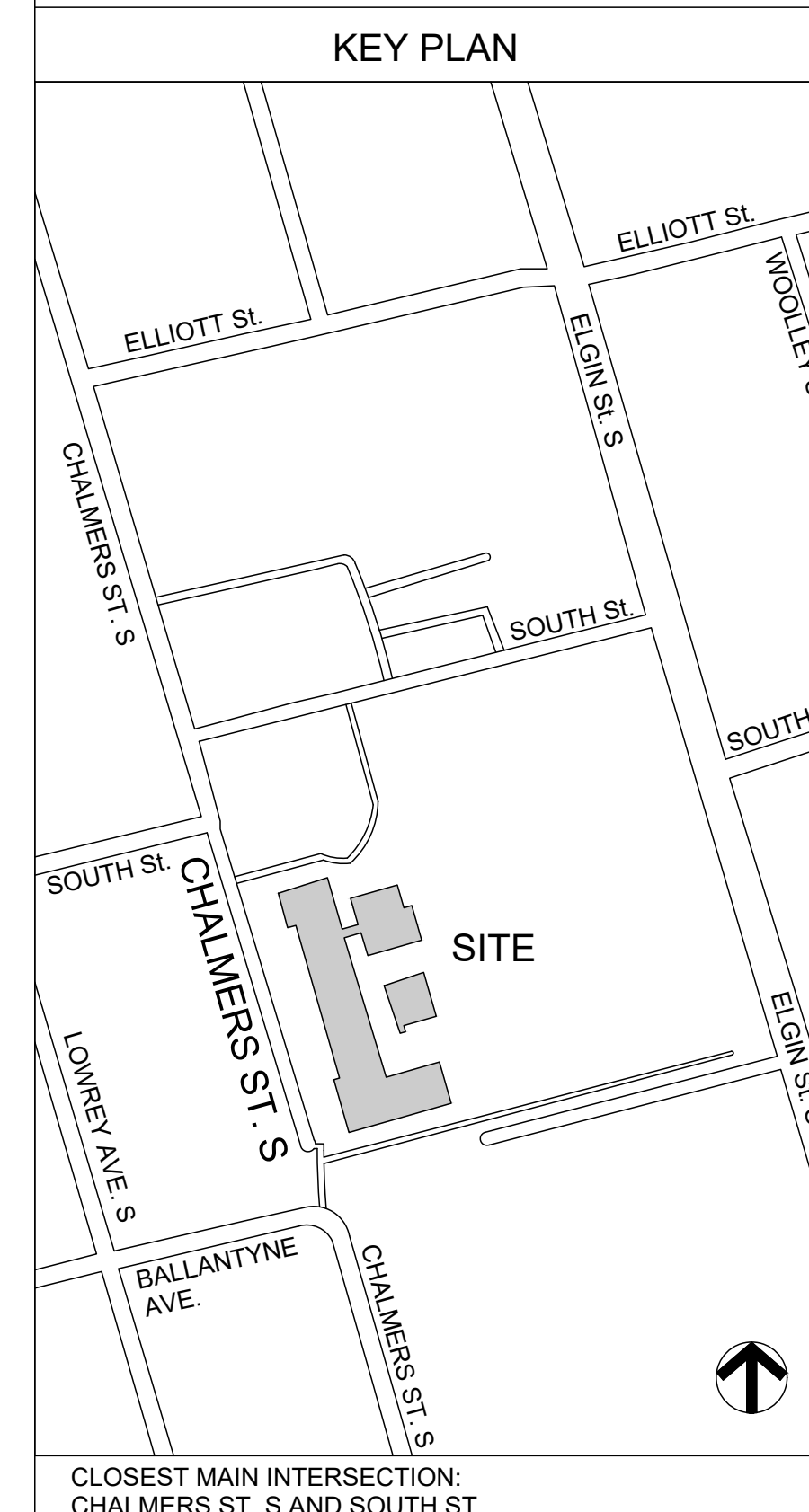
PROJECT ADDRESS:
35 CHALMERS STREET SOUTH
CAMBRIDGE, ONTARIO N1R 5B4

OWNER:
WATERLOO REGION DISTRICT SCHOOL BOARD

OWNER'S CONTACT INFORMATION:
51 ARDELT AVENUE, KITCHENER, ON N2C 2R5

CONSULTANT:
ward99 architects inc.

CONSULTANT'S CONTACT INFORMATION:
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VAUGHAN ON L4H 0J2
TEL: 416-613-5880
EMAIL: INFO@WARD99ARCHITECTS.COM



CLOSEST MAIN INTERSECTION:
CHALMERS ST. S AND SOUTH ST.

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE DIMENSIONS AND FOR NOTIFYING THE ARCHITECT OF ANY SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

no.	revision	date

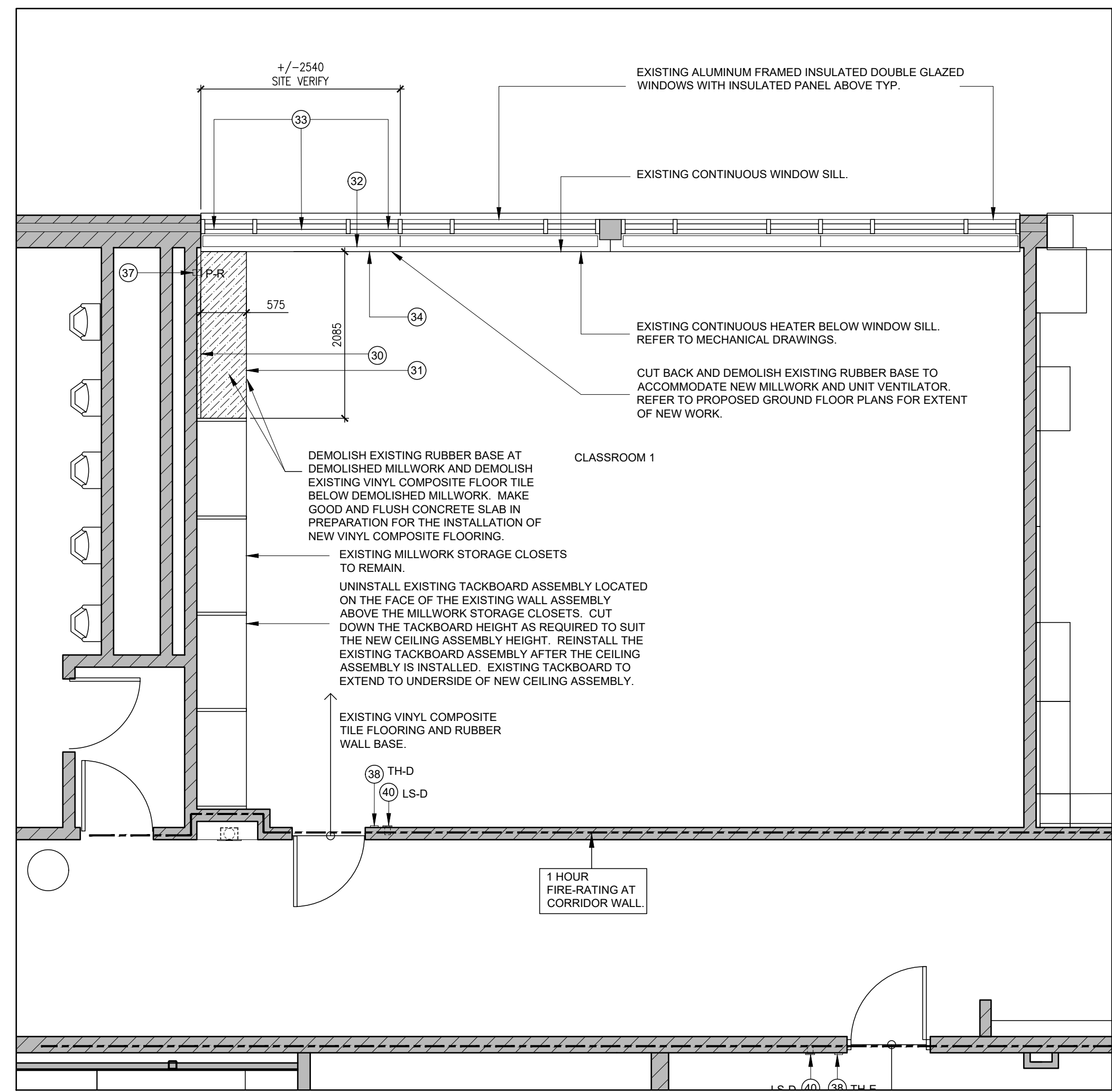
no.	issue	date
1	Issued for Owner Review	April 16, 2021
2	Issued for Permit and Tender	Feb. 04, 2022

PROJECT INFORMATION AND O.B.C. MATRIX PART 11
drawing scale

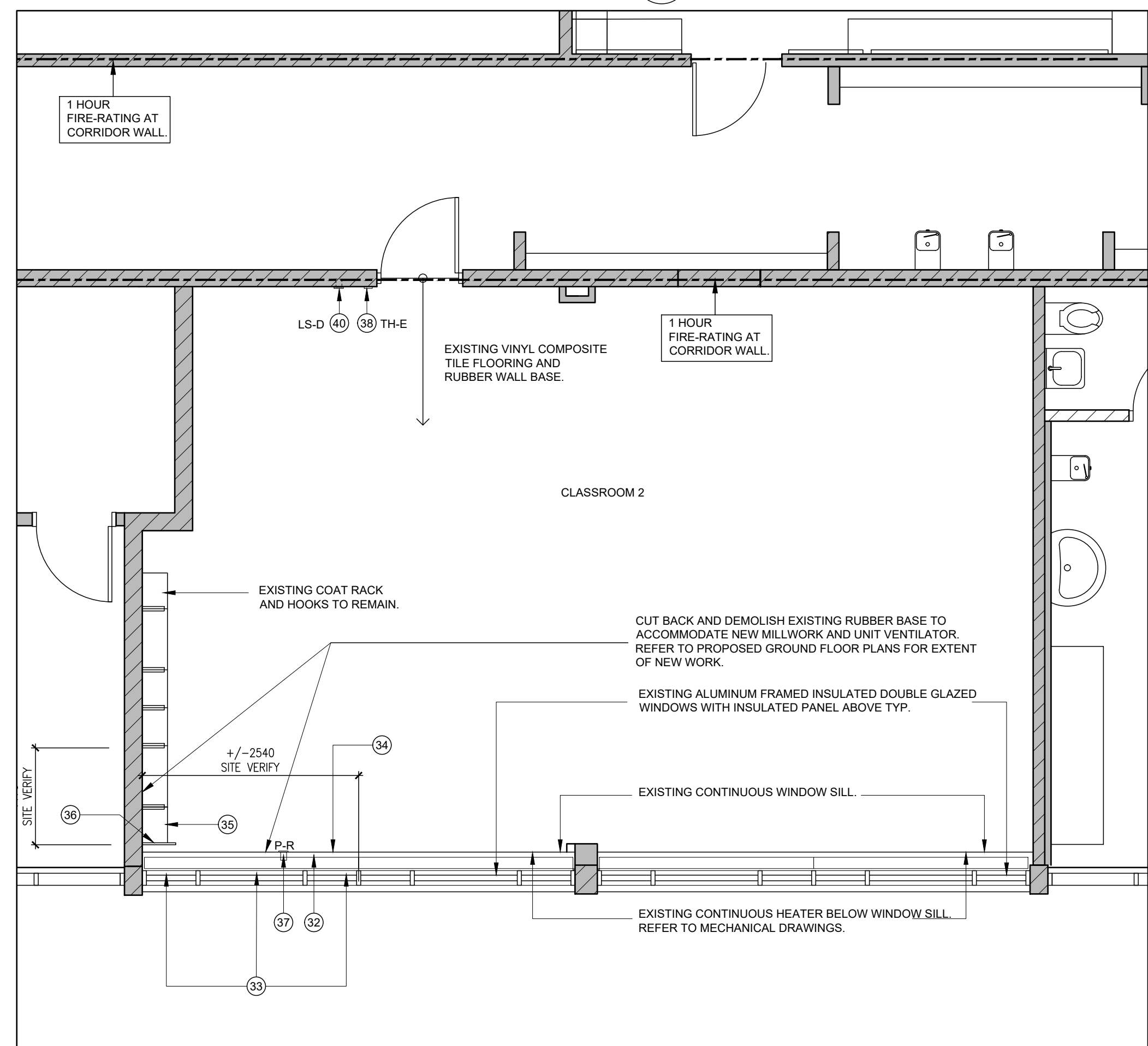
N/A
ward99 project number
21007 - CHALMERS PS

ward99 architects inc. drawing no. **A0.0**

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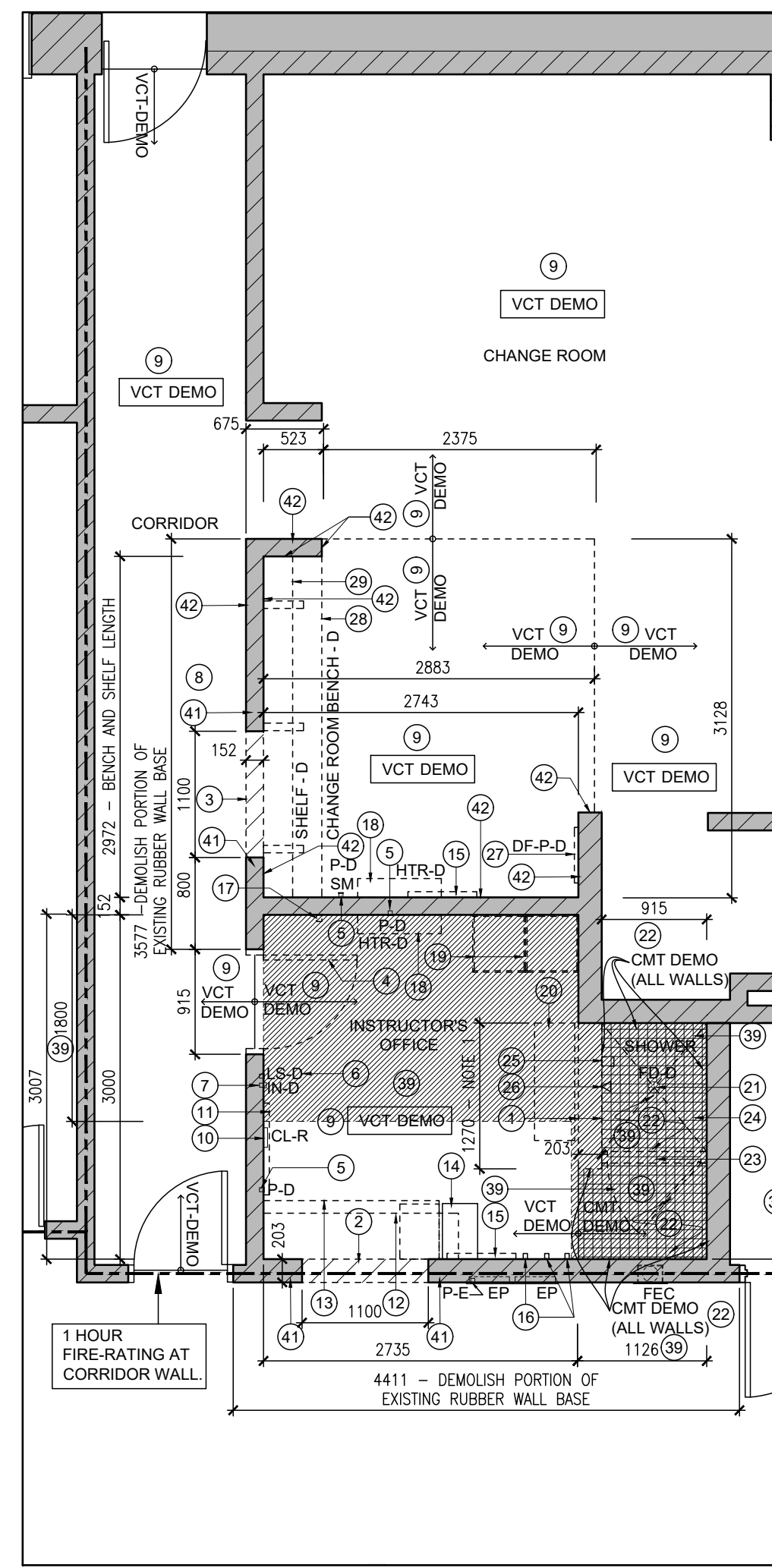
2
A2.1
EXISTING CLASSROOM 1 DEMOLITION PLAN
1:50



