



SUNNYSIDE PUBLIC SCHOOL HVAC & WASHROOM UPGRADE TENDER No. #7168-KP-21 1042 Weber Street E. Kitchener, Ontario

IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL CONSTRUCTION CONFORMS TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE. NOTATIONS MADE ON THESE DRAWINGS ARE FOR YOUR INFORMATION AND ASSISTANCE ONLY AND DO NOT NECESSARILY COMMENT ON ALL AREAS OF CONSTRUCTION.

THE ONTARIO BUILDING CODE REQUIRES THAT A COPY OF THE DRAWINGS AND SPECIFICATIONS THAT HAVE BEEN REVIEWED BY OUR DEPARTMENT BE KEPT AT THE CONSTRUCTION SITE AT ALL TIMES.

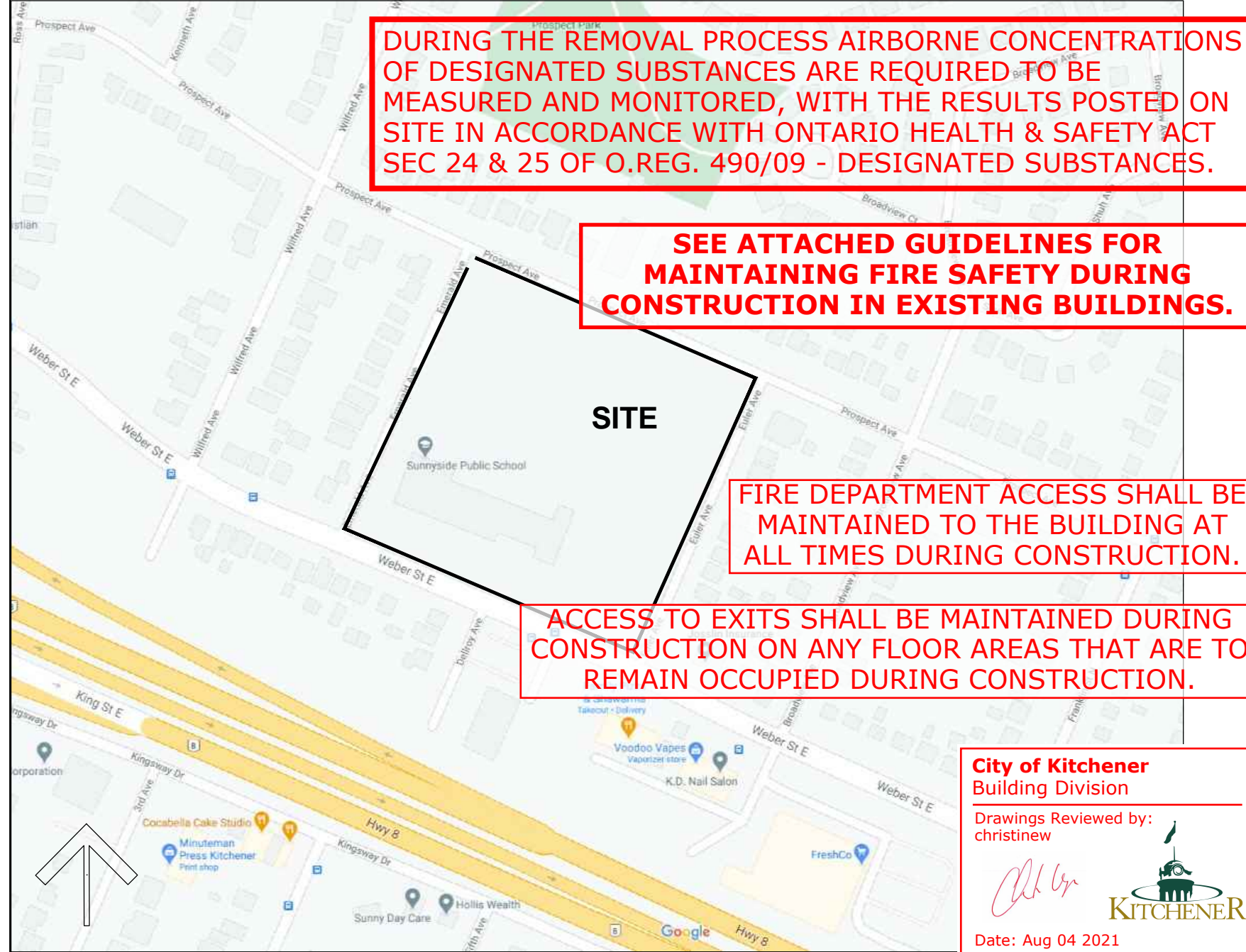
PORTABLE FIRE EXTINGUISHERS TO BE INSTALLED IN CONFORMANCE WITH O.F.C. 6.2. AND MUST HAVE A MINIMUM RATING OF 2A10BC

EXISTING. RE-VERIFICATION REQUIRED.

FIRE ALARM SYSTEM TO BE DESIGNED, INSTALLED AND TESTED AS PER CAN/ULC-S524, CAN/ULC S537 AND APPLICABLE O.B.C. REQUIREMENTS



SATELLITE VIEW



KEY PLAN

DURING THE REMOVAL PROCESS AIRBORNE CONCENTRATIONS OF DESIGNATED SUBSTANCES ARE REQUIRED TO BE MEASURED AND MONITORED, WITH THE RESULTS POSTED ON SITE IN ACCORDANCE WITH ONTARIO HEALTH & SAFETY ACT SEC 24 & 25 OF O.REG. 490/09 - DESIGNATED SUBSTANCES.

SEE ATTACHED GUIDELINES FOR MAINTAINING FIRE SAFETY DURING CONSTRUCTION IN EXISTING BUILDINGS.

FIRE DEPARTMENT ACCESS SHALL BE MAINTAINED TO THE BUILDING AT ALL TIMES DURING CONSTRUCTION.

ACCESS TO EXITS SHALL BE MAINTAINED DURING CONSTRUCTION ON ANY FLOOR AREAS THAT ARE TO REMAIN OCCUPIED DURING CONSTRUCTION.

City of Kitchener
Building Division
Drawings Reviewed by:
christine
Date: Aug 04 2021

SEE ADDITIONAL NOTES/COMMENTS ON BUILDING CODE REVIEW LETTER ATTACHED.

Firm Name:		Kingsland + Architects Inc.									
Certificate of Practice Number:		4549									
Firm Address and Contact Information:		Colin J. Kingsland Partner, B.E.S., B.Arch., O.A.A., LEED AP 219 Dufferin Street, Suite 308b Toronto, Ontario M6K 3J1 Telephone: 416-203-7799 x 105 Facsimile: 416-203-7763 Email: C.Kingsland@KingslandPlus.com									
Name and Address of Project:		SUNNYSIDE PUBLIC SCHOOL 1042 Weber Street E. Kitchener, ON N2A 1B6									
The architect noted above has exercised responsible control with respect to design activities. The architect's seal number is the architect's BCDN.											
Ontario Building Code Data Matrix - Parts 3 & 9		OBC Reference									
1	Project Description:	<input type="checkbox"/> New <input type="checkbox"/> Change of Use <input type="checkbox"/> Addition <input type="checkbox"/> Alteration	<input type="checkbox"/> Part 3 <input type="checkbox"/> Part 9								
2	Major Occupancy(s):	ELEMENTARY SCHOOL	1.1.2. [A]								
3	Building Area (m²)	Existing: 2648.39 m² New: -	1.4.1.2. [A]								
4	Gross Area (m²)	Existing: 3771.45 m² New: -	1.4.1.2 [A]								
5	Number of Storeys:	Above Grade: 2 Below Grade: 1	1.4.1.2.[A]&3.2.1.1.								
6	Number of Streets/Fire Fighter Access:	EXISTING	3.2.2.10 & 3.2.5								
7	Building Classification:	ASSEMBLY OCCUPANCY, GROUP A DIVISION 2	EXISTING								
8	Sprinkler System Proposed:	<input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	INDEX								
9	Standpipe required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.9.1								
10	Fire Alarm required:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4.1								
11	Water Service/Supply is adequate:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7								
12	High Building:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.6.1								
13	Construction Restrictions	<input type="checkbox"/> Comb. Permitted <input type="checkbox"/> Non-comb. required <input checked="" type="checkbox"/> Both <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible	EXISTING								
14	Mezzanine(s) Area (m²):	N/A	3.2.1.1.(3)-(8)								
15	Occupant Load based:	<input type="checkbox"/> m²/person <input checked="" type="checkbox"/> design of building	3.1.17.								
16	Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.8								
17	Hazardous Substances:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.1.2 & 3.3.1.19.								
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies FRR (Hours) Floors: EXISTING Min Roof: EXISTING Hours Mezzanine: EXISTING Min FRR of Supporting Members 45 Min or be of Noncombustible Construction	Listed Design No. or Description (SB-3) EXISTING Listed Design No. or Description (SB-3)								
19	Spatial Separation - Construction of Exterior Walls		3.2.3.1								
	Wall	Area of EBFRT (m)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Const.	Comb. Const. Nonc. Cladding	Non-comb. Const.
	North	-	-	-	-	-	-	-	-	-	-
	South	-	-	-	-	-	-	-	-	-	-
	East	-	-	-	-	-	-	-	-	-	-
	West	-	-	-	-	-	-	-	-	-	-