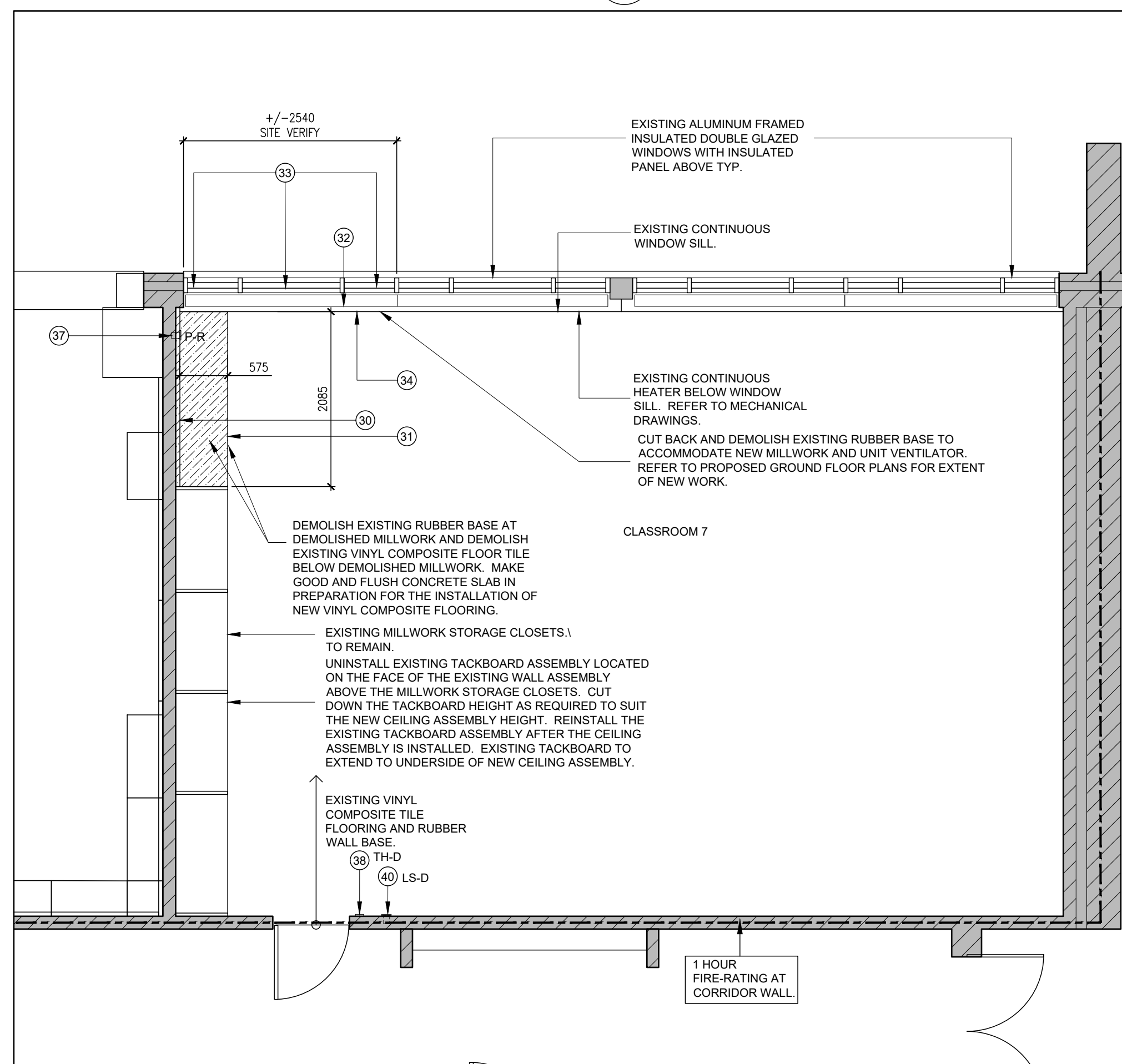
3
A2.1
EXISTING CLASSROOM 2 DEMOLITION PLAN
1:50

GENERAL FLOOR PLAN AND REFLECTED CEILING PLAN
DEMOLITION NOTES

- 1. REFER TO DEMOLITION NOTES ON DRAWING A2.1
- 2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND OFF SITE DISPOSAL OF ALL ITEMS INDICATED TO BE DEMOLISHED AND/OR REMOVED. UNLESS NOTED OTHERWISE, THIS INCLUDES DEMOLISHED MILLWORK, INTERIOR PARTITIONS, DOORS, FRAMES, CEILING ASSEMBLIES, FLOORING ASSEMBLIES AND MECHANICAL AND ELECTRICAL EQUIPMENT AND DEVICES. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS.
- 3. THE DEMOLITION DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS. PATCH, REPAIR AND MAKE GOOD AND FLUSH ALL WALL, PARTITION, FLOOR, AND CEILING SURFACES WHERE EXISTING ARCHITECTURAL, STRUCTURAL, ELECTRICAL, AND MECHANICAL ITEMS ARE INDICATED TO BE DEMOLISHED AND/OR REMOVED.
- 4. PROTECT ALL EXISTING CEILING, WALL, PARTITIONS AND FLOOR SURFACES THAT ARE TO REMAIN. REPAIR, MAKE GOOD AND CLEAN ANY AND ALL EXISTING CEILING, WALL, PARTITION AND FLOOR SURFACES THAT ARE DAMAGED DURING THE DEMOLITION WORK AND NEW CONSTRUCTION WORK, INCLUDING ALL WORK RELATED TO THE INSTALLATION OF NEW ARCHITECTURAL, MECHANICAL, AND ELECTRICAL SERVICES. DEVICES AND EQUIPMENT. PREPARE ALL EXISTING CEILING, WALL, PARTITION AND FLOOR SURFACES FOR THE INSTALLATION OF MATCHING / PATCHED NEW WALL, PARTITION, CEILING AND FLOOR FINISHES AS INDICATED ON THE DRAWINGS.
- 5. WHERE EXISTING WALL, PARTITION, FRAME, DOOR AND WINDOW ASSEMBLIES ARE TO BE DEMOLISHED AND REMOVED, REPAIR AND MAKE GOOD ALL EXISTING AND REMAINING ADJACENT WALL, PARTITION, CEILING AND FLOOR SURFACES THAT ARE INDICATED TO REMAIN, INCLUDING EXISTING FLOOR SURFACES BELOW ALL DEMOLISHED WALLS.
- 6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND OFF-SITE DISPOSAL OF ALL DEMOLISHED CEILING AND BULKHEADS AND ALL DEMOLISHED CEILING MOUNTED FIXTURES, DEVICES AND EQUIPMENT. WHERE EXISTING CEILING FINISHES, ACCESSORIES AND FRAMING, UNLESS NOTED OTHERWISE, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL REMOVALS.
- 7. REPAIR, MAKE FLUSH AND MAKE GOOD EXISTING CEILING FINISHES, ACCESSORIES AND FRAMING ASSEMBLIES ABOVE AND ADJACENT TO ALL NEW WALLS AND DEMOLISHED WALLS AND ASSEMBLIES.
- 8. UNINSTALL AND TEMPORARILY REMOVE EXISTING ELECTRICAL AND MECHANICAL FIXTURES AND DEVICES AND CEILING ASSEMBLIES PARTIALLY OR IN THEIR ENTIRETY AS REQUIRED TO COMPLETE DEMOLITION WORK AND NEW WORK. STORE EXISTING ASSEMBLIES DURING CONSTRUCTION AND REINSTALL ALL EXISTING CEILING ASSEMBLIES ONCE DEMOLITION WORK AND NEW WORK IS COMPLETED.
- 9. DEMOLISH AND DISPOSE OFF-SITE EXISTING DOOR, FRAME ASSEMBLIES AND HARDWARE WHERE NOTED ON THE DRAWINGS.
- 10. REFER TO ASBESTOS AUDIT REPORT FOR REQUIRED ABATEMENT AREAS PERTAINING TO THE FOLLOWING REMOVALS. INTERIOR SEALANT AT EXISTING CLASSROOM WINDOWS (ROOMS 1, 2 AND 7) MAY CONTAIN ASBESTOS. X-RAY AND SCANNING OF THE EXISTING CONCRETE FLOOR SLABS ARE REQUIRED TO COMPLETE THE WORK AND ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- 11. WHERE WORK IS REQUIRED TO BE COMPLETED IN THE CEILING PLUMBING OF THE EXISTING CORRIDORS, CEILING ASSEMBLIES AND ASSOCIATED MECHANICAL AND ELECTRICAL DEVICES AND LIGHT FIXTURES ARE TO BE TEMPORARILY REMOVED TO COMPLETE THE WORK, PROTECTED AND STORED AND THEN REINSTALLED ONCE THE WORK IS COMPLETE. COMPLETE ELECTRICAL VERIFICATIONS AS REQUIRED.



1
A2.1
PARTIAL EXISTING INSTRUCTOR'S OFFICE AND CHANGE ROOM FLOOR PLAN
1:50



4
A2.1
EXISTING CLASSROOM 7 DEMOLITION PLAN
1:50

GROUND FLOOR PLAN
DEMOLITION NOTES

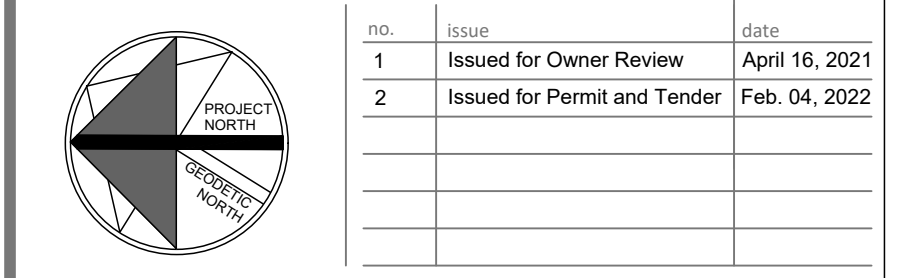
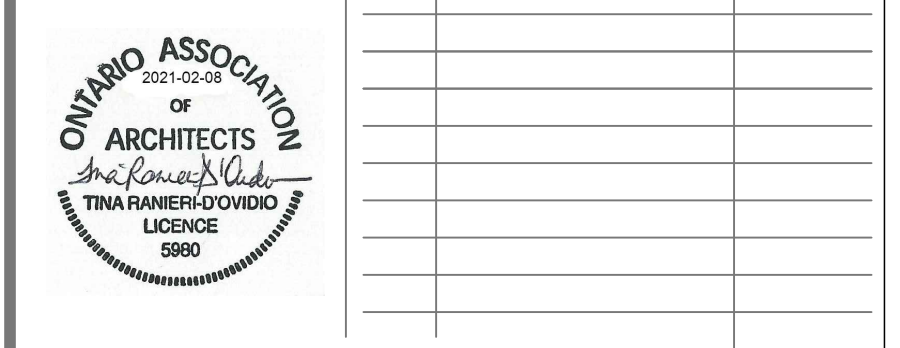
- # DEMOLITION PLAN NOTE REFER TO EXISTING GROUND FLOOR DEMOLITION PLAN DRAWINGS ON DRAWING A2.1

- 1. DEMOLISH EXISTING PORTION OF THE 200mm THICK CONCRETE MASONRY PARTITION IN ITS ENTIRETY FOR THE FULL HEIGHT OF THE PARTITION AT APPROXIMATELY 400mm ABOVE FINISHED CEILING. APPROXIMATE LENGTH OF PARTITION IS 1270mm. DEMOLITION INCLUDES REMOVAL OF CERAMIC MOSAIC TILE (CMT) ON THE SHOWER SIDE OF THE PARTITION.
- 2. DEMOLISH EXISTING PORTION OF THE 200mm THICK CONCRETE MASONRY PARTITION WITH 1 HR. F.R.R. IN ITS ENTIRETY FOR A WIDTH OF 1100mm AND A MINIMUM HEIGHT OF 2400mm TO ACCOMMODATE A NEW DOOR AND FRAME AND ASSOCIATED NEW MASONRY AND STEEL PARTITION ASSEMBLY. REFER TO STRUCTURAL DRAWINGS.
- 3. DEMOLISH EXISTING PORTION OF THE 150mm THICK CONCRETE MASONRY PARTITION IN ITS ENTIRETY FOR A WIDTH OF 1100mm AND A MINIMUM HEIGHT OF 2400mm TO ACCOMMODATE A NEW DOOR AND FRAME AND ASSOCIATED MASONRY Lintel. REFER TO STRUCTURAL DRAWINGS TO ACCOMMODATE A NEW DOOR AND FRAME AND ASSOCIATED MASONRY Lintel. REFER TO STRUCTURAL DRAWINGS TO ACCOMMODATE A NEW DOOR AND FRAME AND ASSOCIATED MASONRY Lintel. MAKE FLUSH EXISTING PARTITION FACES AND CONCRETE SLAB ON GRADE IN PREPARATION FOR THE INSTALLATION OF NEW MASONRY WALL INFILL.
- 4. DEMOLISH EXISTING RECESSED POWER RECEPTACLE P-R, SM. DEMOLISH EXISTING SURFACE MOUNTED POWER RECEPTACLE AND ASSOCIATED CONDUIT. REFER TO ELECTRICAL DRAWINGS.
- 5. DEMOLISH EXISTING INTERCOM BOX. REFER TO ELECTRICAL DRAWINGS.
- 6. IN-D - DEMOLISH EXISTING INTERCOM BOX. REFER TO ELECTRICAL DRAWINGS.
- 7. VCT EX - EXISTING VINYL COMPOSITE TILE FLOORING AND RUBBER WALL BASE TO REMAIN.
- 8. VCT DEMO - DEMOLISH EXISTING VINYL COMPOSITE TILE FLOORING (200mm BY 300mm) AND ASSOCIATED ADHESIVE AND MASTIC. MAKE EXISTING CONCRETE SLAB ON GRADE FLUSH AND MAKE FLUSH CONCRETE SLAB ON GRADE IN PREPARATION FOR THE INSTALLATION OF NEW FLOORING. DEMOLISH EXISTING RUBBER WALL BASE ON ASSOCIATED MASONRY WALLS.
- 9. CL-R - UNINSTALL AND HAND OVER EXISTING WALL MOUNTED CLOCK AND ASSOCIATED FASTENERS TO THE OWNER.
- 10. DEMOLISH EXISTING WALL MOUNTED TACKBOARD AND ASSOCIATED FASTENERS.
- 11. DEMOLISH EXISTING UPPER SHELving MILLWORK UNIT AND ASSOCIATED FASTENERS.
- 12. DEMOLISH EXISTING FILE UNIT AND HAND OVER TO THE OWNER.
- 13. DEMOLISH EXISTING FILE UNIT.
- 14. REMOVE EXISTING FILE UNIT AND HAND OVER TO THE OWNER.
- 15. DEMOLISH EXISTING WALL MOUNTED MIRROR AND ASSOCIATED FASTENERS.
- 16. DEMOLISH EXISTING WALL MOUNTED COAT HOOKS (TOTAL OF THREE).
- 17. HTR-D - DEMOLISH EXISTING WALL MOUNTED HEATER. REFER TO ELECTRICAL DRAWINGS.
- 18. DEMOLISH EXISTING LOCKERS WITH METAL SLOPED TOP AND BASE (TWO TOTAL).
- 19. DEMOLISH EXISTING MILLWORK STORAGE UNIT WITH GLAZED DOOR (APPROXIMATELY 1000mm WIDE BY 2200mm HIGH BY 400mm IN DEPTH).
- 20. DEMOLISH EXISTING MILLWORK STORAGE UNIT WITH GLAZED DOOR (APPROXIMATELY 1000mm WIDE BY 2200mm HIGH BY 400mm IN DEPTH).
- 21. FOD - DEMOLISH EXISTING FLOOR DRAIN AND CAP FLUSH TO CONCRETE SLAB ON GRADE.
- 22. DEMOLISH EXISTING 100mm HIGH BY 100mm IN DEPTH SHOWER CURB AND ASSOCIATED CERAMIC MOSAIC TILE FINISH AND MAKE FLUSH AND GOOD EXISTING CONCRETE SLAB ON GRADE.
- 23. DEMOLISH EXISTING 100mm HIGH BY 100mm IN DEPTH SHOWER CURB AND ASSOCIATED CERAMIC MOSAIC TILE FINISH AND MAKE FLUSH AND GOOD EXISTING CONCRETE SLAB ON GRADE.
- 24. DEMOLISH EXISTING SLOPED CONCRETE TIPPING AND ASSOCIATED CERAMIC MOSAIC TILE FLOORING AT SHOWER FLOOR. MAKE FLUSH AND GOOD EXISTING CONCRETE SLAB ON GRADE.
- 25. DEMOLISH EXISTING WALL MOUNTED SOAP DISH AND ASSOCIATED FASTENERS.
- 26. DEMOLISH EXISTING SHOWER HEAD AND CONTROL HARDWARE AND ASSOCIATED PLUMBING CONNECTIONS. REFER TO MECHANICAL DRAWINGS.
- 27. P-D - DEMOLISH EXISTING PLUMBING FLUBING CONNECTIONS FROM REMOVED DRINKING FOUNTAIN AND DEMOLISH ASSOCIATED METAL COVER. REFER TO MECHANICAL DRAWINGS.
- 28. CHANGE ROOM BENCH - DEMOLISH WOOD SEAT BENCH AND ASSOCIATED WALL MOUNTED METAL ANCHORS (TOTAL OF THREE) AND ASSOCIATED FASTENERS TYP.
- 29. SHELF-D - DEMOLISH WOOD SHELF AND ASSOCIATED WALL MOUNTED METAL ANCHORS (TOTAL OF THREE) AND ASSOCIATED FASTENERS AND METAL COAT HOOKS (TOTAL OF FIFTEEN).
- 30. DEMOLISH EXISTING WALL MOUNTED TACKBOARD AT 1200mm IN HEIGHT ABOVE MILLWORK COUNTER, INCLUDING ALL FASTENERS AND TRIM. REPAIR AND MAKE GOOD AND FLUSH EXISTING MASONRY PARTITION AFTER ALL REMOVALS.
- 31. DEMOLISH EXISTING MILLWORK UNIT (HEIGHT OF 800mm FROM TOP CORNER TO TOP OF INSULATED PARTITION) IN ITS ENTIRETY COMPRISED OF A PLASTIC LAMINATE FINISHED COUNTER AND ASSOCIATED HARDWARE AND FASTENERS. DEMOLISH EXISTING VINYL COMPOSITE TILE AT UNDERSIDE OF MILLWORK UNIT. INCLUDING EXISTING ADHESIVE AND MASTIC. PATCH, REPAIR AND MAKE GOOD AND FLUSH EXISTING CONCRETE SLAB AND MASONRY PARTITION AFTER ALL REMOVALS.
- 32. UNINSTALL AND DISPOSE OF EXISTING WINDOW SHADE AND ASSOCIATED FASTENERS.
- 33. DEMOLISH EXISTING INSULATED DOUBLE GLAZED PANEL ASSEMBLY (APPROXIMATE HEIGHT OF 1200mm - SITE VERIFY WITHIN EXISTING ALUMINUM FRAME) TO REMAIN (FOR A TOTAL OF THREE GLAZED UNITS WITHIN EACH WINDOW FRAME). REFER TO PROPOSED MECHANICAL DRAWINGS FOR EXTENT OF NEW UNIT.
- 34. CUT BACK EXISTING WALL MOUNTED HEATER BELOW WINDOW SILL AS REQUIRED TO ACCOMMODATE THE NEW VERTICAL UNIT VENTILATOR. REFER TO MECHANICAL DRAWINGS FOR EXTENT OF NEW UNIT.
- 35. UNINSTALL AND DISPOSE OF A PORTION OF THE EXISTING WALL MOUNTED COAT RACK SHELF AND HOOKS, INCLUDING WALL MOUNTED ANCHOR AND ASSOCIATED FASTENERS, AS REQUIRED TO ACCOMMODATE NEW VERTICAL UNIT VENTILATOR. MAKE GOOD AND FLUSH EXISTING MASONRY PARTITION.
- 36. DEMOLISH EXISTING WALL MOUNTED SCREEN AND ASSOCIATED FASTENERS IN THEIR ENTIRETY. MAKE GOOD AND FLUSH EXISTING MASONRY PARTITION.
- 37. P-R - REMOVE EXISTING POWER RECEPTABLES ABOVE DEMOLISHED COUNTER. REFER TO ELECTRICAL DRAWINGS.
- 38. TH-D - EXISTING THERMOSTAT TO BE DEMOLISHED AND REPLACED WITH NEW THERMOSTAT.
- 39. DEMOLISH EXISTING 150mm THICK CONCRETE SLAB ON GRADE TO COMPLETE THE MECHANICAL DEMOLITION WORK OF UNDERGROUND SERVICES AND FOR PROVISION OF NEW UNDERGROUND SERVICES. REFER TO MECHANICAL DRAWINGS. PROVIDE FOR NEW 100mm THICK CONCRETE SLAB ON GRADE ON CRUSHED STONE OR GRANULAR FILL. REFER TO PROPOSED FLOOR PLAN AND NEW CONCRETE SLAB ON GRADE FLOOR ASSEMBLY TYPE F1 AS DESCRIBED ON ARCHITECTURAL DRAWING A2.2. REFER ALSO TO STRUCTURAL DRAWINGS FOR NEW CONCRETE SLAB ON GRADE DETAIL.
- 40. LS-D - DEMOLISH EXISTING LIGHT SWITCHES. REFER TO ELECTRICAL DRAWINGS.
- 41. DEMOLISH EXISTING MASONRY WALL AT ON BOTH SIDES TO NEW WALL OPENINGS TO PROVIDE FOR NEW STRUCTURAL MASONRY SUPPORT AT NEW STRUCTURAL LINTE.
- 42. DEMOLISH EXISTING MASONRY WALL AT ON BOTH SIDES OF MASONRY ASSEMBLY ABOVE DOOR OPENINGS. REFER TO STRUCTURAL DRAWINGS FOR EXTENT OF MASONRY DEMOLITION. MINIMUM MASONRY WALL DEMOLITION TO BE 400mm IN WIDTH ON BOTH SIDES OF DOOR OPENING.
- 43. DEMOLISH RUBBER WALL BASE AND ASSOCIATED ADHESIVES FOR FULL EXTENT OF MASONRY WALLS AND MAKE GOOD. CLEAN AND FLUSH EXISTING MASONRY WALLS IN PREPARATION FOR THE INSTALLATION OF NEW FINISHES.

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no.	revision	date

no.	issue	date
1	Issued for Owner Review	April 16, 2021
2	Issued for Permit and Tender	Feb. 04, 2022



project
WRDS CHALMERS STREET PUBLIC SCHOOL RENOVATIONS:
HVAC UPGRADE AND UNIVERSAL WASHROOM
TENDER #7191-RW-22
WATERLOO REGION DISTRICT SCHOOL BOARD
35 CHALMERS ST. SOUTH, CAMBRIDGE N1R 5B4

PARTIAL GROUND FLOOR DEMOLITION PLANS AND NOTES
drawing scale
1:50
ward99 project number
21007 - CHALMERS PS
ward99 architects
drawing no. A2.1
ward99 architects inc.
7500 Highway 27, Unit 27B
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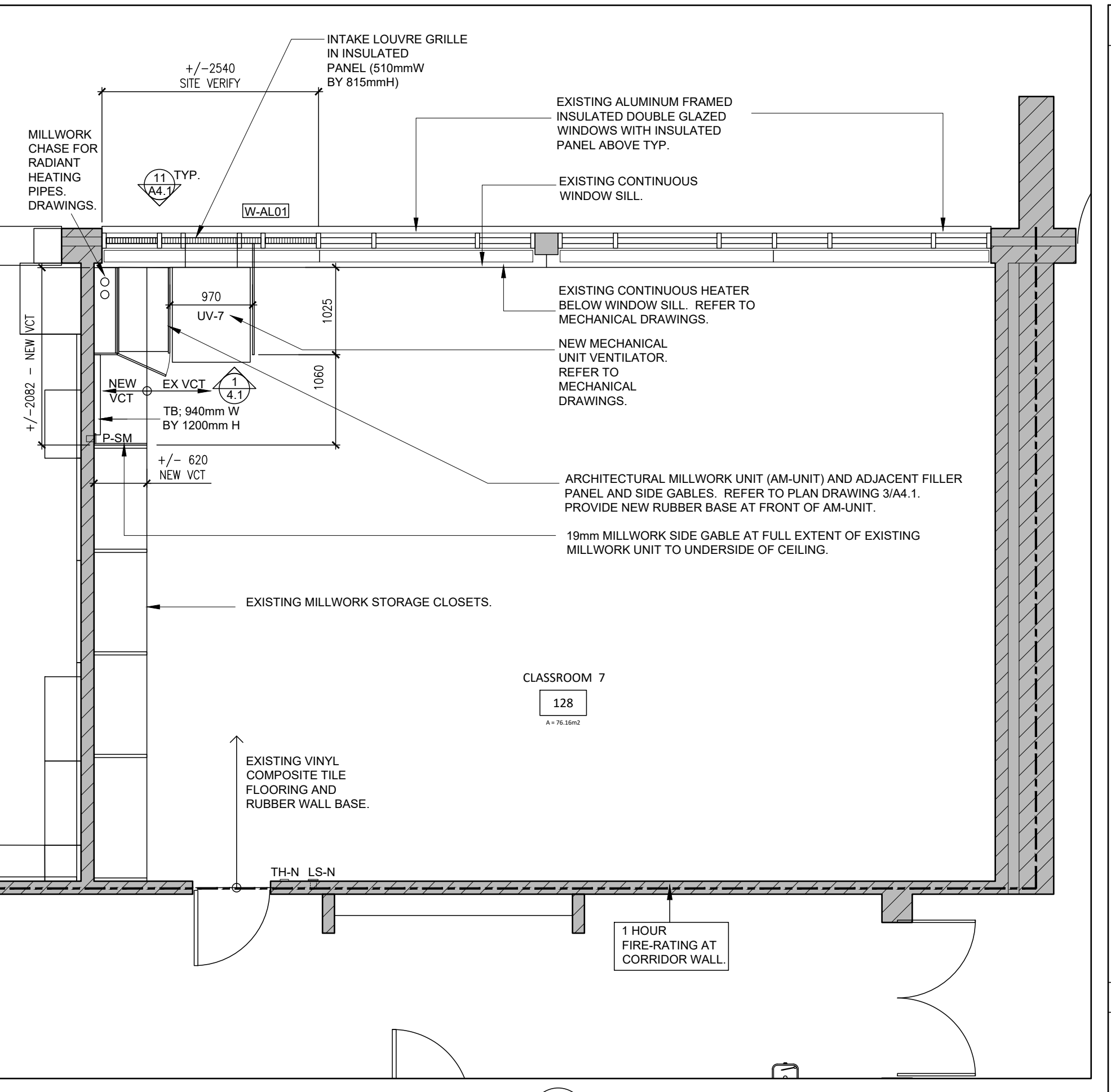
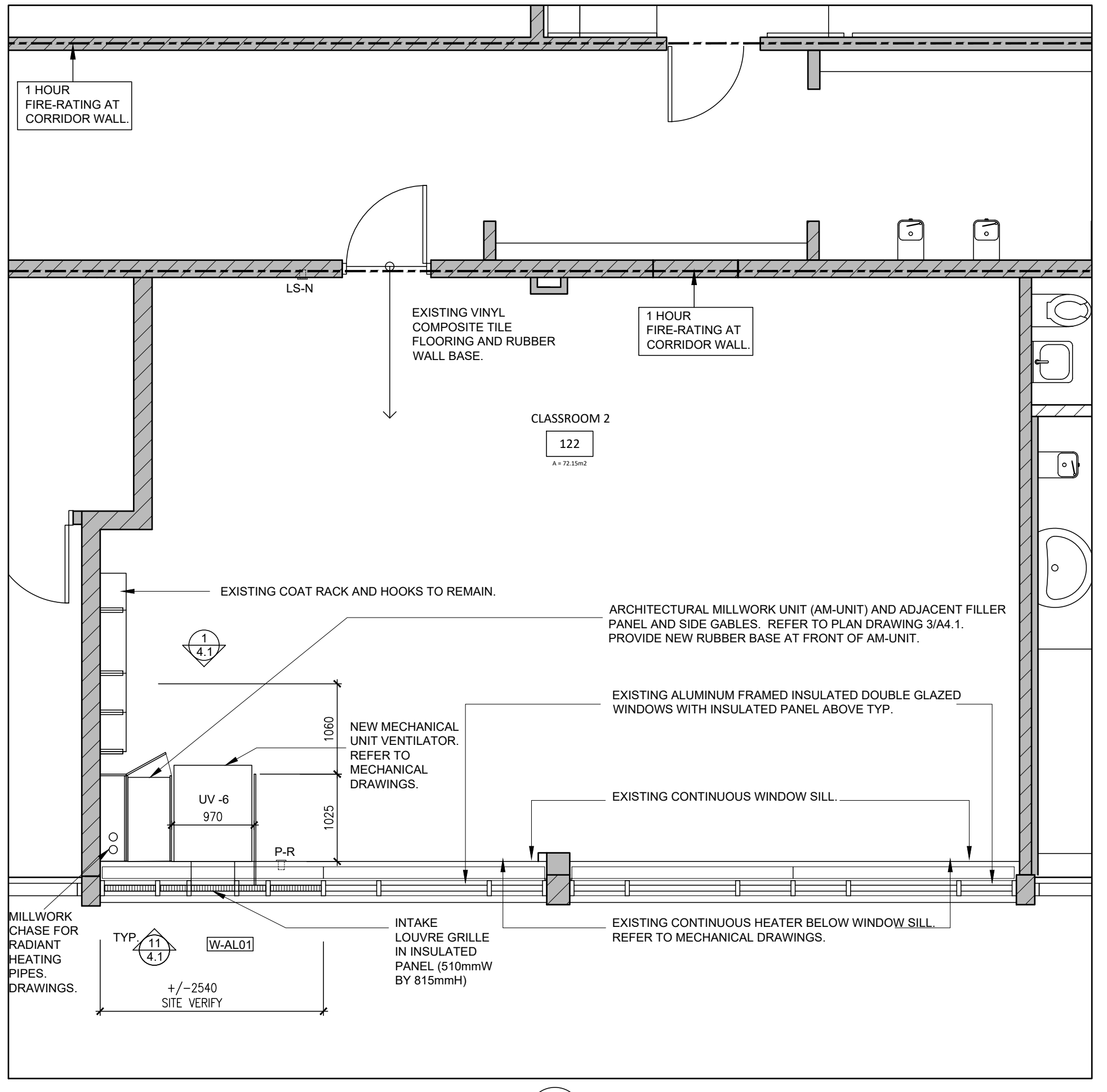
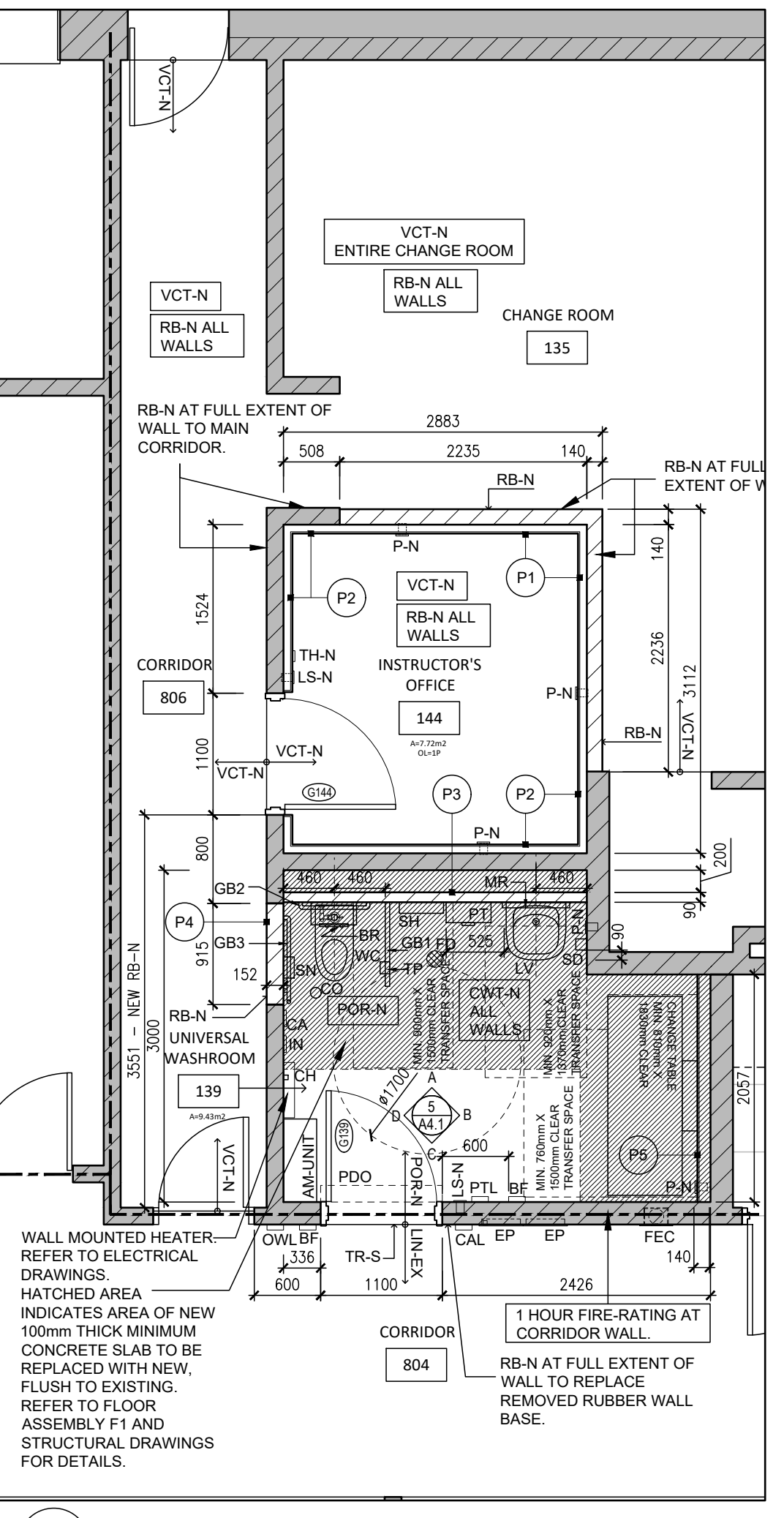
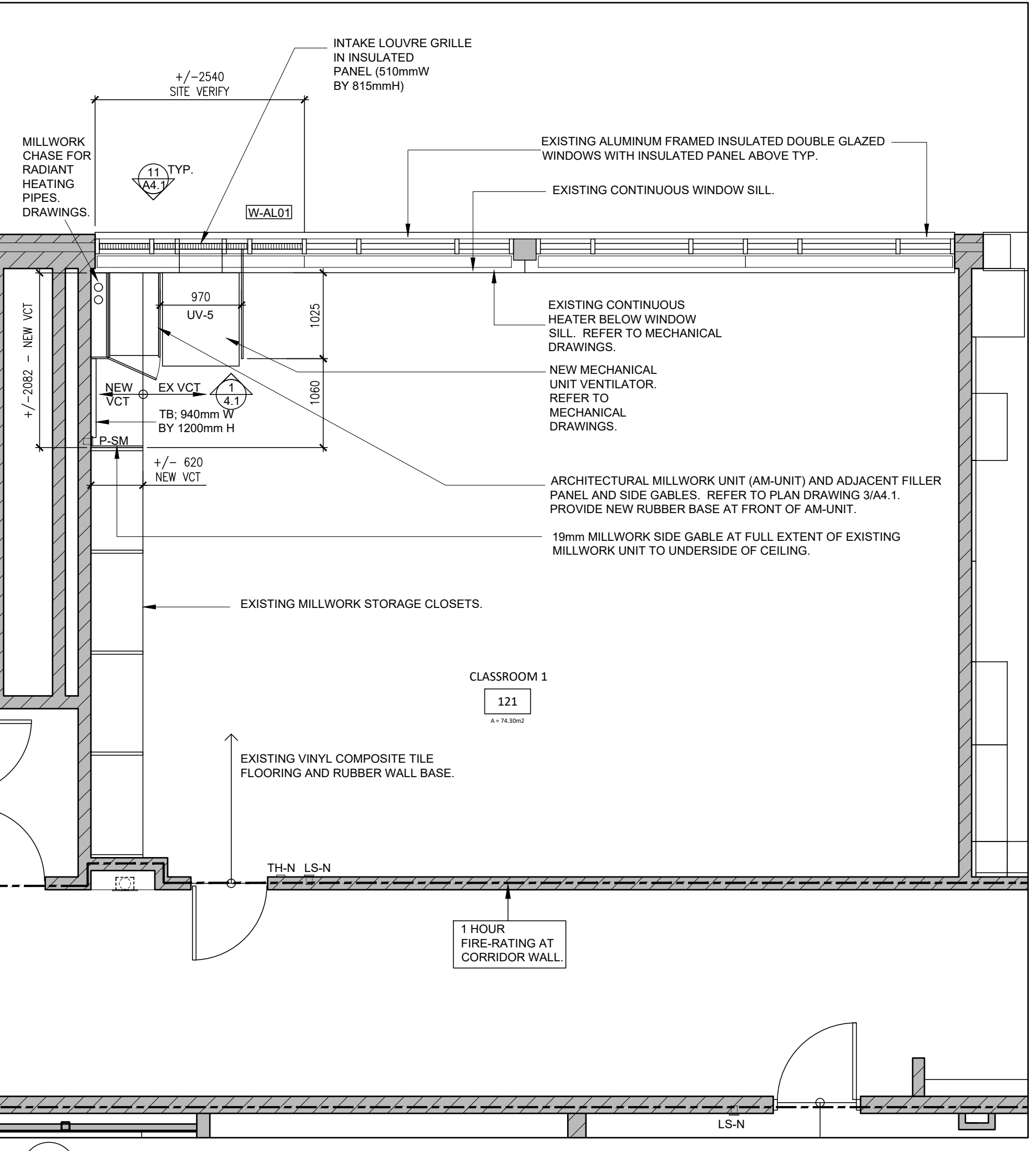
No.	NAME	FLOOR		BASE		WEST				NORTH				EAST				SOUTH				CEILING		REMARKS
		MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	HEIGHT		
139	UNIVERSAL WASHROOM	EX CONC	POR-N	POR-N	EX CMU/CMU	CWT-N	EX CMU/CMU	CWT-N	CMU	CWT-N	CMU	CWT-N	CMU	CWT-N	CMU	CWT-N	CMU	CWT-N	CMU	CWT-N	ACT	-	2413	PROVIDE CERAMIC WALL TILE (CWT) FINISH ON ALL WALLS FROM TOP OF PORCELAIN BASE TO US OF FINISHED CEILING. REFER TO DRAWING 5/44.1 FOR EXTENT. PROVIDE PAINT FINISH AT NEW DOOR AND DOOR FRAME.
144	INSTRUCTOR'S OFFICE	EX CONC	VCT-N	RB100	EX CMU	-	-	-	EX CMU	PT	-	-	EX CMU	PT	-	-	EX CMU	PT	-	ACT	-	2590	PROVIDE PAINT FINISH ON ALL WALLS, DOOR AND DOOR FRAME. PROVIDE NEW VINYL COMPOSITE TILE FLOORING (VCT-N) ON RUBBER BASE (RB100).	
804	CORRIDOR	EX CONC	LIN-EX	EX RB	EX CMU	-	-	-	EX CMU	PT	-	-	EX CMU	PT	-	-	EX CMU	PT	-	EX ACT	-	±2413	PROVIDE NEW RUBBER BASE (RB100) ON EXISTING EAST CORRIDOR WALL AS REQUIRED TO ACCOMMODATE NEW WORK.	
806	CORRIDOR	EX CONC	VCT-N	RB100	EX CMU	PT	EX CMU	PT	EX CMU	PT	EX CMU	PT	EX CMU	PT	EX CMU	PT	EX CMU	PT	EX CMU	PT	EX ACT	-	±2413	PROVIDE NEW PAINT FINISH ON ALL WALLS, PROVIDE NEW RUBBER BASE (RB100) AND NEW VCT.
135	GIRLS CHANGE ROOM	EX CONC	VCT-N	RB100	EX CMU/CMU	PT	EX CMU/CMU	PT	EX CMU	PT	EX CMU	PT	EX CMU	PT	EX CMU	PT	EX CMU	PT	EX CMU	PT	EX ACT/ACT	-	±2591	PROVIDE NEW PAINT FINISH ON ALL WALLS. PROVIDE NEW RUBBER BASE (RB100) AND NEW VCT.
121	CLASSROOM 1	EX CONC	NEW VCT	EX RB RB100	EX CMU	-	EX CMU	PT	-	-	-	EX CMU	-	ACT/GBD	PT GBD	REFER TO RCP	REFER TO RCP	REFER TO RCP	REFER TO RCP	REFER TO RCP	REFER TO RCP	REFER TO RCP	REFER TO RCP	PROVIDE PAINT FINISH ON NORTH WALL ADJACENT TO EXISTING MILLWORK CLOSETS AND AT NEW GYPSUM BOARD BULKHEAD AT EAST CEILING LEVEL. PROVIDE NEW RUBBER BASE ON NORTH AND EAST WALL AT NEW VCT AND AT NEW MILLWORK BASE.
122	CLASSROOM 2	EX CONC	EX VCT	EX RB	EX GB/EX CMU	PT	EX CMU	PT	EX CMU	PT	EX CMU	PT	EX CMU	PT	ACT/GBD	PT GBD	REFER TO RCP	REFER TO RCP	REFER TO RCP	REFER TO RCP	REFER TO RCP	REFER TO RCP	REFER TO RCP	PROVIDE PAINT FINISH ON NORTH WALL ADJACENT TO EXISTING MILLWORK CLOSETS AND AT NEW GYPSUM BOARD BULKHEAD AT EAST CEILING LEVEL. PROVIDE NEW RUBBER BASE ON NORTH AND EAST WALL AT NEW VCT AND AT NEW MILLWORK BASE.
128	CLASSROOM 7	EX CONC	EX VCT	EX RB	EX CMU	-	EX CMU	PT	-	-	-	EX CMU	-	ACT/GBD	PT GBD	REFER TO RCP	REFER TO RCP	REFER TO RCP	REFER TO RCP	REFER TO RCP	REFER TO RCP	REFER TO RCP	REFER TO RCP	PROVIDE PAINT FINISH ON NORTH WALL ADJACENT TO EXISTING MILLWORK CLOSETS AND AT NEW GYPSUM BOARD BULKHEAD AT EAST CEILING LEVEL. PROVIDE NEW RUBBER BASE ON NORTH AND EAST WALL AT NEW VCT AND AT NEW MILLWORK BASE.

GENERAL ROOM FINISH NOTES

- WHERE NEW FLOOR FINISHES ARE INDICATED TO BE INSTALLED, EXISTING GROUT, MASTICS AND ADHESIVES ARE TO BE REMOVED FROM THE EXISTING CONCRETE FLOOR AND THE CONCRETE FLOOR SLAB IS TO BE CLEANED AND MADE GOOD IN PREPARATION FOR THE INSTALLATION OF NEW FINISHES. GRIND EXISTING CONCRETE FLOOR AS REQUIRED.
- MAKE GOOD EXISTING CONCRETE FLOOR PRIOR TO INSTALLING NEW PARTITIONS. WHERE EXISTING WALLS ARE DEMOLISHED, MAKE GOOD EXISTING CONCRETE FLOOR IN PREPARATION FOR THE INSTALLATION OF NEW FLOOR FINISHES.
- CLEAN, REPAIR AND MAKE GOOD ALL WALLS AFTER THE REMOVAL OF EXISTING WALL FINISHES, FLOOR BASE AND ALL ASSOCIATED WALL FRAMING, IN PREPARATION FOR NEW WALL FINISH.
- PAINT ALL EXPOSED NEW AND EXISTING ELECTRICAL CONDUITS AND PIPING IN THE RENOVATION AREAS.
- PAINT ALL NEW HOLLOW METAL DOORS AND DOOR FRAMES ON BOTH SIDES TYP.
- PROVIDE FLOOR TRANSITION STRIPS BETWEEN DISSIMILAR FLOORING FINISHES.
- SUPPLY AND INSTALL NEW FINISHES BELOW NEW MILLWORK TYP.
- REFER TO INTERIOR ELEVATION DRAWINGS AS NOTED ON THE FLOOR PLANS, FOR ADDITIONAL NOTES AND DESCRIPTIONS.
- REFER TO MILLWORK ELEVATIONS AND DETAILS FOR ADDITIONAL NOTES AND DESCRIPTIONS.

FLOOR FINISH PLAN LEGEND

- ACT = NEW ACOUSTIC CEILING TILE AND T-BAR GRID SYSTEM.
- EX ACT = EXISTING ACOUSTIC CEILING TILE AND T-BAR GRID SYSTEM TO REMAIN.
- CMU = NEW MASONRY PARTITION WALL.
- EX CMU = EXISTING MASONRY PARTITION WALL TO REMAIN.
- EX CONC = EXISTING CONCRETE FLOOR SLAB TO REMAIN.
- GB = NEW GYPSUM BOARD FINISHED PARTITION WALL.
- EX GB = EXISTING GYPSUM BOARD FINISHED PARTITION WALL TO REMAIN.
- GBD = NEW GYPSUM BOARD FINISHED CEILING / NEW GYPSUM BOARD BULKHEAD.
- PT = NEW PAINT FINISH.
- EX PT = EXISTING PAINT FINISH TO REMAIN.
- NEW VCT OR VCT-N = NEW VINYL COMPOSITE FLOOR TILE. SIZE: 305mm X 305mm.
- NEW VCT OR VCT-N = NEW VINYL COMPOSITE FLOOR TILE. SIZE: 305mm X 305mm.
- LIN-EX = EXISTING LINOLEUM SHEET FLOORING TO REMAIN.
- POR-N = NEW PORCELAIN TILE FLOORING (305mm X 305mm) AND 100mm HIGH BASE. PROVIDE POR-N FLOOR TILE AND BASE IN UNIVERSAL WASHROOM 144.
- CWT-N = NEW CERAMIC WALL TILE. PROVIDE CWT-N ON ALL WALLS IN THE UNIVERSAL WASHROOM 139. REFER TO INTERIOR ELEVATIONS DRAWINGS ON DRAWING 5/44.1.
- RB-N OR RB 100 = NEW RUBBER WALL BASE. PROVIDE RB-N ON ALL WALLS IN THE INSTRUCTOR'S OFFICE 144 AND AT PARTIAL WALLS IN CORRIDOR 804 AND 806 AS REQUIRED TO ACCOMMODATE NEW WORK. PROVIDE RB-N IN CLASSROOMS 1, 2 AND 7 AS REQUIRED TO ACCOMMODATE NEW WORK AND IN THE GIRLS CHANGE ROOM AT NEW WALLS AND AT ADJACENT EXISTING WALLS TO SUIT THE WORK.
- TR-S = NEW METAL TRANSITION STRIP BETWEEN POR-N AND LIN-EX.