20	PLUMBING FIXTURE REQUIREMENTS: Occupant Load Calculation:	Students 350 Staff 40 Total school Occupant Load 390	390 / 2 = 195 males at 1 wc per 30 = 7 390 / 2 = 195 females at 1 wc per 26 = 8							
	PLUMBING FIXTURE REQUIREMENTS: Students 300 + 30 = 330	3.7.4.3. (14) Students: 350 / 2 = 175 at 1 wc per 30 males = 6 350 / 2 = 175 at 1 wc per 26 females = 7								
	3.7.4.7. (1) Staff - School: 40 / 2 = 20 for 10 to 24 persons of each sex Required = 2 wc's for each sex									
		Existing	Required	Proposed (new)						
		W.C.	Ur.	Lav.	W.C.	Ur.	Lav.			
	Female Student	(11 ex. - 8 demo) = 3	0	(1 wash fountain demo) + 1 wash fountain remain	7	-	4	8	0	1 Bradley = 4
	Male Student	(6 ex. - 4 demo) = 2	(8 ex. - 4 demo) = 4	(3 sinks demo) + 1 wash fountain remain	6	-	3	2	2	1 Bradley = 3
	Staff	7	2	8	-	-	-	-	-	-
	B,F Unisex	1	0	1	-	-	-	-	-	-
	Univ. WR	-	-	-	-	-	-	1	-	1

Ontario Building Code Data Matrix - Parts 11 - Renovation of Existing Building		OBC Reference	
11.1	Project Description:	Describe Existing Use: ELEMENTARY SCHOOL - A2 Construction Index: _____ Hazard Index: _____ <input type="checkbox"/> Not Applicable (no change of major occupancy)	11.2.1.1
11.2	Alteration to Existing Building is:	Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation <input type="checkbox"/>	11.3.3.1
11.3	Reduction in Performance Level:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Sewage-system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4	Compensating Construction:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) Plumbing: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (explain) Plumbing fixtures replaced: _____ Sewage System: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (give number(s)) _____	11.5.1
11.6	Alternative Measures Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (explain) _____	11.5.2

SYMBOL LEGEND

- EXISTING WALL
- EX. WALL TO BE REMOVED
- NEW WALL
- FIRE SEPARATION
- W1 WALL TYPE SEE SPECIFICATION
- 100-1 DOOR NUMBER EXISTING DOOR
- 100.3-1 DOOR NUMBER NEW DOOR
- 1 A3-2 BUILDING SECTION NUMBER SHEET NUMBER
- 2 A3-4 WALL SECTION NUMBER SHEET NUMBER
- 2 A3-4 DETAIL NUMBER SHEET NUMBER
- 1-105 DETAIL DRAWING NUMBER SEE SPECIFICATION
- W1 WINDOW TYPE
- S1 SCREEN TYPE
- NAME 000 ROOM NAME ROOM NUMBER
- X X CEILING MATERIAL CEILING HEIGHT