GENERAL FLOOR PLAN NOTES

- PROPOSED DRAWINGS ON A2.2 AND A2.3 SHALL BE READ IN CONJUNCTION WITH ALL DEMOLITION DRAWINGS AND ALL OTHER ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION, DETAILS, NOTES AND DIMENSIONS.
- REFER TO DOOR NUMBER. REFER TO DRAWING A4.1 FOR DOOR HARDWARE SCHEDULE, DOOR TYPES, AND DOOR AND FRAME ELEVATIONS.
- INTERIOR PARTITION CONSTRUCTION TAG. REFER TO CONSTRUCTION LEGEND - INTERIOR WALLS ON DRAWING A2.2
- DETAIL TAG: DETAIL NUMBER/DRAWING NUMBER
- ELEVATION TAG: ELEVATION DETAIL NUMBER/DRAWING NUMBER
- ROOM TITLE, ROOM NAME, ROOM NUMBER, ROOM AREA, ROOM OCCUPANT LOAD
- SECTION TAG: SECTION DETAIL NUMBER/DRAWING NUMBER
- ALUMINUM FRAME WINDOW, EXISTING WINDOW FRAME WITH NEW ALUMINUM INSULATED PANEL INSERTS. REFER TO DRAWING 11/4.1
- REFER TO DRAWING A2.2 FOR ROOM FINISH SCHEDULE AND NOTES. REFER TO FLOOR FINISHES LEGEND ON DRAWING A2.2
- REFER TO ELECTRICAL DRAWINGS REGARDING THE FOLLOWING:
 - EP = EXISTING WALL MOUNTED ELECTRICAL PANEL
 - LSN = NEW LIGHT SWITCH
 - P-N = NEW POWER RECEPTACLE
 - R-R = RELOCATE EXISTING POWER RECEPTACLE AS NOTED ON ELEC. DWGS.
 - P-SM = PROVIDE SURFACE MOUNTED POWER RECEPTACLE, PAINT CONDUIT AND BOX TO MATCH EXISTING WALLS
 - CA = CALL ASSIST BUTTON AND ASSOCIATED CAL
 - CALL = CALL ASSIST LIGHT AT CORRIDOR (PART OF EMERGENCY CALL ASSIST SYSTEM). NOTE: AUTOMATIC EMERGENCY FRAME BUTTON (CAL) AND WALL IS TO BE PROVIDED WITH A WALL MOUNTED EMERGENCY SIGN THAT CONTAINS THE WORDS "IN THE EVENT OF AN EMERGENCY PUSH EMERGENCY BUTTON AND AUDIBLE AND VISUAL WALL ACTIVATE" MOUNT ABOVE THE EMERGENCY PUSH BUTTON (CAL) IN A ROOM WITH CONNECTION TO SCHOOL OFFICE. CONFIRM LOCATION.
 - PDO = OVER-HEAD POWER DOOR OPERATOR ON UNIVERSAL WASHROOM SIDE.
 - PTL = PUSH TO LOCK BUTTON.
 - BF = BARRIER-FREE PUSH BUTTON.
 - OWL = OCCUPIED WHENLY BUTTON.
 - LV = REFER TO NOTE 11 BELOW. ELECTRICAL, TO PROVIDE CONNECTION FOR PENETRATIONS.
 - WC = PROVIDE ELECTRICAL CONNECTIONS TO WATER CLOSET. CHANGE TABLE = PROVIDE POWER CONNECTION FOR FUTURE CHANGE TABLE.
- REFER TO MECHANICAL DRAWINGS REGARDING THE FOLLOWING:
 - FD = FLOOR DRAIN AND ASSOCIATED UNDERSLAB PLUMBING CONNECTIONS.
 - CO = CLEANOUT AND ASSOCIATED UNDERSLAB PLUMBING CONNECTIONS.
 - LV = WALL MOUNTED LAVATORY/SINK UNIT WITH KNEE SPACE AND ASSOCIATED ELECTRONIC FAUCET AND MIXING VALVE IN RECESSED CONTROL BOX.
 - WC = WATER CLOSET WITH WALL MOUNTED BACK REST.
 - TH = EXISTING THERMOSTAT.
 - TH = NEW THERMOSTAT.
- CHANGE TABLE = MOTORIZED ADJUSTABLE CHANGE TABLE SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR. REFER ALSO TO PL UNDER CONSTRUCTION LEGEND.
- AM - UNIT IN UNIVERSAL WASHROOM = LOCKABLE ARCHITECTURAL MILLWORK UNIT. REFER TO INTERIOR ELEVATION SECTION DRAWINGS ON ARCHITECTURAL DRAWING 2/4.1.
- LV - x = VERTICAL UNIT VENTILATOR. REFER TO MECHANICAL DRAWINGS.
- AM - UNIT IN CLASSROOMS = LOCKABLE ARCHITECTURAL STORAGE CLOSET. REFER TO INTERIOR PLAN, ELEVATION AND SECTION 1, 3 AND 4 ON ARCHITECTURAL DRAWING A4.1.
- TB = WALL MOUNTED TACKBOARD WITH PERIMETER TRIM. SIZE: 940mm WIDE BY 1000mm HIGH MOUNTED AT 2200mm FROM TOP OF TACKBOARD TO TOP OF FINISHED FLOOR. REFER TO A4.1 FOR TYPICAL BARRIER-FREE WATER CLOSET REQUIREMENTS. REFER TO A4.1 FOR TYPICAL BARRIER-FREE LAVATORY REQUIREMENTS.
- REFER TO A4.1 FOR TYPICAL HEIGHTS OF WASHROOM ACCESSORIES.

CONSTRUCTION LEGEND - FLOORS

- F1 = NEW CONCRETE SLAB ON GRADE
- FLOOR FINISH: REFER TO FINISH PLAN AND SCHEDULE.
- REINFORCED POURED CONCRETE SLAB ON GRADE MIN. 100mm (UNLESS NOTED OTHERWISE ON THE STRUCTURAL DRAWINGS) ON CONTINUOUS UNDERSLAB WAPOR RETARDER ON GRADED STONE OR COMPACTED GRANULAR FILL. FILL AS REQUIRED.
- PROVIDE F1 AT ALL NEW SLAB AREAS IN THE UNIVERSAL WASHROOM. REFER ALSO TO STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES AND DETAILS.

CONSTRUCTION LEGEND - PARTITIONS

- P1 = INTERIOR PARTITION WALL: GYPSUM BOARD ON MASONRY
 - 1 LAYER 12mm GYPSUM BOARD ON 4mm STEEL FRAMING CHANNELS AT 800mm O.C. ON ONE SIDE (OFFICE SIDE OF MASONRY PARTITION). EXTEND GYPSUM BOARD MINIMUM 200mm ABOVE FINISHED CEILING. EXTEND STEEL FRAMING TO UNDERSIDE OF ROOF STRUCTURE.
 - 150mm THICK MASONRY PARTITION.
 - REFER TO ROOM FINISH SCHEDULE FOR INTERIOR FINISH.
 - REFER TO ROOM FINISH SCHEDULE FOR CONCRETE FLOOR TO UNDERSIDE OF EXISTING STEEL ROOF JOISTS. PROVIDE STEEL ANGLE SUPPORTS. REFER TO STRUCTURAL DRAWINGS.
- P2 = INTERIOR PARTITION WALL: GYPSUM BOARD ON MASONRY
 - 1 LAYER 12mm GYPSUM BOARD ON 4mm STEEL FRAMING CHANNELS AT 800mm O.C. ON ONE SIDE (OFFICE SIDE OF EXISTING LINOLEUM SHEET FLOORING PARTITION).
 - EXTEND GYPSUM BOARD AND METAL FRAMING FROM CONCRETE FLOOR TO MINIMUM 200mm ABOVE FINISHED CEILING ASSEMBLY. EXTEND STEEL FRAMING TO UNDERSIDE OF STEEL ROOF STRUCTURE.
 - REFER TO CONSTRUCTION NOTES.
- P3 = INTERIOR PARTITION WALL: MASONRY
 - 150mm THICK MASONRY PARTITION.
 - REFER TO ROOM FINISH SCHEDULE FOR INTERIOR FINISH.
 - EXTEND PARTITION TO A HEIGHT OF ±300mm FROM CONCRETE FLOOR TO UNDERSIDE OF EXISTING STEEL ROOF JOISTS. PROVIDE STEEL ANGLE SUPPORTS. REFER TO STRUCTURAL DRAWINGS.
 - REFER TO CONSTRUCTION NOTES.
- P4 = INTERIOR PARTITION WALL: MASONRY
 - REFER TO ROOM FINISH SCHEDULE FOR INTERIOR FINISH.
 - EXTEND PARTITION TO A HEIGHT OF ±300mm FROM CONCRETE FLOOR TO UNDERSIDE OF EXISTING STEEL ROOF JOISTS.
 - PARTITION TYPE IS PROVIDE AN INLET TO AN EXISTING OPENING. SITE VERIFY SIZE OF OPENING.
 - REFER TO CONSTRUCTION NOTES FOR HEIGHT, LENGTH, DEPTH AND METALLATION LAYOUT OF ADJACENT MASONRY PARTITION.
 - REFER TO CONSTRUCTION NOTES.
- P5 = INTERIOR PARTITION: GYPSUM BOARD ON STEEL STUD
 - 1 LAYER 12mm GYPSUM BOARD ON 4mm STEEL FRAMING CHANNELS AT 800mm O.C. ON ONE SIDE (OFFICE SIDE OF EXISTING LINOLEUM SHEET FLOORING PARTITION).
 - EXTEND GYPSUM BOARD AND METAL FRAMING FROM CONCRETE FLOOR TO MINIMUM 200mm ABOVE FINISHED CEILING ASSEMBLY. EXTEND STEEL FRAMING TO UNDERSIDE OF STEEL ROOF STRUCTURE.
 - REFER TO CONSTRUCTION NOTES.

CONSTRUCTION NOTES

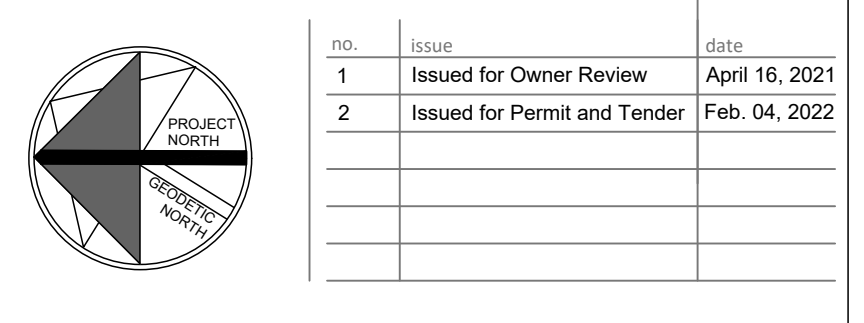
- REFER TO PROPOSED FLOOR PLAN DRAWINGS ON A2.2 AND PROPOSED REFLECTED CEILING PLANS ON DRAWING A3.2 FOR LOCATION OF PARTITIONS.
- UNLESS NOTED OTHERWISE, THE HEIGHT FROM TOP OF GROUND FLOOR CONCRETE SLAB TO UNDERSIDE OF STEEL ROOF DECK IS 3700mm ± SITE VERIFY.
- REFER TO REFLECTED CEILING PLANS FOR HEIGHT OF FINISHED CEILING ASSEMBLY.
- CALLK WITH ACCOUTICAL SEALANT AT PERIMETER OF PARTITION ON BOTH SIDES AND AT PENETRATIONS. 10mm JOINT AT US OF CEILING AND 5mm JOINT AT FLOOR AND VERTICAL JOINTS ABUTTING DISSIMILAR CONSTRUCTION.
- ALL BASE OF P1 AND P2 PARTITION TYPES. STOP GYPSUM BOARD PANELS TO PROVIDE 100mm MINIMUM HEIGHT OF 80mm FROM TOP OF FINISHED FLOOR. MINIMUM HEIGHT OF 80mm FROM THE CENTRE LINE OF THE GRAB BAR TO THE TOP OF FINISHED FLOOR. WALL MOUNT AND PROVIDE A CLEARANCE OF 80mm BETWEEN GRAB BAR AND WALL SURFACE.
- GB = L-SHAPED GRAB BAR (750mm BY 750mm COMPLETE WITH ESCUTCHEONS). WALL MOUNT AT 150mm FROM VERTICAL BAR OUTSIDE EDGE TO EDGE OF TOILET AND AT MAXIMUM HEIGHT OF 750mm FROM CENTRE LINE OF HORIZONTAL GRAB BAR TO TOP OF EXISTING FLOOR.
- BR = WALL MOUNTED BACK REST.
- SN = WALL MOUNTED SANITARY MOP/IN DISPOSAL BIN SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR. INSTALL 600mm FROM TOP OF BIN TO TOP OF FINISHED FLOOR. LOCATION TO BE CONFIRMED ON SITE WITH THE OWNER PRIOR TO INSTALLATION.
- SD = WALL MOUNTED SOAP DISPENSER SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR. MOUNT AT 150mm FROM TOP OF DISPENSER HANDLE TO TOP OF FINISHED FLOOR. LOCATE ON FRONT EDGE OF LAVATORY.
- PT = PAPER TOWEL DISPENSER SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR. MOUNT AT 1100mm FROM TOP OF DISPENSER HANDLE TO TOP OF FINISHED FLOOR. LOCATE ON WALL WITHIN 800mm FROM SIDE EDGE OF LAVATORY.

WASHROOM ACCESSORIES LEGEND

- THE FOLLOWING WASHROOM ACCESSORIES ARE SUPPLIED AND INSTALLED BY THE CONTRACTOR, EXCEPT WHERE NOTED OTHERWISE BELOW. REFER TO SPECIFICATIONS.
- CH = COAT HOOK (BARRIER-FREE). INSTALL AT A HEIGHT OF 905mm MEASURED FROM CENTRE OF HOOK TO TOP OF FINISHED FLOOR.
 - SH = SHelf (BARRIER-FREE). INSTALL AT MAXIMUM HEIGHT OF 1100mm FROM TOP OF SHELF TO TOP OF FINISHED FLOOR.
 - MR = FIXED FRAME MIRROR (450mm W x 700mm H). INSTALL AT 950mm FROM UNDERSIDE OF MIRROR TO TOP OF FINISHED FLOOR TO COMPLY WITH BARRIER-FREE REQUIREMENTS.
 - GB = FOLD DOWN GRAB BAR (750mm BY 280mm COMPLETE WALL ANCHOR). WALL MOUNT AT MAXIMUM HEIGHT OF 800mm FROM TOP OF GRAB BAR TO TOP OF EXISTING FLOOR. INCLUDE FOR SAFETY RAIL AND INTEGRATED TOILET PAPER DISPENSER (TP).
 - BR = STRAIGHT GRAB BAR (600mm LONG COMPLETE WITH ESCUTCHEONS). INSTALL ALIGNED WITH THE CENTRE LINE OF THE TOILET AT A MAXIMUM HEIGHT OF 800mm FROM THE CENTRE LINE OF THE GRAB BAR TO THE TOP OF FINISHED FLOOR. MINIMUM HEIGHT OF 80mm FROM THE CENTRE LINE OF THE GRAB BAR TO THE TOP OF FINISHED FLOOR. WALL MOUNT AND PROVIDE A CLEARANCE OF 80mm BETWEEN GRAB BAR AND WALL SURFACE.
 - GB = L-SHAPED GRAB BAR (750mm BY 750mm COMPLETE WITH ESCUTCHEONS). WALL MOUNT AT 150mm FROM VERTICAL BAR OUTSIDE EDGE TO EDGE OF TOILET AND AT MAXIMUM HEIGHT OF 750mm FROM CENTRE LINE OF HORIZONTAL GRAB BAR TO TOP OF EXISTING FLOOR.
 - BR = WALL MOUNTED BACK REST.
 - SN = WALL MOUNTED SANITARY MOP/IN DISPOSAL BIN SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR. INSTALL 600mm FROM TOP OF BIN TO TOP OF FINISHED FLOOR. LOCATION TO BE CONFIRMED ON SITE WITH THE OWNER PRIOR TO INSTALLATION.
 - SD = WALL MOUNTED SOAP DISPENSER SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR. MOUNT AT 150mm FROM TOP OF DISPENSER HANDLE TO TOP OF FINISHED FLOOR. LOCATE ON FRONT EDGE OF LAVATORY.
 - PT = PAPER TOWEL DISPENSER SUPPLIED BY OWNER AND INSTALLED BY CONTRACTOR. MOUNT AT 1100mm FROM TOP OF DISPENSER HANDLE TO TOP OF FINISHED FLOOR. LOCATE ON WALL WITHIN 800mm FROM SIDE EDGE OF LAVATORY.

NOTE: THIS DRAWING IS NOT TO BE SCALED. THE CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF ALL SITE DIMENSIONS AND FOR NOTIFYING THE ARCHITECT OF ANY SITE CONDITIONS AND SITE MEASUREMENTS THAT ARE NOT CONSISTENT WITH THE DRAWINGS.

no.	revision	date
1	Issued for Owner Review	April 16, 2021
2	Issued for Permit and Tender	Feb. 04, 2022



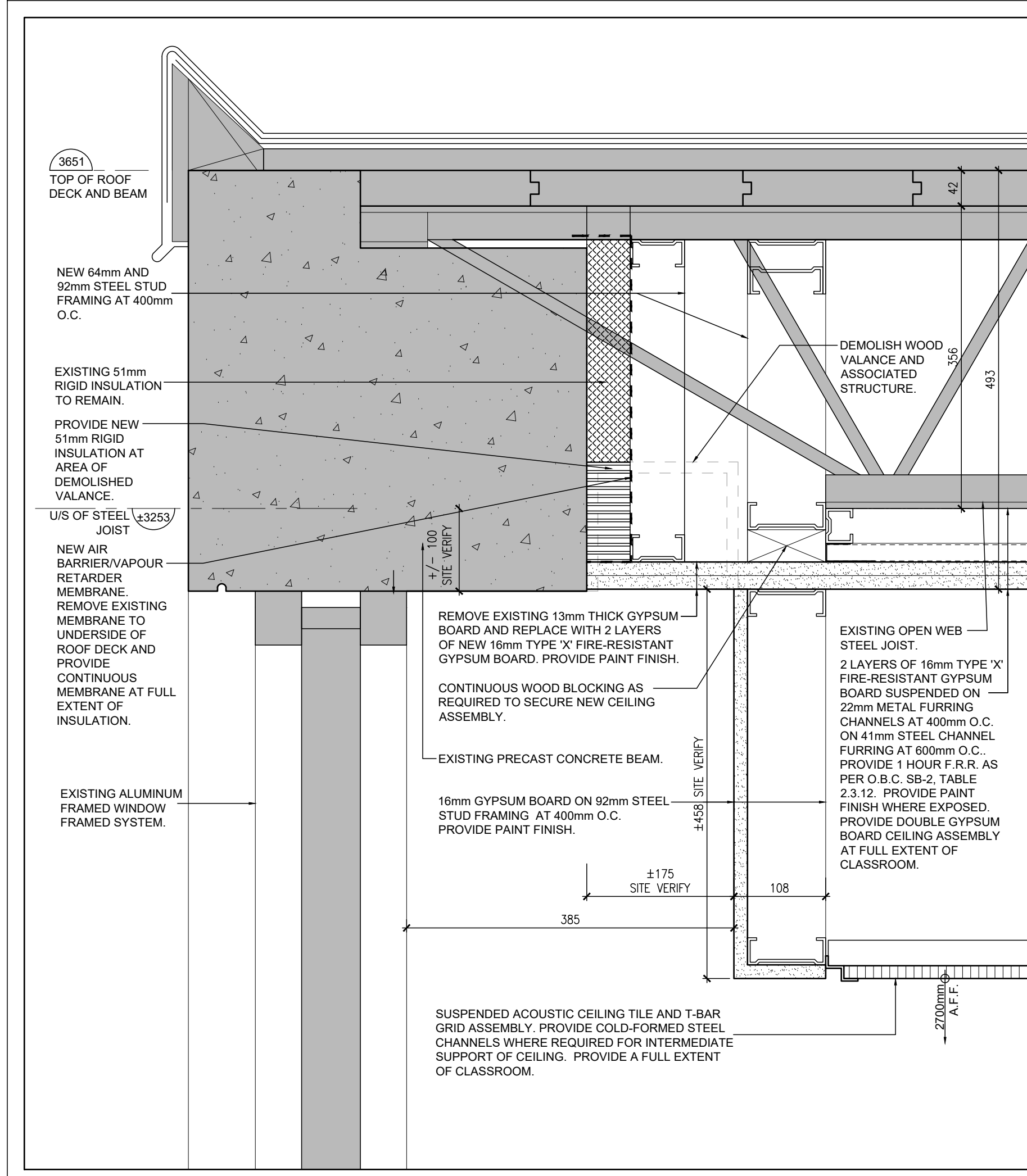
project
 WROSB CHALMERS STREET PUBLIC SCHOOL RENOVATIONS: HVAC UPGRADE AND UNIVERSAL WASHROOM
 TENDER #7191-RW-22
 WATERLOO REGION DISTRICT SCHOOL BOARD
 35 CHALMERS ST. SOUTH, CAMBRIDGE N1R 5B4
 drawing
 PARTIAL PROPOSED GROUND FLOOR PLANS, NOTES, LEGENDS AND FINISH SCHEDULE

drawing scale
 1:50
 ward99 project number
 21007 - CHALMERS PS

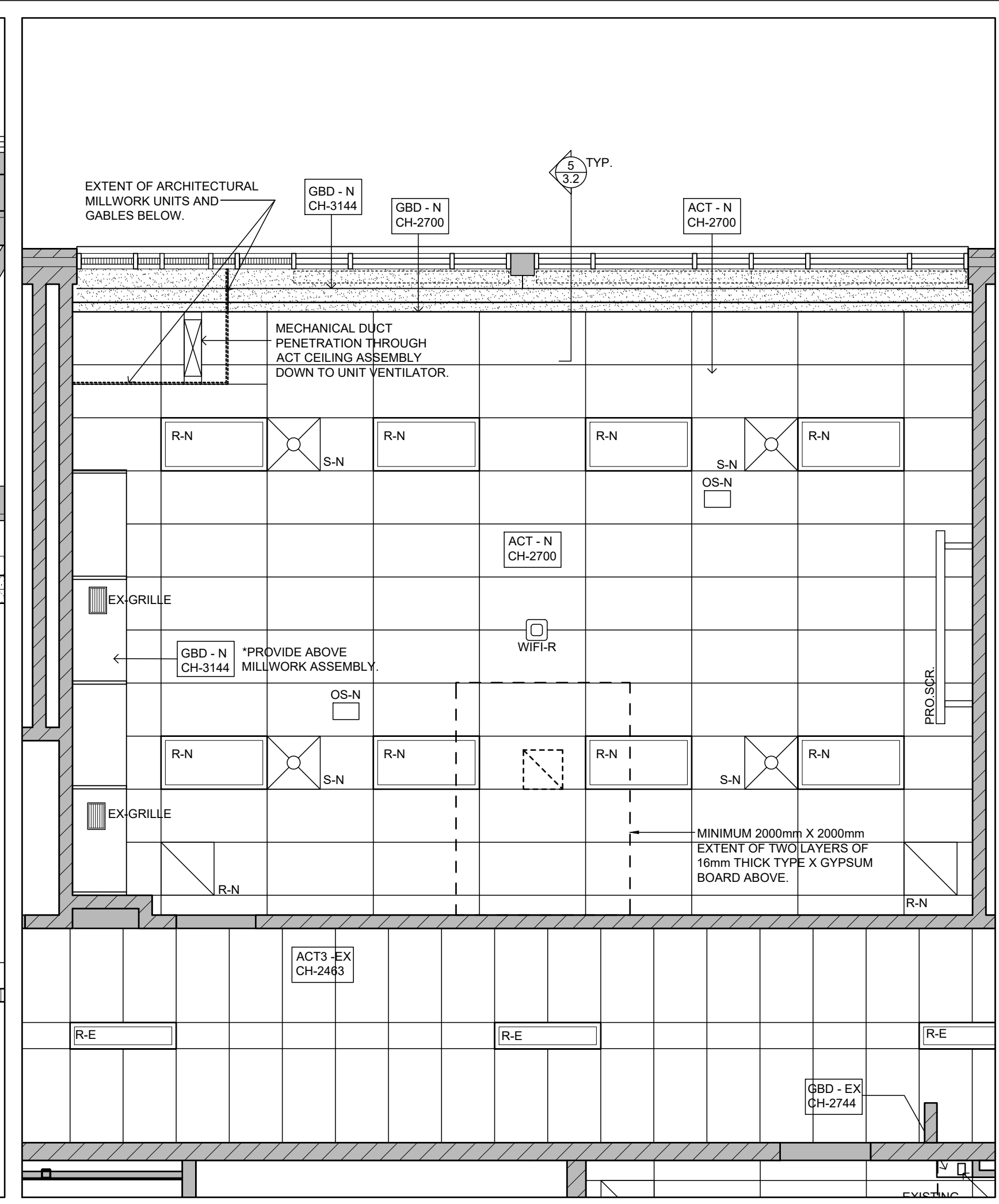
ward99 architects drawing no.

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 416 613 5880 www.ward99architects.com

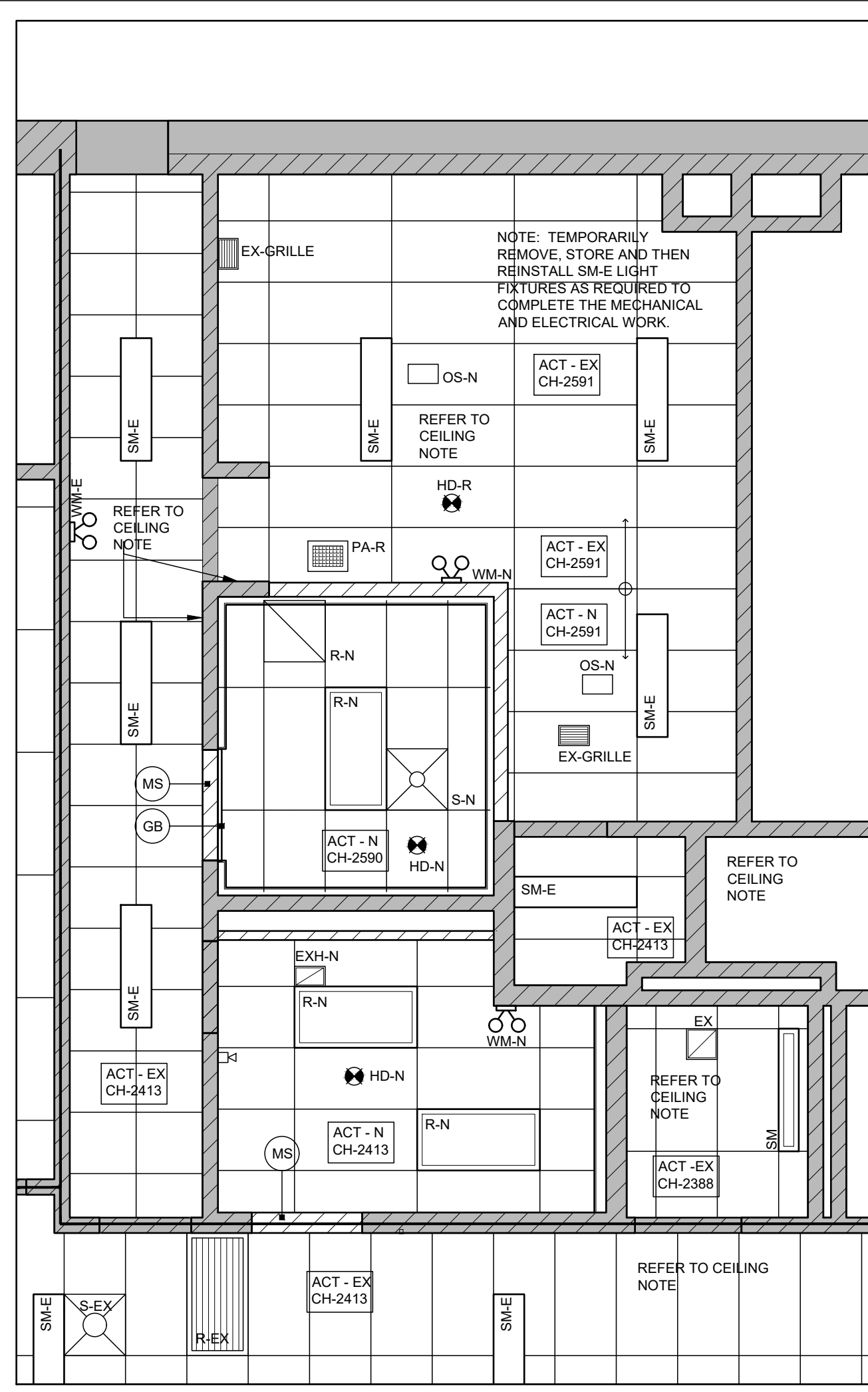
A2.2



5 TYPICAL CEILING SECTION DETAIL
A3.2 1:5



2 CLASSROOM 1 PROPOSED REFLECTED CEILING PLAN 1:50



1 PARTIAL PROPOSED GROUND FLOOR REFLECTED CEILING PLAN
A3.2 1:50

REFLECTED CEILING PLAN LEGEND

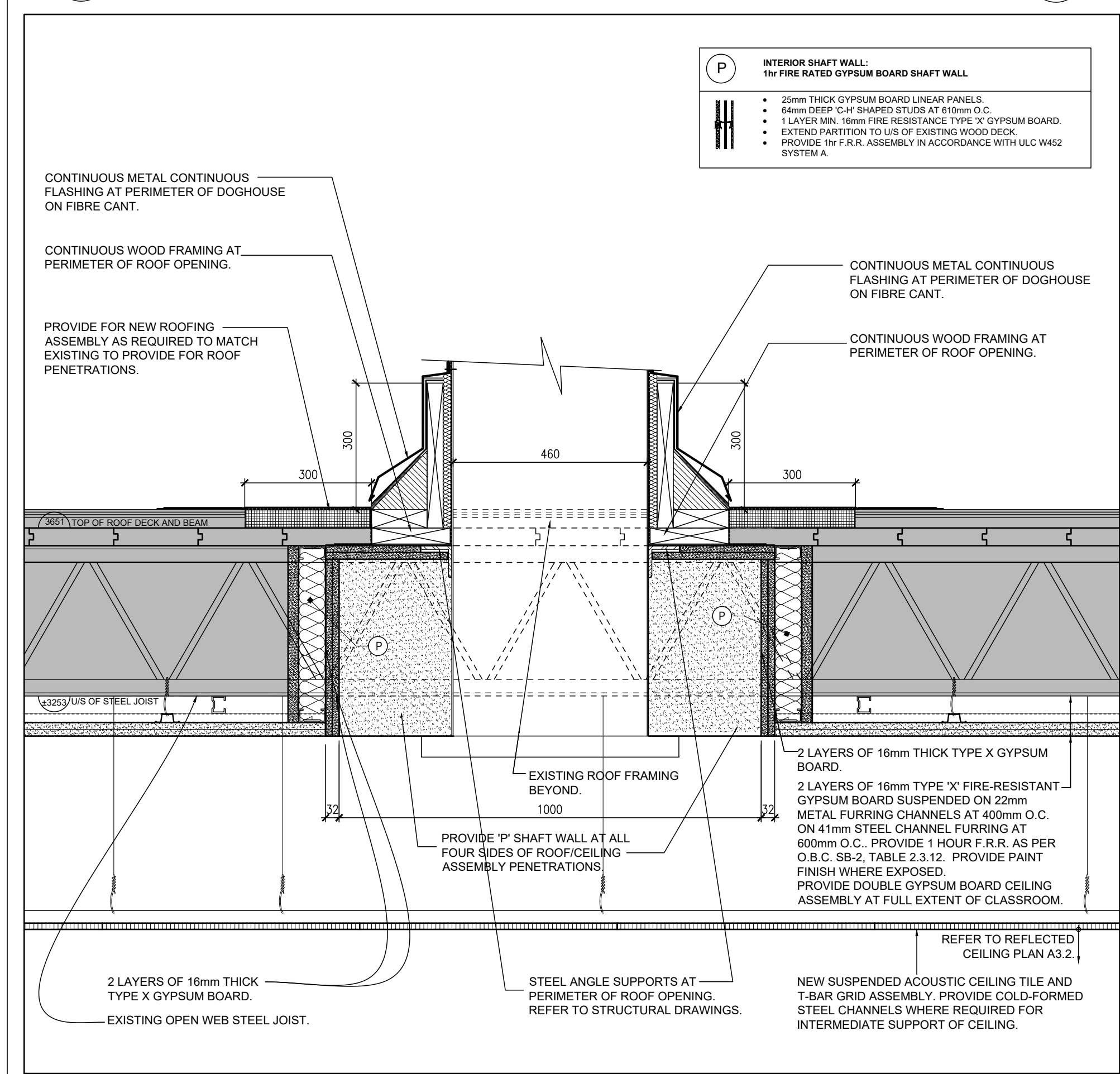
- OS-N NEW OCCUPANCY SENSOR. REFER TO ELECTRICAL DRAWINGS.
- HD-N NEW HEAT DETECTOR. REFER TO ELECTRICAL DRAWINGS.
- HD-R EXISTING HEAT DETECTOR REINSTALLED ONTO NEW CEILING ASSEMBLY. REFER TO ELECTRICAL DRAWINGS.
- EXH-N EXISTING EXHAUST FAN. EXH-N+NEW EXHAUST FAN. REFER TO MECHANICAL DRAWINGS.
- S-N NEW SUPPLY AIR GRILLE. REFER TO MECHANICAL DRAWINGS.
- R-N NEW RETURN AIR GRILLE. REFER TO MECHANICAL DRAWINGS.
- EXH-R EXISTING RETURN AIR GRILLE TO REMAIN. REFER TO MECHANICAL DRAWINGS.
- R-N NEW RECESSED LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- S-M-E EXISTING SURFACE MOUNTED LIGHT FIXTURE TO REMAIN. REFER TO ELECTRICAL DRAWINGS.
- W-M-E EXISTING WALL MOUNTED EMERGENCY LIGHT FIXTURE TO REMAIN.
- W-M-N NEW WALL MOUNTED EMERGENCY LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- PA EXISTING PUBLIC ADDRESS. REFER TO ELECTRICAL DRAWINGS.
- PA-R EXISTING PUBLIC ADDRESS REINSTALLED ONTO NEW CEILING ASSEMBLY. REFER TO ELECTRICAL DRAWINGS.
- WIF-R EXISTING CEILING MOUNTED WIF DEVICE REINSTALLED ONTO NEW CEILING ASSEMBLY. REFER TO ELECTRICAL DRAWINGS.
- CH WALL MOUNTED ALARM STROBE. REFER TO ELECTRICAL DRAWINGS.
- PRO SCR CM REINSTALLED EXISTING CEILING MOUNTED PROJECTOR SCREEN ASSEMBLY.
- PRO SCR REINSTALLED EXISTING WALL MOUNTED PROJECTOR SCREEN.
- MS EXISTING MASONRY HEADER ABOVE EXISTING WALL OPENING TO REMAIN.
- GB EXISTING GYPSUM BOARD FINISHED STEEL FRAMED HEADER ABOVE EXISTING WALL OPENING. REFER TO STRUCTURAL DRAWINGS.
- MS+GB NEW MASONRY HEADER ABOVE NEW WALL OPENING. REFER TO STRUCTURAL DRAWINGS.
- GB NEW GYPSUM BOARD FINISHED HEADER.
- NEW SUSPENDED ACOUSTIC CEILING TILE ASSEMBLY AND ASSOCIATED T-BAR GRID SYSTEM. SIZE: 610mm X 1200mm.
- EXISTING GYPSUM BOARD FINISHED CEILING AND/OR BULKHEAD TO REMAIN. CH = HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF EXISTING FINISHED CEILING.
- EXISTING SUSPENDED ACOUSTIC CEILING TILE AND T-BAR GRID SYSTEM TO BE REMAIN. TEMPORARILY REMOVE, PROTECT AND STORE TO COMPLETE THE WORK AS REQUIRED. REINSTATE IN ORIGINAL CONDITION ONCE WORK IS COMPLETE. CH = HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF EXISTING FINISHED CEILING.
- NEW SUSPENDED ACOUSTIC CEILING TILE ASSEMBLY AND ASSOCIATED T-BAR GRID SYSTEM. SIZE: 610mm X 1200mm. CH = HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF FINISHED CEILING.
- NEW GYPSUM BOARD FINISHED CEILING AND/OR BULKHEAD SUSPENDED FROM EXISTING ROOF STRUCTURE AT CLASSROOMS 1, 2 AND 7. CH = HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF EXISTING FINISHED CEILING. GBD-N IS TO BE PROVIDED AT THE FULL EXTENT OF THE CLASSROOMS FROM WALL TO WALL AND IS TO BE CONCEALED ABOVE ACT-N GBD-N ASSEMBLY IS TO BE COMPRISED OF 2 LAYERS OF 16mm TYPE 'X' FIRE RESISTANT GYPSUM BOARD SUSPENDED ON 22mm METAL FURRING CHANNELS AT 400mm O.C. ON 41mm STEEL CHANNEL FURRING AT 600mm O.C. SECURE TO EXISTING STEEL JOIST DECK. *ASSEMBLY PROVIDES FOR 1 HOUR F.R.R AS PER O.B.C. SB-2, TABLE 2.3.12. PROVIDE PAINT FINISH WHERE EXPOSED.

GENERAL REFLECTED CEILING PLAN NOTES

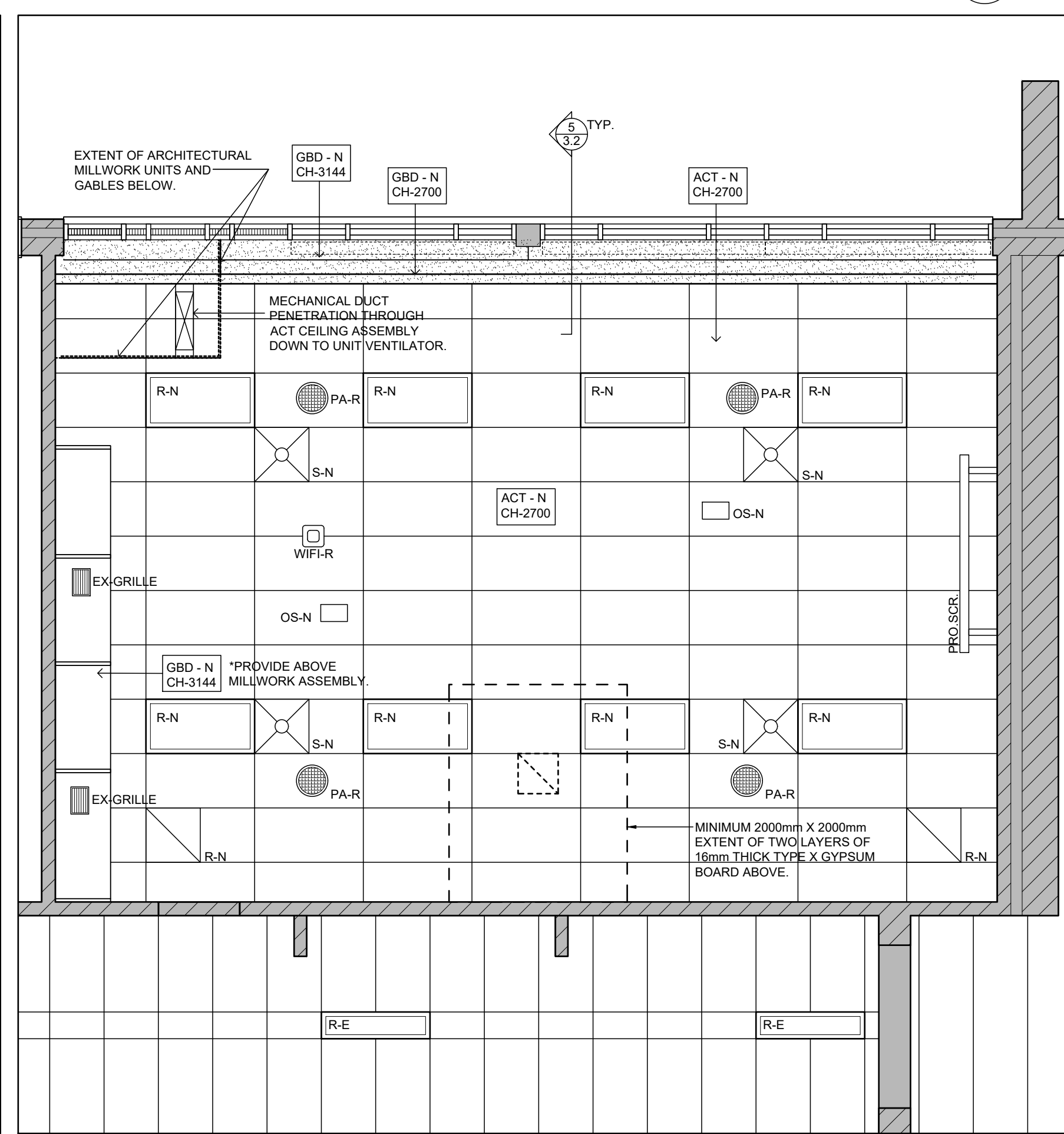
- REFER TO REFLECTED CEILING PLANS ON ARCHITECTURAL DRAWINGS A3.2
- AT AREAS WHERE EXISTING CEILING AND ASSOCIATED ASSEMBLIES ARE IDENTIFIED TO REMAIN, THE EXISTING CEILING AND ASSOCIATED ASSEMBLIES ARE TO BE TEMPORARILY REMOVED, STORED AND THEN REINSTALLED AS REQUIRED TO ACCOMMODATE NEW ARCHITECTURAL, STRUCTURAL, ELECTRICAL AND MECHANICAL WORK. EXISTING CEILING FINISHES AND ASSOCIATED FRAMING ARE TO BE ADJUSTED AS REQUIRED TO ACCOMMODATE NEW ARCHITECTURAL, ELECTRICAL, MECHANICAL AND ELECTRICAL WORK. PROVIDE NEW MATCHING CEILING ASSEMBLY TO REPLACE EXISTING AS REQUIRED TO COMPLETE THE WORK. REPAIR AND MAKE GOOD ALL EXISTING CEILING FINISHES AND ASSEMBLIES REQUIRED TO BE REMOVED, REMOVED OR ADJUSTED TO ACCOMMODATE DEMOLITION AND NEW WORK. REINSTALL CEILING ASSEMBLIES ONCE DEMOLITION AND NEW WORK IS COMPLETE. REPLACE EXISTING CEILING ASSEMBLIES WITH NEW CEILING TO MATCH EXISTING AS REQUIRED TO ACCOMMODATE DEMOLITION AND NEW WORK.
- REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR COORDINATION AND ADDITIONAL INFORMATION AND NOTES.
- PROVIDE PAINT FINISH TO ALL EXPOSED MECHANICAL AND ELECTRICAL PIPES AND CONDUITS AND ASSOCIATED MECHANICAL AND ELECTRICAL COMPONENTS (NEW AND EXISTING).
- ALL CEILING MOUNTED COMPONENTS AND EQUIPMENT ARE TO BE MOUNTED IN THE CENTRE OF ACOUSTIC CEILING TILES, UNLESS NOTED OTHERWISE. EXISTING CEILING MOUNTED DEVICES AND FIXTURES ARE TO BE TEMPORARILY REMOVED AND THEN REINSTALLED AS REQUIRED TO COMPLETE THE WORK.