SEE SPECIFICATION FOR:
• ROOM FINISH SCHEDULE SECTION 00860

LIST OF DRAWINGS

ARCHITECTURAL

- A0-0 COVER & OBC MATRIX
- A2-0 OVERALL LOWER AND FIRST FLOOR PLANS
- A2-1 OVERALL SECOND & ROOF FLOOR PLANS
- A2-2 PARTIAL MAIN FLOOR PLAN GYMNASIUM DEMOLITION AND NEW LAYOUT
- A2-3 PARTIAL LOWER FLOOR PLAN DEMOLITION AND NEW LAYOUT
- A2-4 LOWER FLOOR REFLECTED CEILING PLAN & SECTIONS
- A2-5 PARTIAL MAIN FLOOR PLAN GYMNASIUM FINISHES PLAN. LINTEL SCHEDULE
- A2-6 PARTIAL LOWER FLOOR PLAN FINISHES PLAN
- A3-0 A/C OVERALL LOWER AND MAIN FLOOR PLANS
- A3-1 A/C OVERALL SECOND FLOOR AND ROOF PLANS
- A3-2 A/C PARTIAL LOWER FLOOR REFLECTED CEILING PLAN DEMOLITION
- A3-3 A/C PARTIAL LOWER FLOOR REFLECTED CEILING PLAN NEW
- A3-4 A/C PARTIAL MAIN FLOOR REFLECTED CEILING PLAN DEMOLITION
- A3-5 A/C PARTIAL MAIN FLOOR REFLECTED CEILING PLAN NEW
- A3-6 A/C PARTIAL SECOND FLOOR REFLECTED CEILING PLAN DEMOLITION
- A3-7 A/C PARTIAL SECOND FLOOR REFLECTED CEILING PLAN NEW
- A4-0 INTERIOR ELEVATIONS
- A4-1 EXISTING GYMNASIUM INTERIOR ELEVATIONS

MECHANICAL

- M101 MECHANICAL LEGEND & SCHEDULES
- M201 LOWER LEVEL PART PLAN DEMOLITION
- M301 LOWER LEVEL PART PLANS RENOVATION
- M401 BASEMENT PLAN
- M402 FIRST FLOOR PLAN
- M403 SECOND FLOOR PLAN
- M404 ROOF PLAN
- M501 VRF DETAILS & SCHEMATICS
- M502 VRF SYSTEM PIPING SCHEMATICS
- M503 VRF SYSTEM WIRING SCHEMATICS
- M601 MECHANICAL DETAILS

ELECTRICAL

- E101 LEGEND AND KEY PLAN
- E102 SCHEDULES AND DETAILS
- E103 PARTIAL DISTRIBUTION RISER AND PANEL SCHEDULES
- E201 BASEMENT DEMOLITION PLAN
- E202 FIRST FLOOR DEMOLITION PLAN
- E203 SECOND FLOOR DEMOLITION PLAN
- E301 BASEMENT RENOVATION PLAN
- E302 FIRST FLOOR RENOVATION PLAN
- E303 SECOND FLOOR RENOVATION PLAN
- E304 ROOF RENOVATION PLAN
- E401 ENLARGED LOWER LEVEL - RENOVATION PLAN
- E501 ELECTRICAL SPECIFICATIONS
- E502 ELECTRICAL SPECIFICATIONS

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GUIDELINES FOR MAINTAINING FIRE SAFETY DURING CONSTRUCTION IN EXISTING BUILDINGS

In coordination with the Ontario Ministry of Public Safety and Security, through the Office of the Fire Marshall, the following typical conditions usually arise during construction and could present serious unsafe conditions in case of a fire emergency.

1. Closing of Exits

All exits, including stairways and exterior doors to the outside, serving the existing building must be maintained. Where an exit is blocked off or deleted due to construction activities, an acceptable alternative exit must be provided. Where it is absolutely necessary for access to be gained through the construction area to an exit, the access must be clearly defined and protected so that it is separated from the construction area by a reasonable smoke tight fire separation equivalent to ¾ hour fire-resistance rating.

2. Intersecting Corridors – Existing Corridors on Occupied Floor Areas Exposed to New Corridors Under Construction

Temporary fire separations of steel studs and gypsum board construction equivalent to ¾-hour fire-resistance rating must be erected. Where access is desired, the opening must be protected by a door of solid core wood or hollow steel construction equipped with self-closing and latching hardware. Should such temporary fire separations cut off or eliminate required access to exits, alternative access must be provided.