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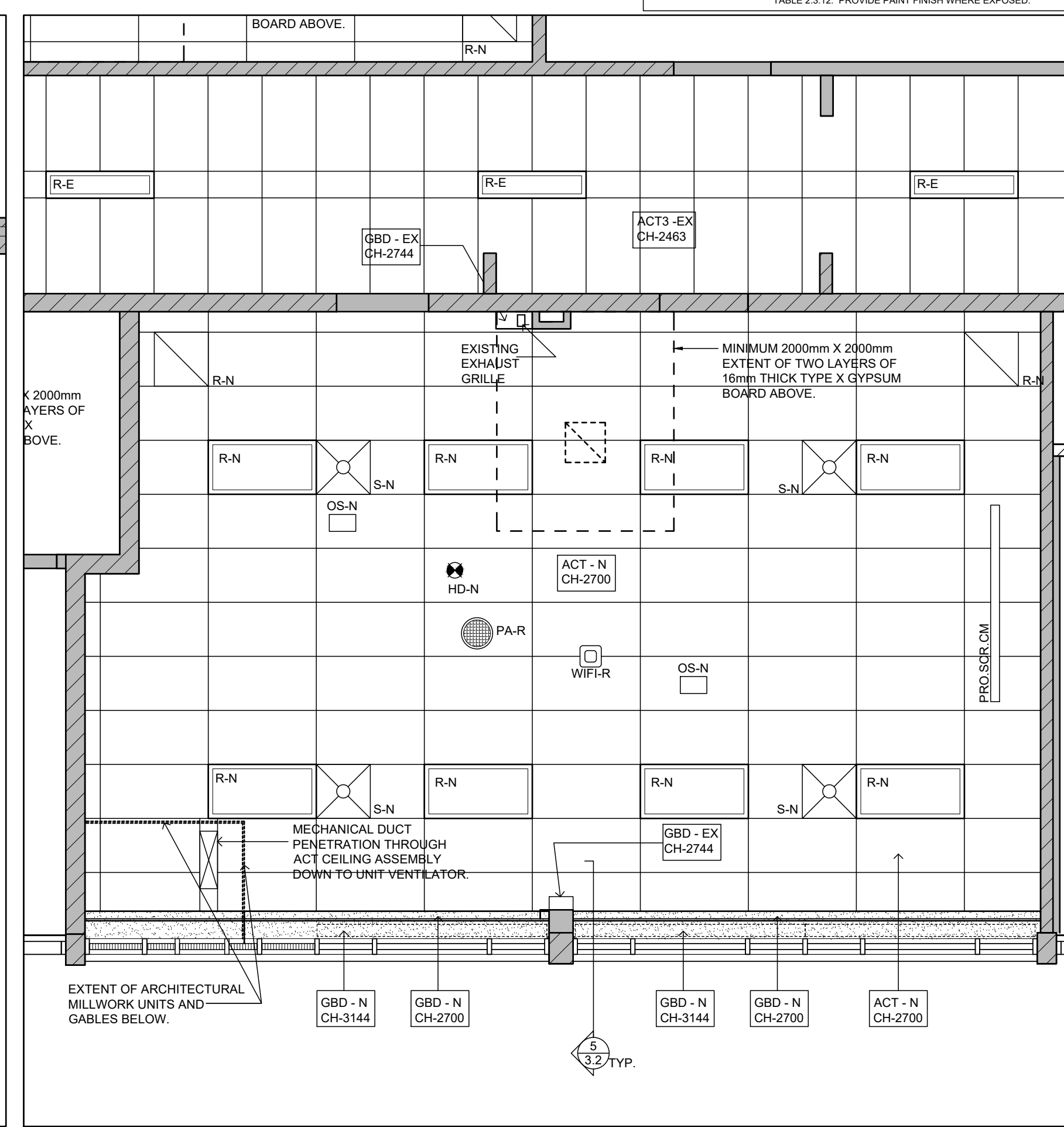
no.	revision	date



6 TYPICAL SECTION DETAIL AT EXHAUST GOOSE NECK
A3.2 1:10



4 CLASSROOM 7 PROPOSED REFLECTED CEILING PLAN 1:50



3 CLASSROOM 2 PROPOSED REFLECTED CEILING PLAN 1:50

PROJECT

WARD99 ARCHITECTS

WARD99 ARCHITECTS INC.
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PROJECT NO. 21007 - CHALMERS PS

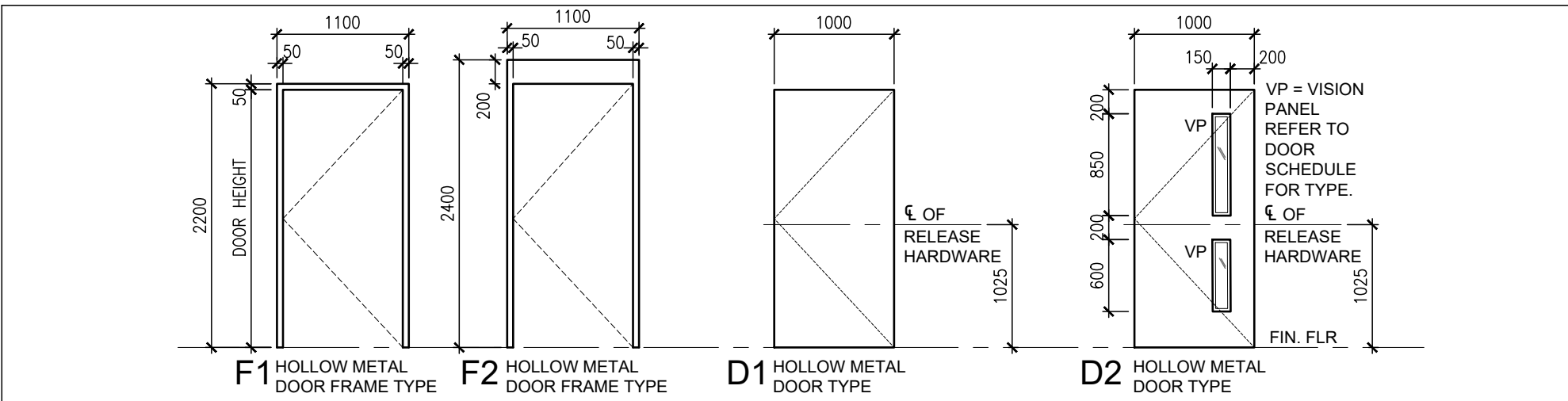
ward99 architects drawing no. **A3.2**

DOOR AND HARDWARE SCHEDULE

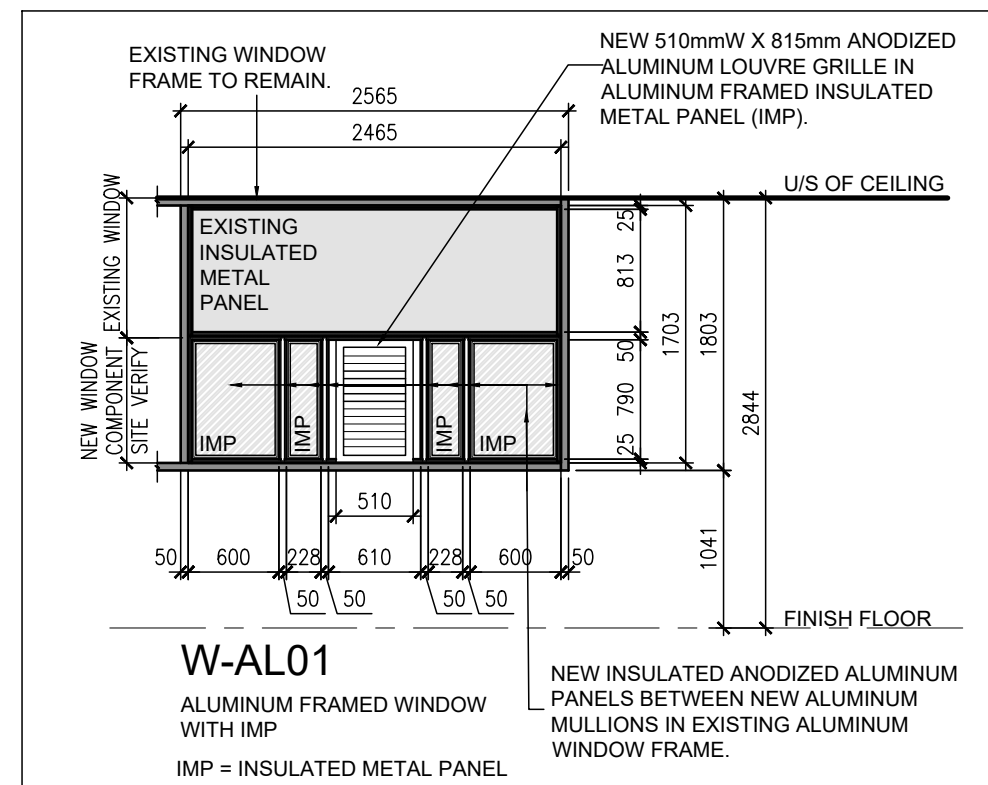
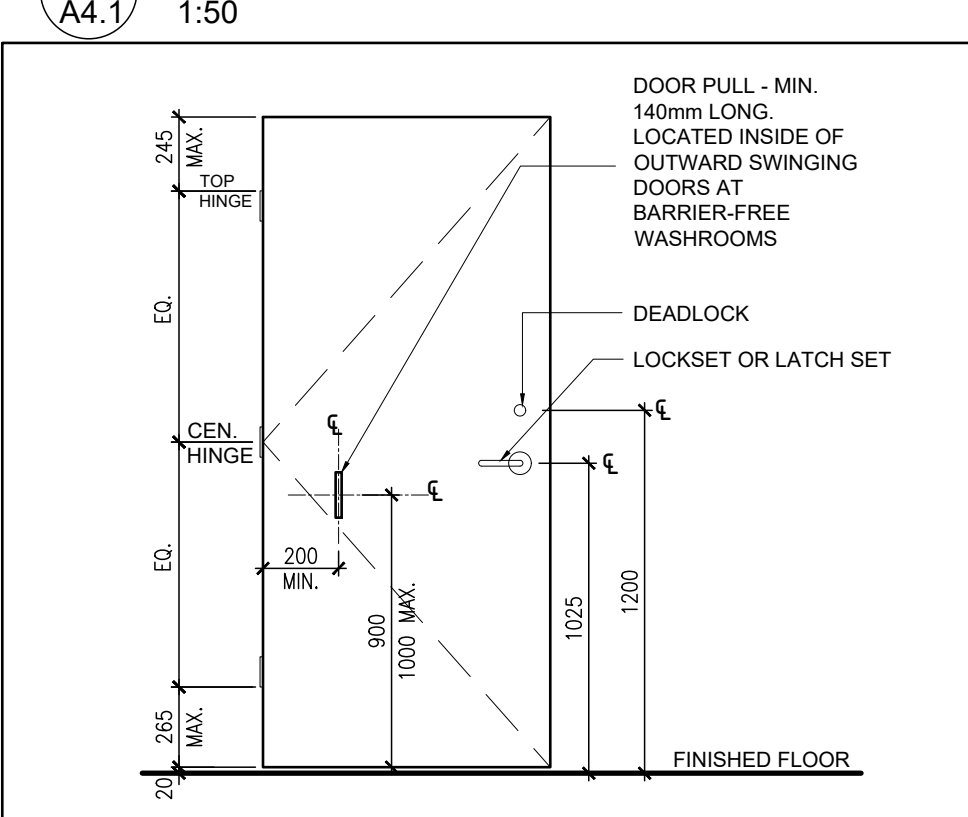
DOOR No.	ROOM NAME	FIRE RATING	DOOR							DOOR FRAME AND SCREEN				DOOR, DOOR FRAME AND SCREEN NOTES	DOOR HARDWARE REQUIREMENTS & NOTES
			WIDTH	HEIGHT	THICK	MATERIAL	FINISH	TYPE	VISION PANEL	MATERIAL	FINISH	TYPE	VISION PANEL		
G139	UNIVERSAL WASHROOM	1 HR	1000mm	2150mm	45 mm	HOLLOW METAL	PAINTED	D1	-	HOLLOW METAL	PAINTED	F2	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS D.E.F ON 12/A4.1.	1/2" HINGES (PARS), LOCKSET, MASTER KEY, INTERFACE BOX, CYLINDER, KICK PLATE, OVER-HEAD STOP, ELECTRIC STRIKE, POWER DOOR OPERATOR, MOUNTING PLATE, LED ANNUNCIATOR, EMERGENCY CALL KIT, PUSH TO LOCK, CLOSER, PUSH PLATE ACTUATORS, CYLINDER, REFER TO ELECTRICAL DRAWINGS. HARDWARE, INCLUDING AUTOMATIC HARDWARE IS CARRIED IN THE CASH ALLOWANCE.
G144	INSTRUCTORS OFFICE	-	1000mm	2150mm	45 mm	HOLLOW METAL	PAINTED	D2	TGL	HOLLOW METAL	PAINTED	F1	-	REFER TO HOLLOW METAL DOOR FRAME DETAILS A.B.C ON 12/A4.1. TGL = 6mm THICK TEMPERED GLASS PANEL.	1/2" HINGES (PARS), LOCKSET, MASTER KEY, CYLINDER, KICK PLATE, OVER-HEAD STOP, CYLINDER. HARDWARE IS CARRIED IN CASH ALLOWANCE.

GENERAL DOOR HARDWARE SCHEDULE NOTES

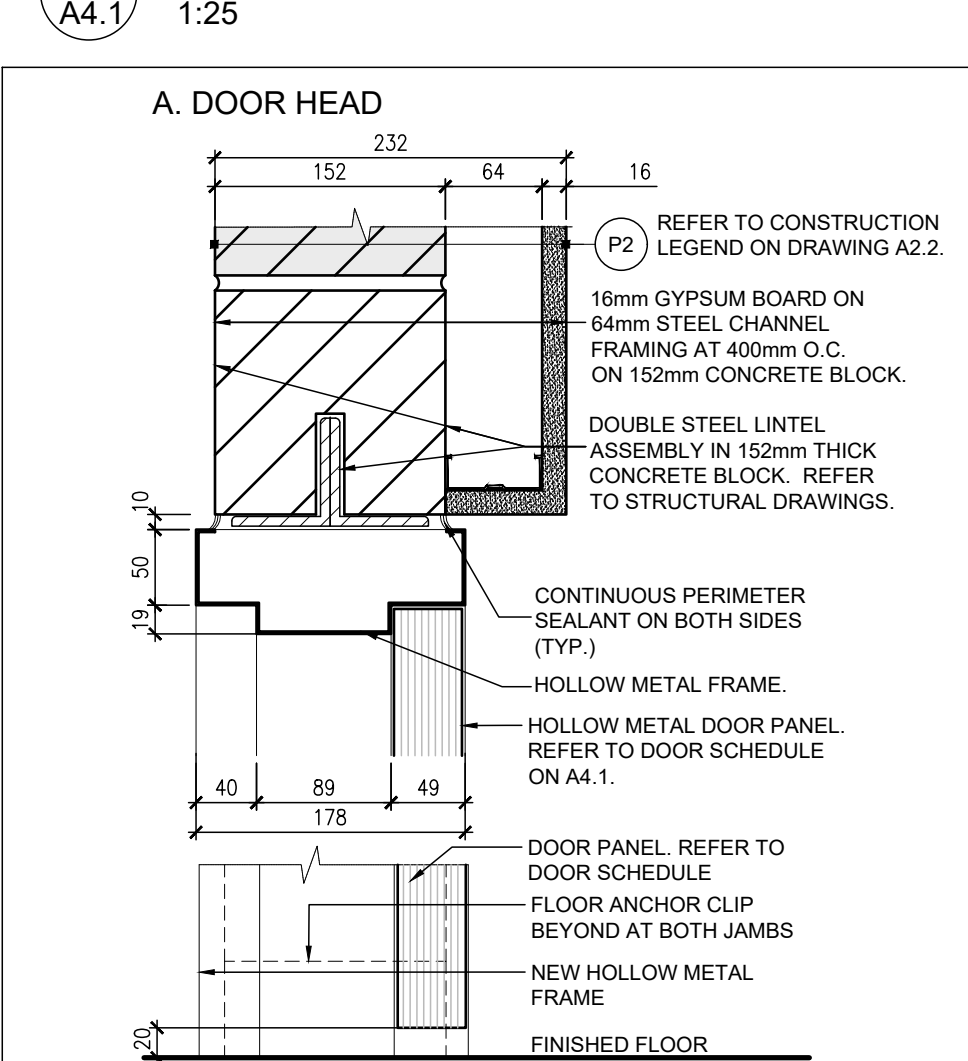
- REFER TO DRAWING 9/A4.1 FOR DOOR ELEVATION TYPES AND HOLLOW METAL DOOR FRAME ELEVATION TYPES.
- REFER TO DRAWING 11/A4.1 FOR ALUMINUM FRAMED WINDOW ELEVATION TYPE.
- HARDWARE IS CARRIED IN THE PROJECT CASH ALLOWANCE.
- PAIN ALL NEW HOLLOW METAL DOORS AND DOOR FRAMES.
- SITE VERIFY EXISTING HEIGHT AND WIDTH OF WINDOW OPENINGS AT CLASSROOMS 1, 2 AND 7 FOR REPLACEMENT WITH INSULATED METAL PANELS AND INTAKE LOUVRES.
- REFER TO DETAIL 10/A4.1 FOR DOOR HARDWARE LOCATION. NOTE THE FOLLOWING:
 - AT 1025mm FROM TOP OF FINISHED FLOOR TO CENTER OF LOCKSET/LATCH SET.
 - AT 100mm FROM DOOR SIDE EDGE TO CENTER OF DEADLOCK.
- DOOR HINGES TO BE INSTALLED AS FOLLOWS:
 - TOP HINGE: 125mm MAXIMUM FROM TOP OF HINGE TO TOP EDGE OF DOOR.
 - CENTER HINGE: CENTERED BETWEEN TOP AND BOTTOM HINGE.
 - BOTTOM HINGE: 255mm MAXIMUM FROM BOTTOM OF HINGE TO BOTTOM DOOR EDGE.



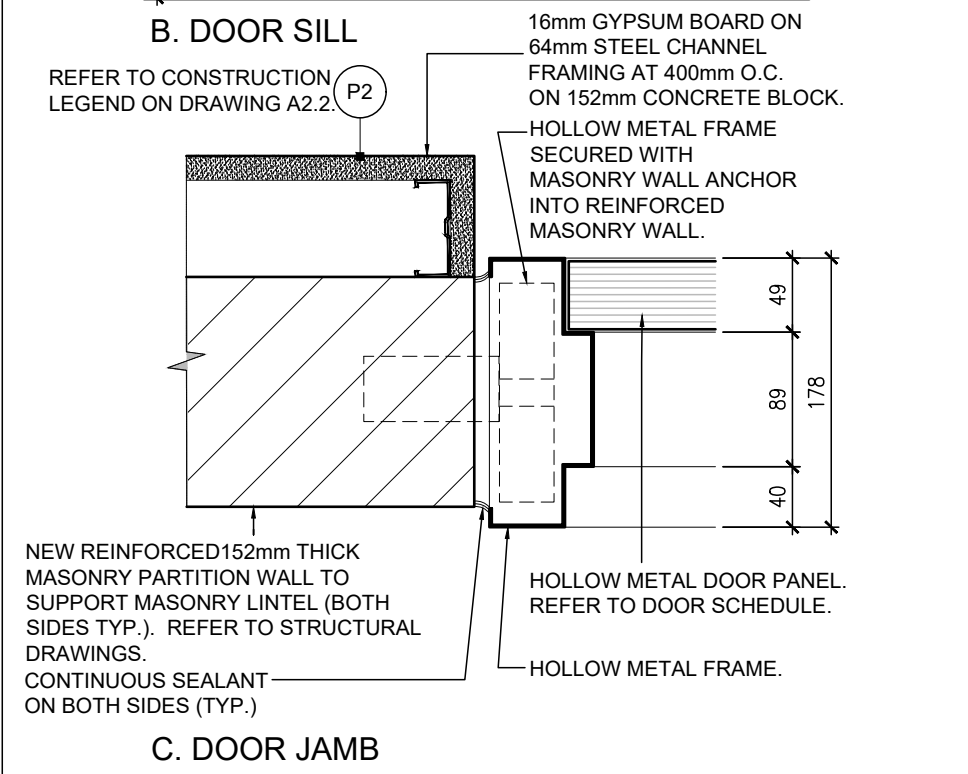
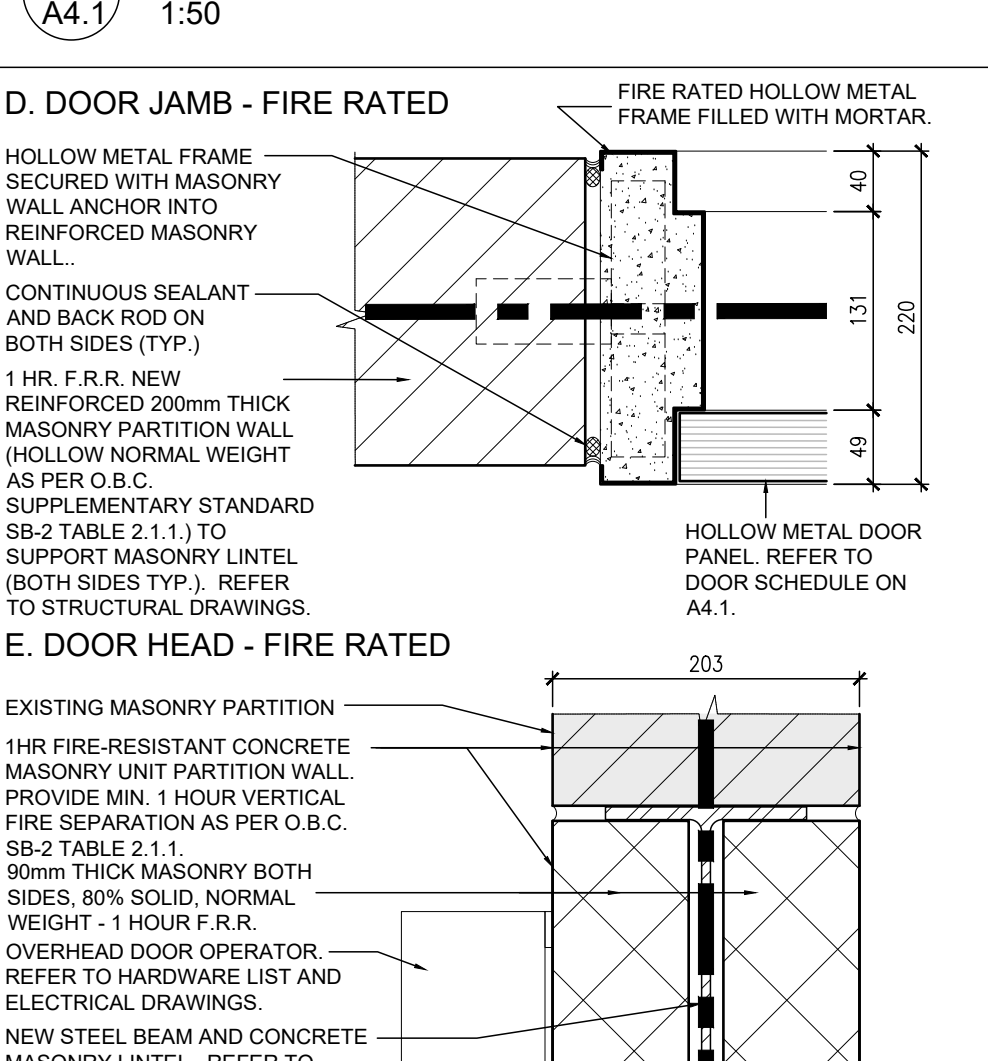
9 HOLLOW METAL DOOR FRAME ELEVATION TYPES AND DOOR ELEVATION TYPES