3. Fire Department Access

The location of a building addition and the construction activities must not obstruct the access roadways designated for fire department equipment. If it is necessary that existing access be obstructed or deleted, alternative access, acceptable to the fire department, must be pre-planned and provided prior to commencement of construction. Sentence 3.2.5.6. of the Ontario Building Code provides the design criteria for required access routes.

4. Control of Combustible Materials

The stockpiling of construction materials adjacent to the existing building must be carefully controlled. Article 2.4.1.1. of the Fire Code prohibits such storage where the materials create a fire hazard to the existing building or its occupants. Materials stored and equipment used in portion of the building under construction could create a fire hazard; for instance, the storage of excessive amounts of foam plastic insulation or the placement of open flame portable heating appliances. The control of combustibles on a construction site is also regulated under the *Occupational Health and Safety Act*.

5. Exposure of Construction in Progress to Existing Occupied Areas

Existing exterior walls with windows of plain glazing when exposed to construction in progress must be protected by 5/8" type "X" gypsum board on suitable framing for the duration of the construction. Other openings in the existing exterior walls such as doors, louvers, etc. must be similarly protected or replaced with doors of solid core wood or hollow steel construction.

6. Openings Created Through Floors or Other Fire Separations

Openings in existing floor assemblies and vertical fire separations necessitated by installation of equipment systems or construction in general must be temporarily sealed with fire barrier materials such as mineral wool or other noncombustible insulation.

7. Modification and Extension to Existing Fire Alarm Systems

Maintaining the fire alarm system in operating condition during the construction of the addition will require careful planning especially when the extension to the fire alarm system is carried out in phases.

A technical representative from the fire alarm manufacturer should be assigned to the project to coordinate the different stages of the extension. Whenever a changeover time occurs, which is an outage time of at least a portion of the fire alarm system, the municipal fire department must be notified of the temporary shutdown and alternative measure must be devised.

8. Shutdown of Fire Protection Systems

Where temporary shutdown of sprinkler systems, standpipe systems or other fire protection systems is necessary due to alterations, repairs or extensions, the appropriate requirements in the Fire Code must be observed. See Article 1.1.1.2., Clause 2.8.2.1.(1)(g), Subsections 6.4.1 and 6.5.2.

9. Fire Safety Plan





Depending on the nature of the construction, it may become necessary to modify the fire emergency procedures required under the Fire Safety Plan, subsection 2.8.2 of the Fire Code. Such changes may be of a temporary nature to accommodate revised exits, modifications to the fire alarm system operation, etc. in which case, the procedures must be returned to the original format at the completion of the project. In some cases, permanent revisions to the emergency procedures are required when the construction is completed.

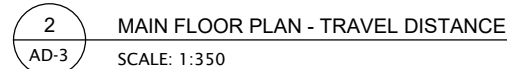
Materials and closures in the temporary fire separations noted above are suggested examples only. Other materials and designs acceptable to this Office may also be used, pending review and approval. Should there be questions arising from any of the above noted situations, this Office shall be informed and consulted to ensure that minimum life safety will be maintained. Partial occupancy of a building is regulated under Division C, Subsection 1.3.3. of the Ontario Building Code and comes under the authority of City of Kitchener Building Department.




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Jul 26 2021
DEVELOPMENT SERVICES DEPT.
BUILDING