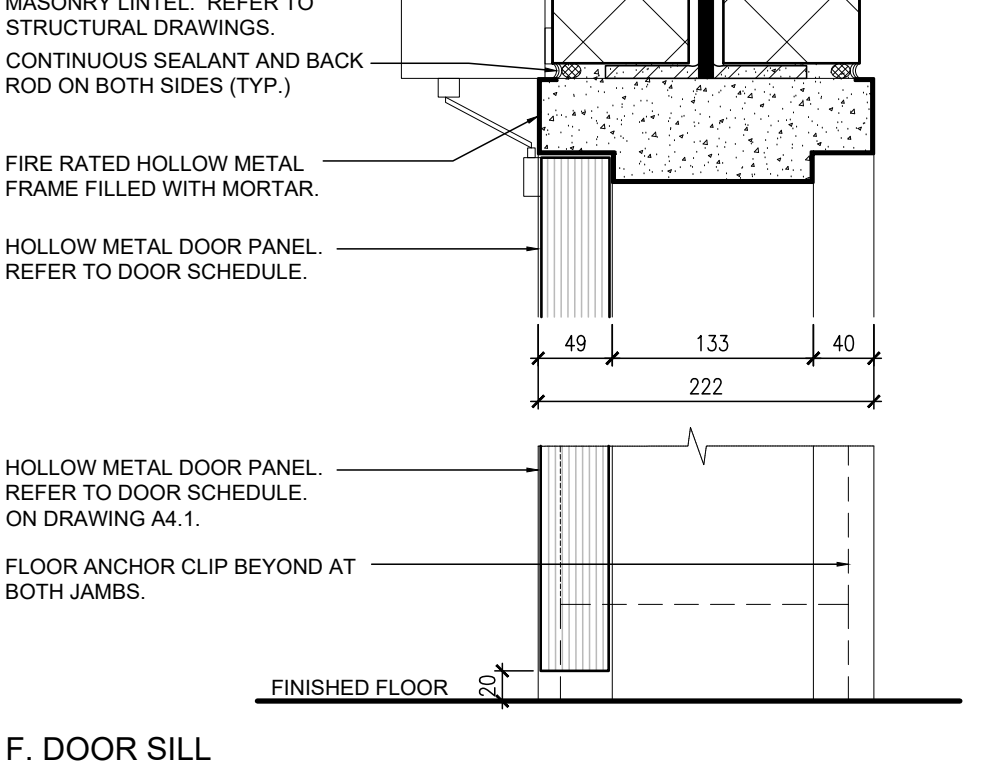
10 DOOR HARDWARE LOCATIONS



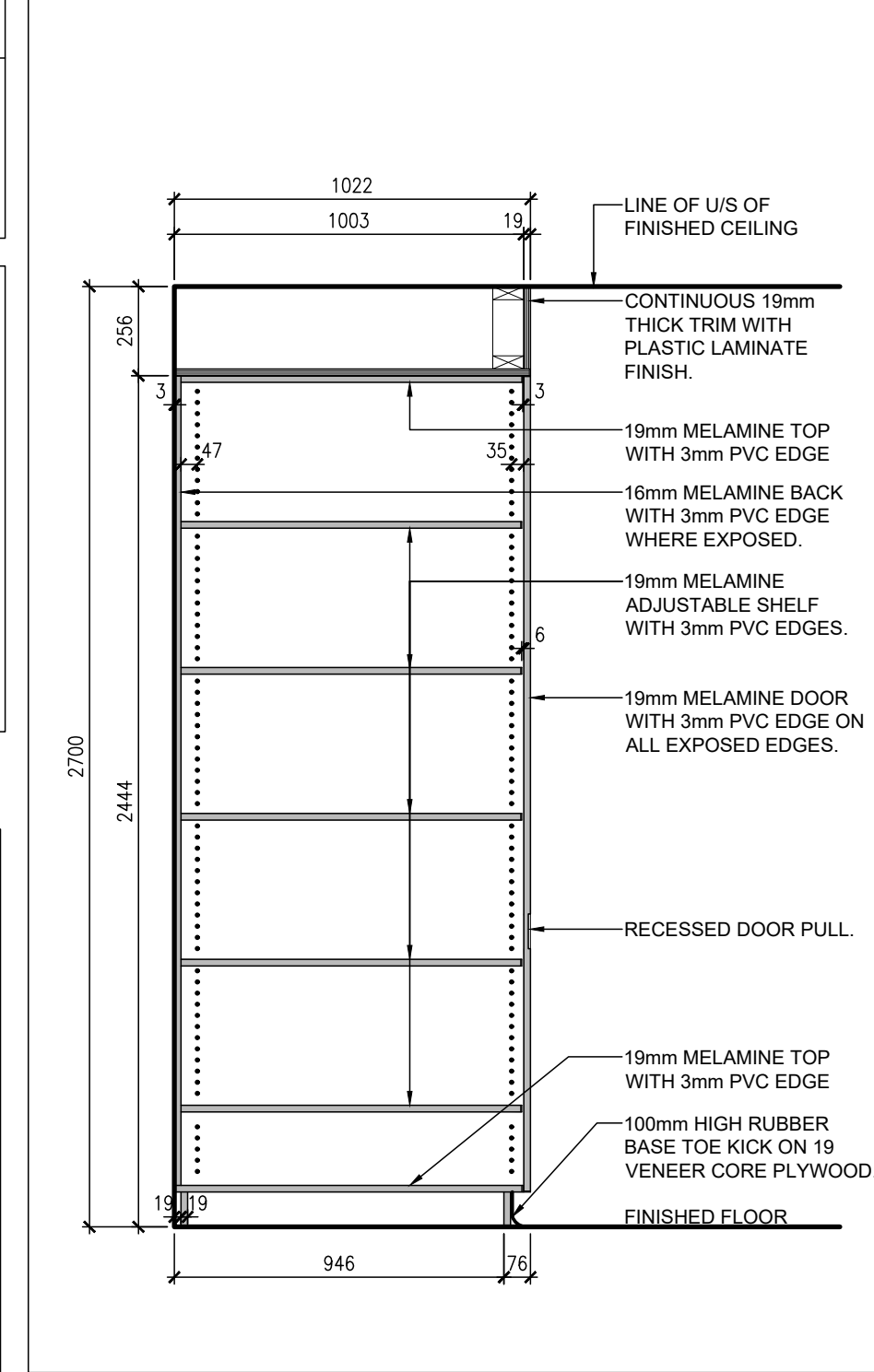
11 WINDOW ELEVATION



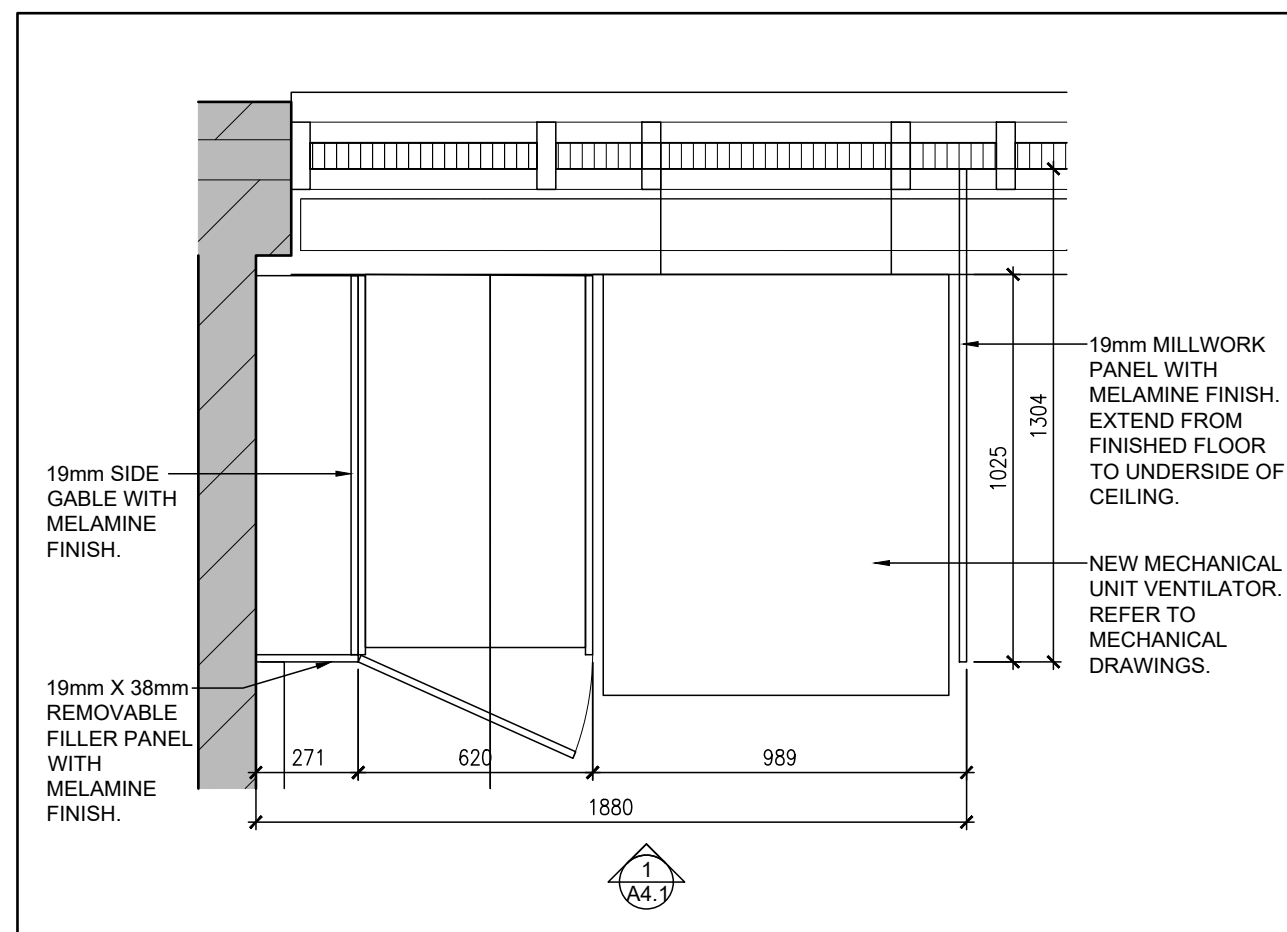
12 HOLLOW METAL DOOR FRAME DETAILS



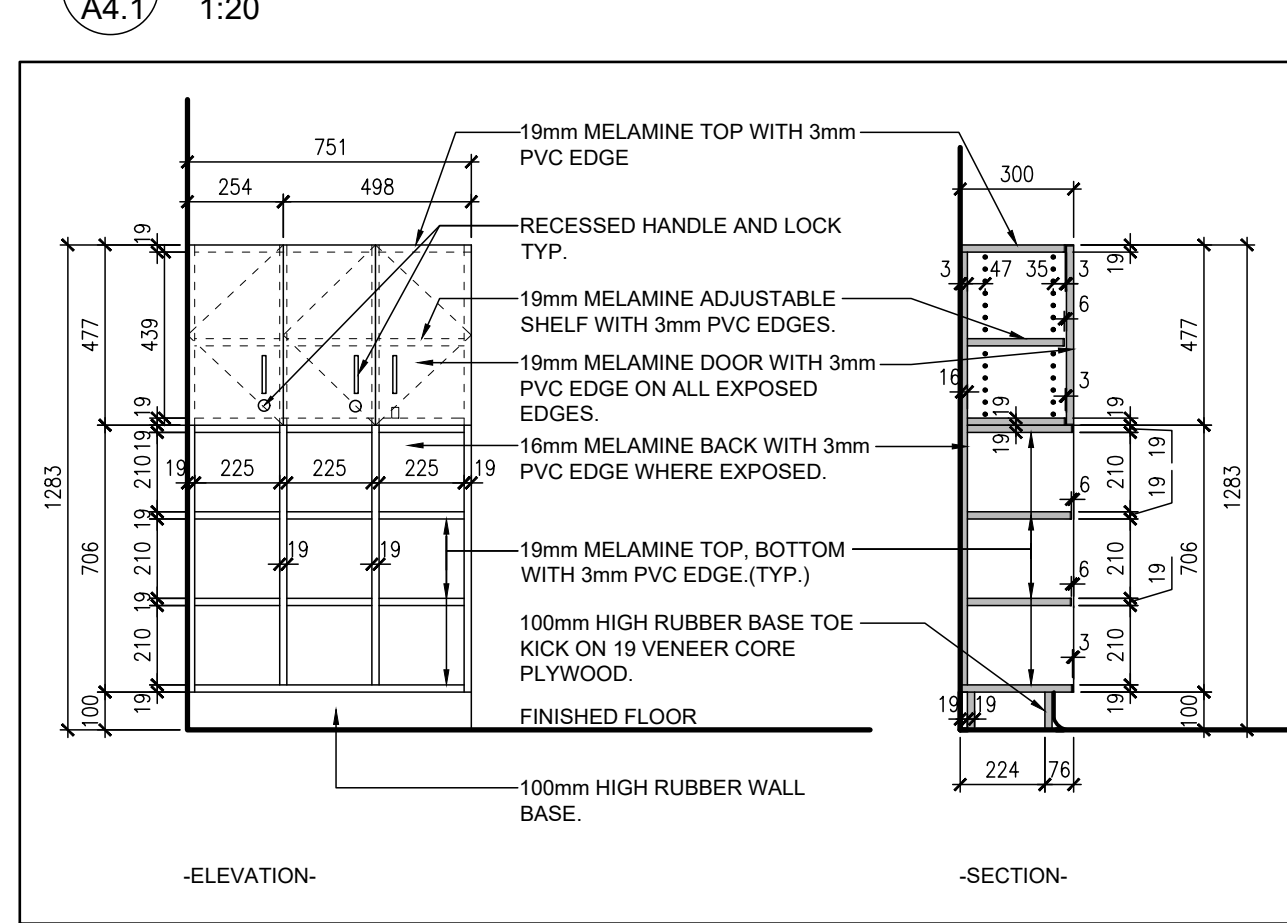
F. DOOR SILL



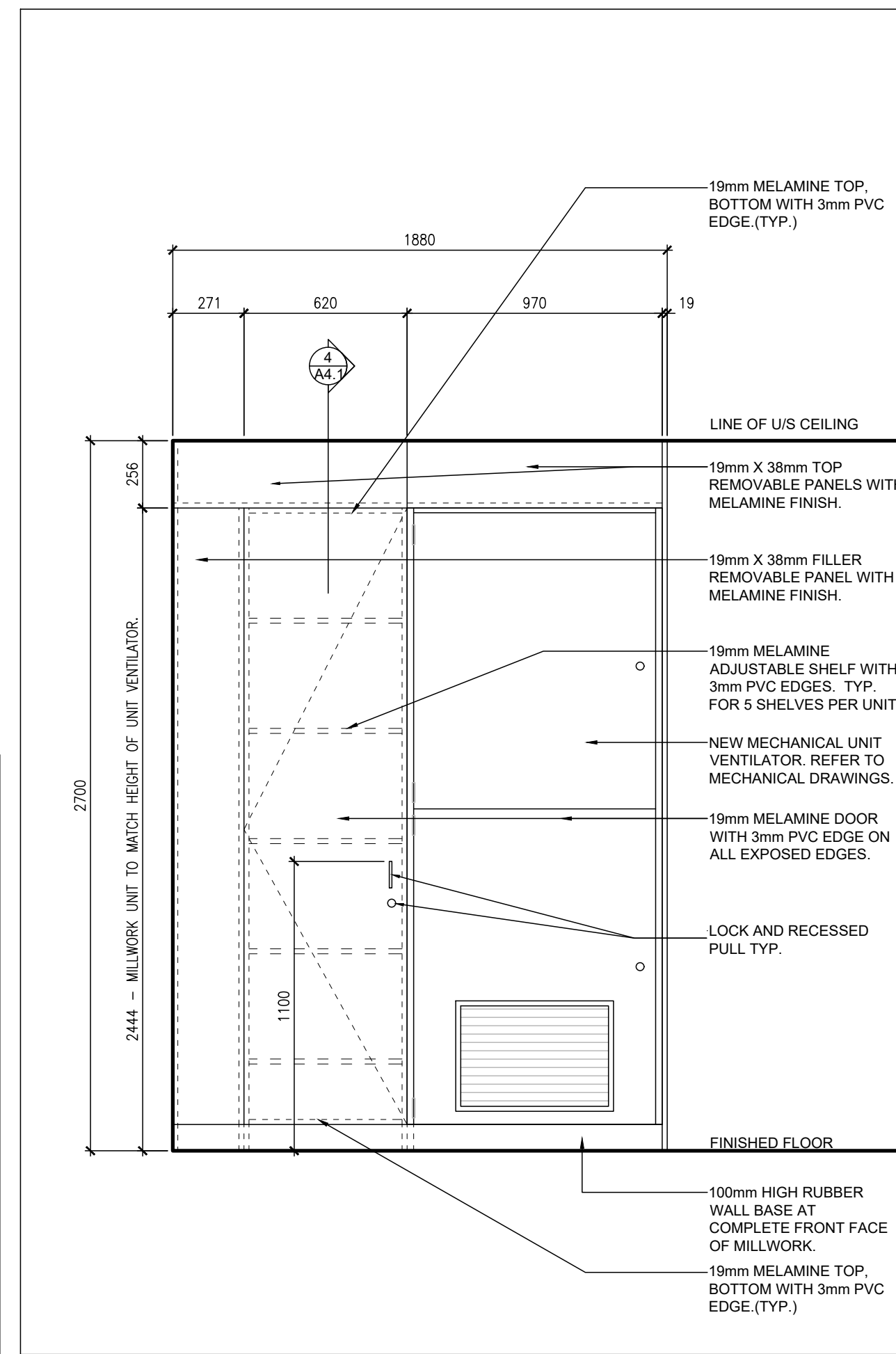
4 MILLWORK SECTION



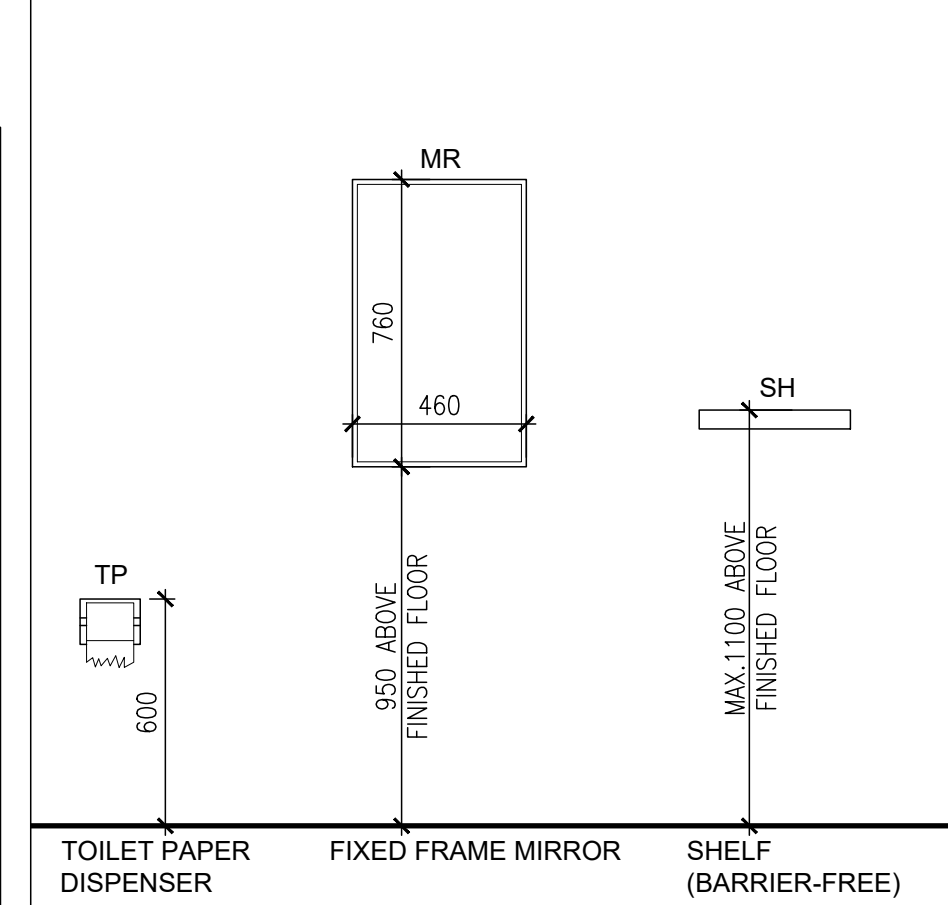
3 MILLWORK PLAN AT TYPICAL CLASSROOM



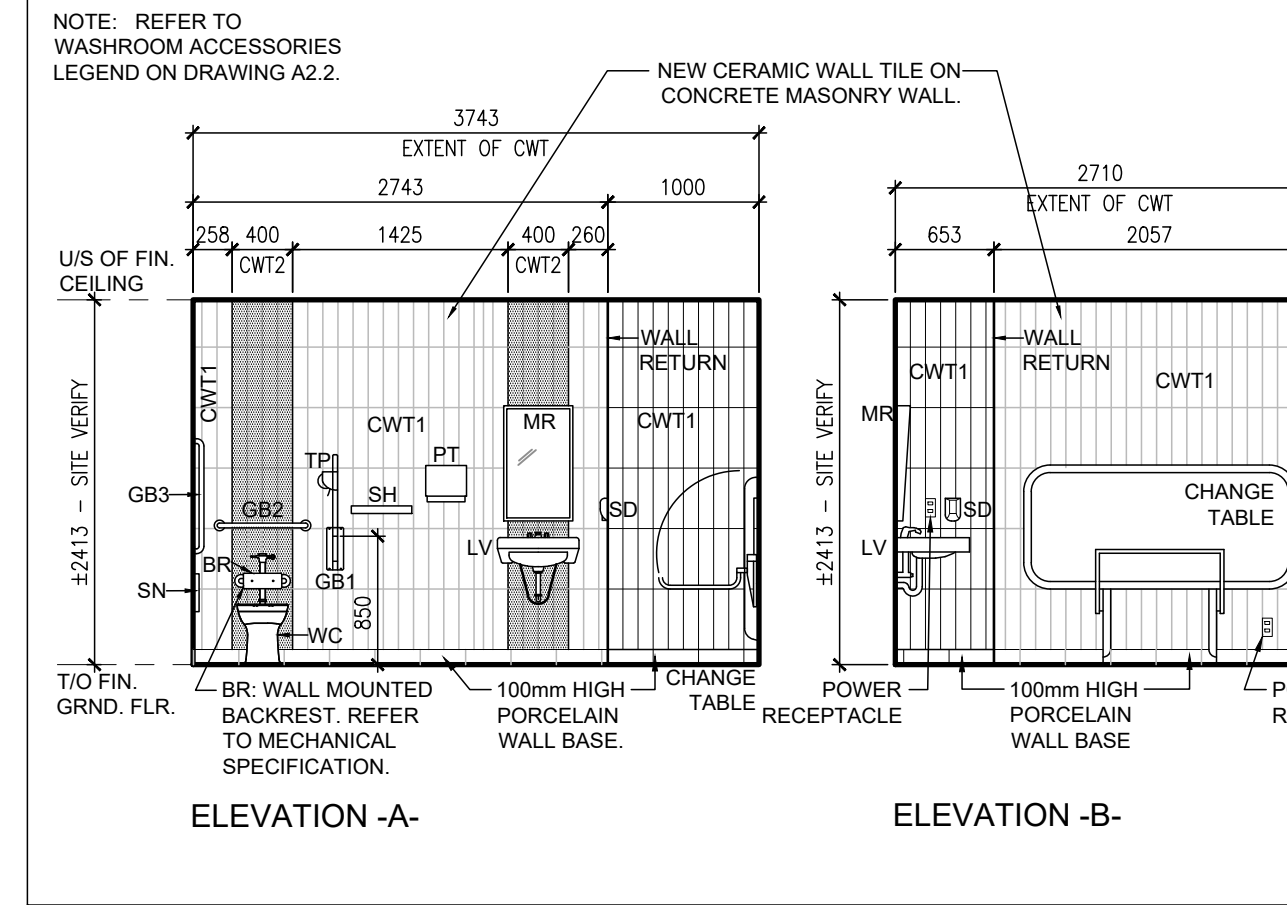
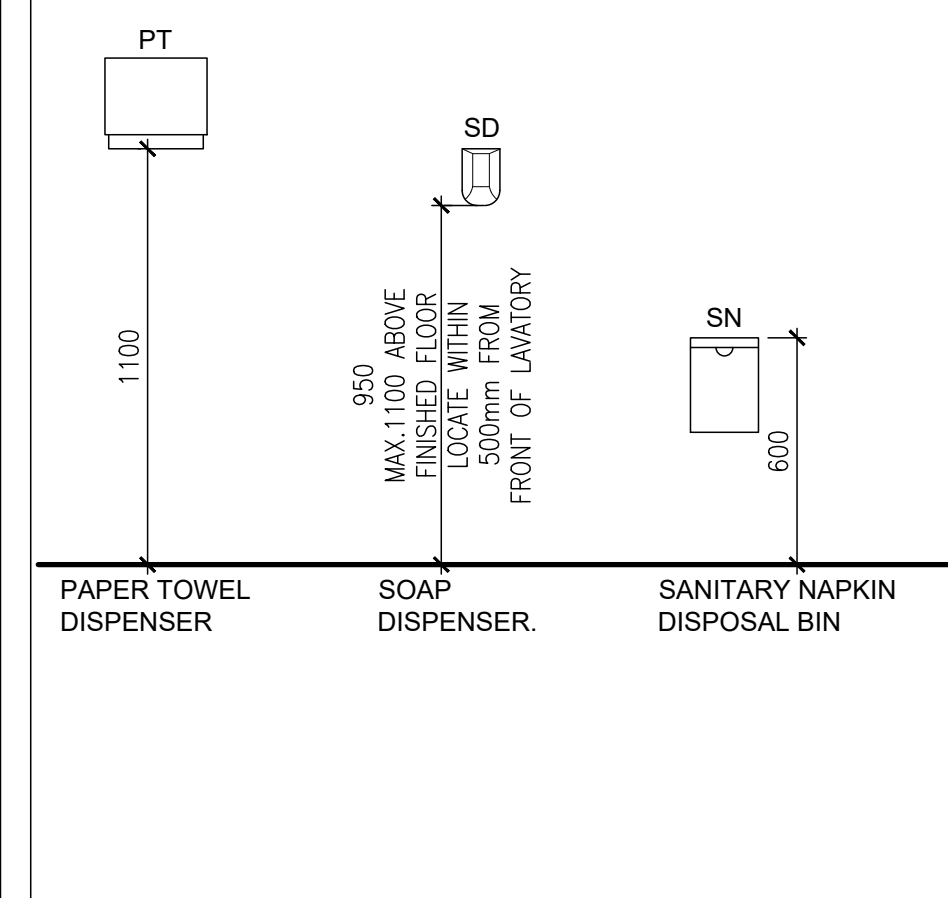
2 UNIVERSAL WASHROOM - MILLWORK ELEVATION AND SECTION



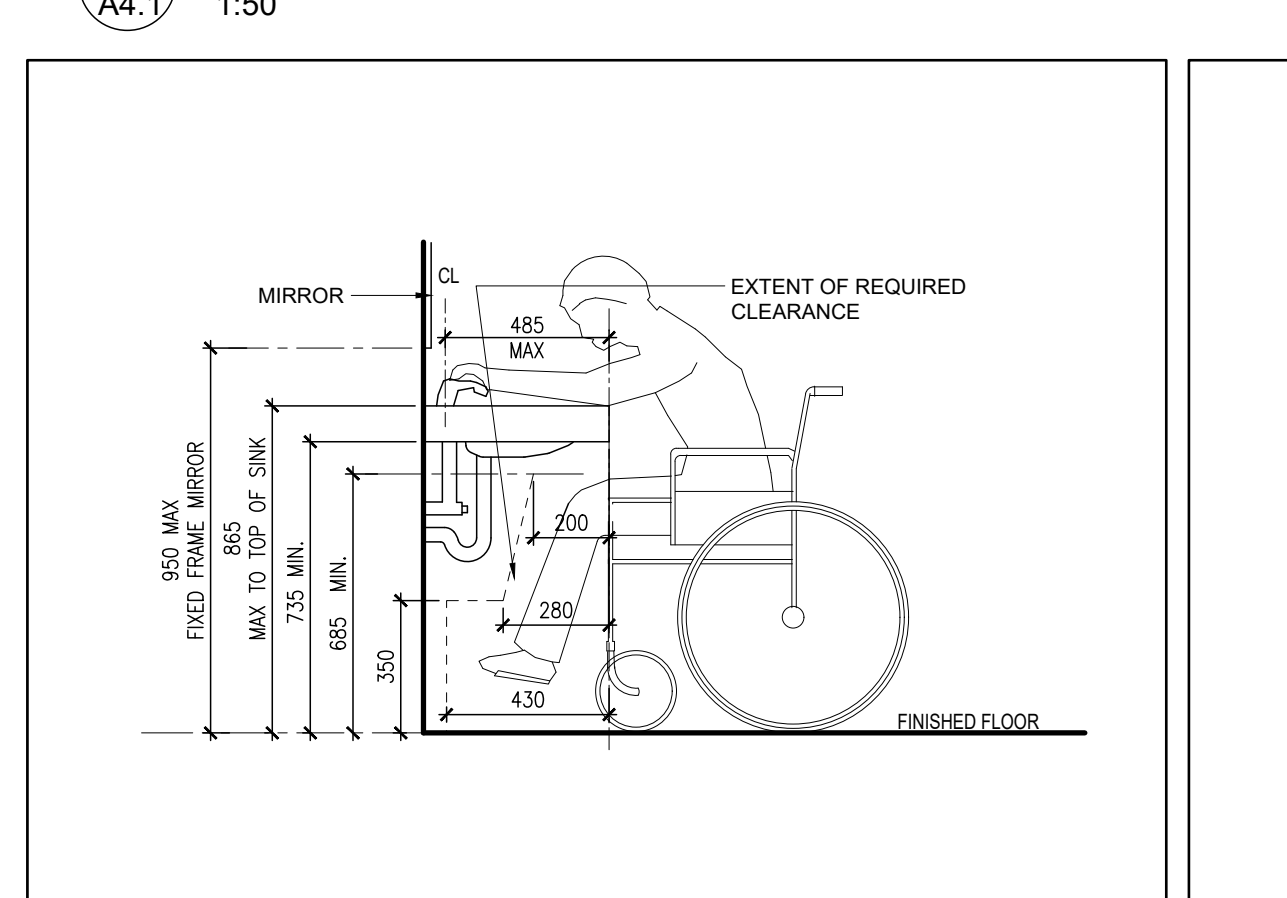
1 CLASSROOM - MILLWORK ELEVATION



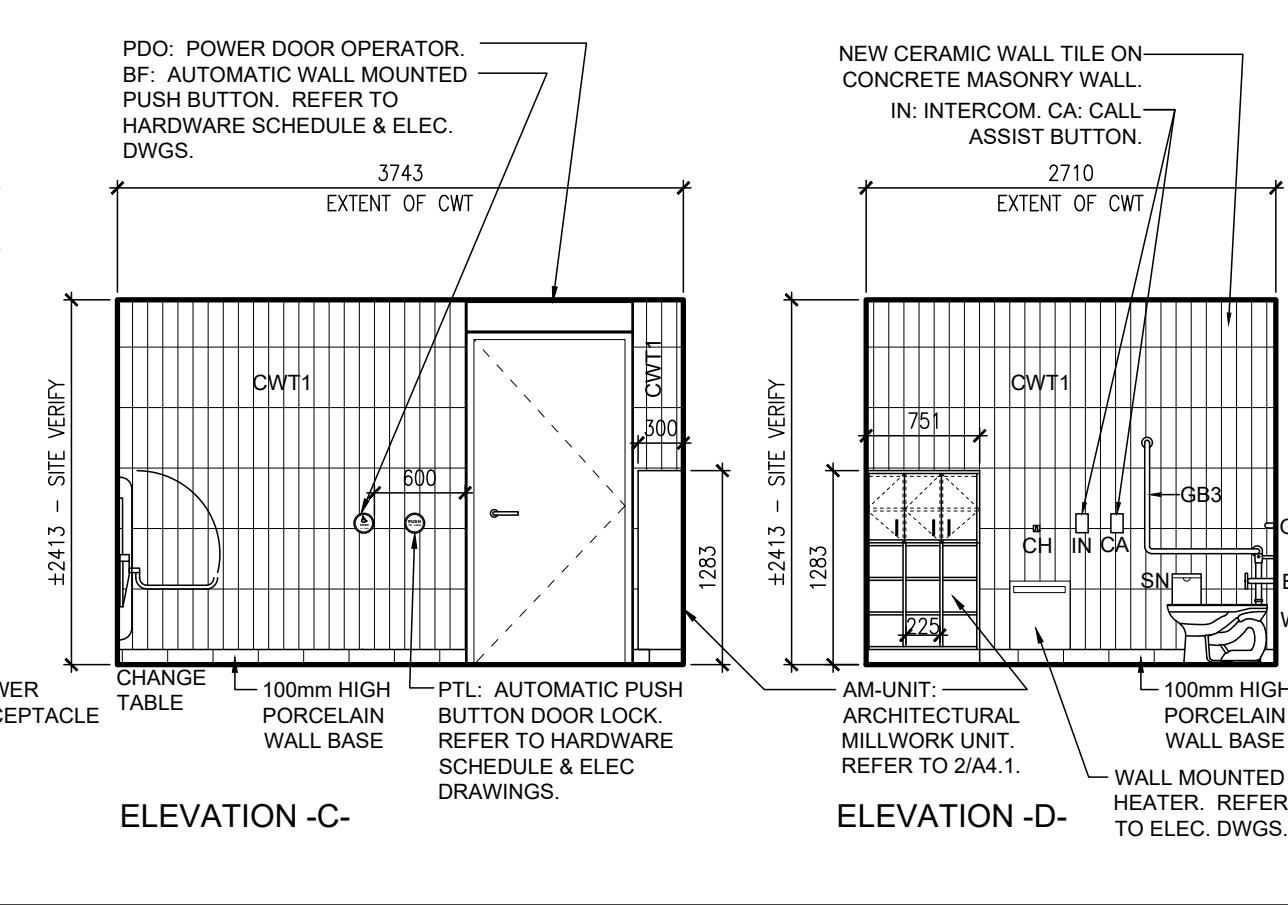
8 WASHROOM ACCESSORIES - HEIGHTS



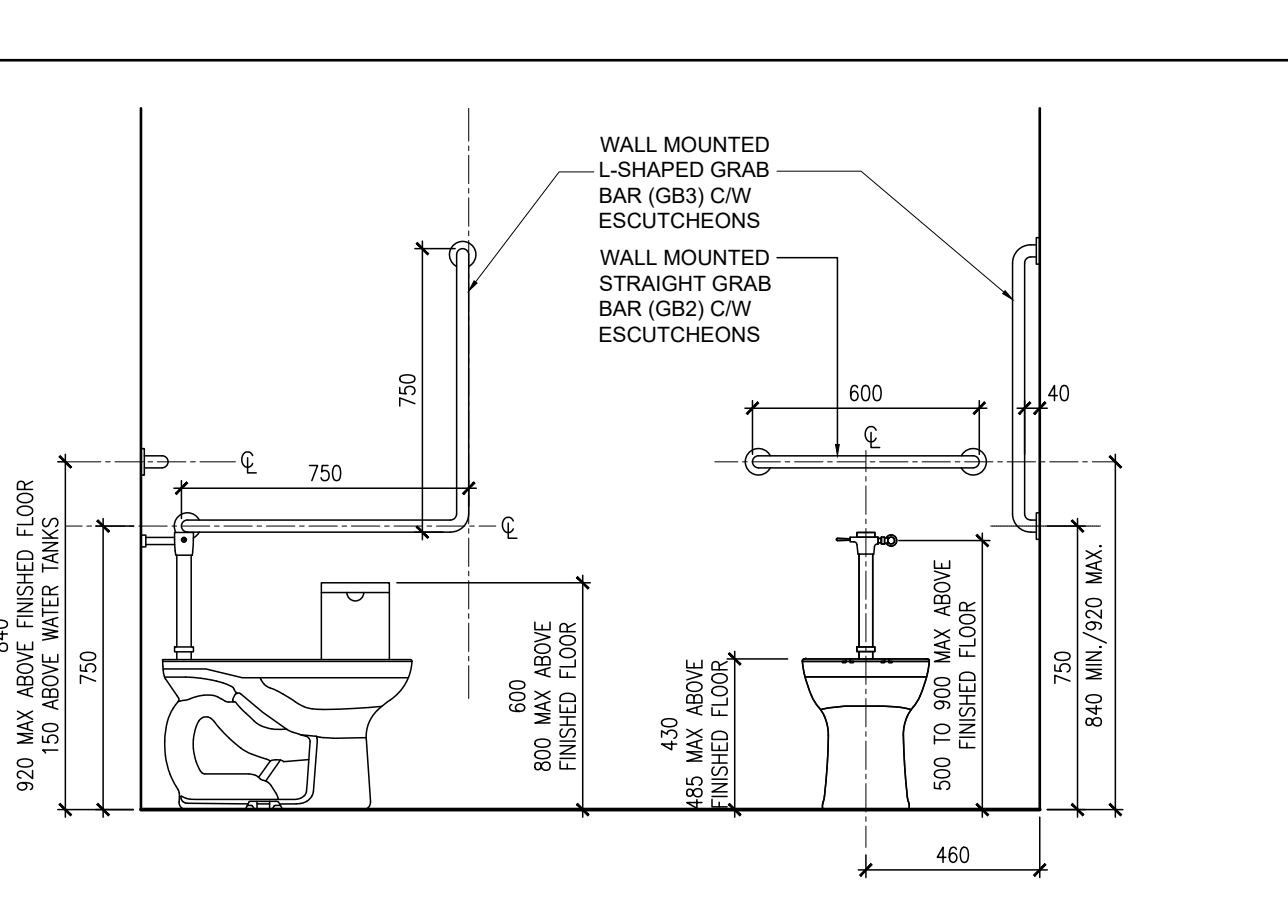
5 PROPOSED UNIVERSAL WASHROOM INTERIOR ELEVATIONS



7 BARRIER-FREE LAVATORY REQUIREMENTS



6 BARRIER-FREE WATER CLOSET REQUIREMENTS



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project: WROSB CHALMERS STREET PUBLIC SCHOOL RENOVATIONS: HVAC UPGRADE AND UNIVERSAL WASHROOM TENDER #7191-RW-22
WATERLOO REGION DISTRICT SCHOOL BOARD
35 CHALMERS ST. SOUTH, CAMBRIDGE N1R 5B4

INTERIOR ELEVATIONS, DETAILS AND HARDWARE SCHEDULE

drawing scale: AS NOTED

ward99 project number: 21007 - CHALMERS PS

ward99 architects

drawing no. A4.1

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