LEGEND

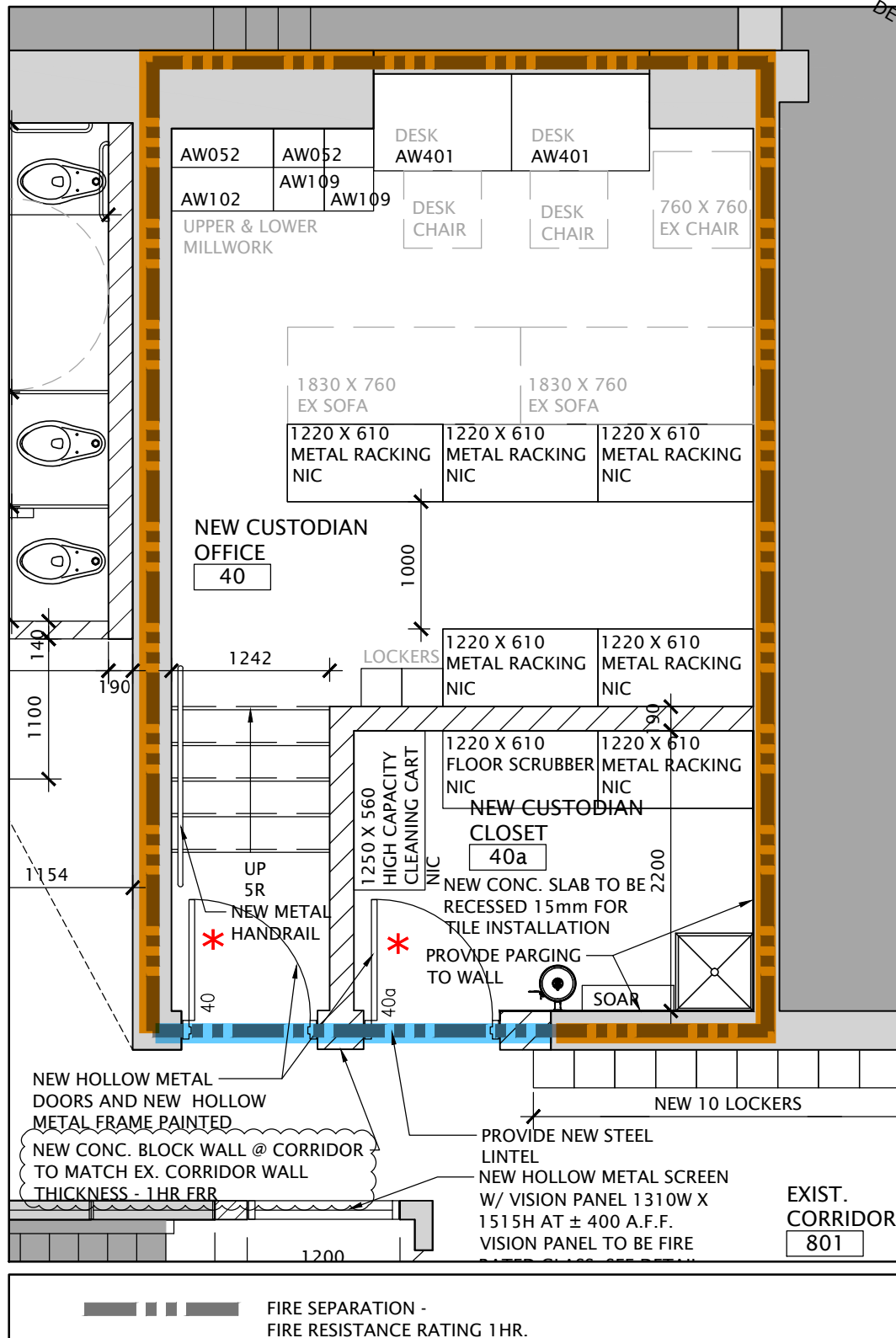
-  = 1 HOUR FIRE SEPARATION
 = EXISTING FIRE SEPARATION
 (REPAIR ANY/ALL DEFICIENCIES)
 = EXIT
 = POWER DOOR OPERATOR



 <p>Kingsland ARCHITECTS INC.</p>	<p>ISSUED FOR:</p> <p>BUILDING PERMIT</p>	<p>DRAWING NAME:</p> <p>FLOOR PLAN - TRAVEL DISTANCE</p>	<p>DATE:</p> <p>JUNE 2021</p>	<p>SCALE:</p> <p>1:350</p>
			<p>DRAWN:</p>	<p>PROJECT NO:</p> <p>A20002.7</p>
			<p>CHECKED:</p>	<p>DWG NO:</p> <p>AD-3</p>
<p>KINGSLAND + ARCHITECTS INC</p> <p>219 Dufferin Street, Suite 308B</p> <p>Toronto, Ontario M6K 3J1</p> <p>ph 416.203.7799</p> <p>fx 416.203.7783</p>		<p>PROJECT NAME:</p> <p>SUNNYSIDE PUBLIC SCHOOL</p>		

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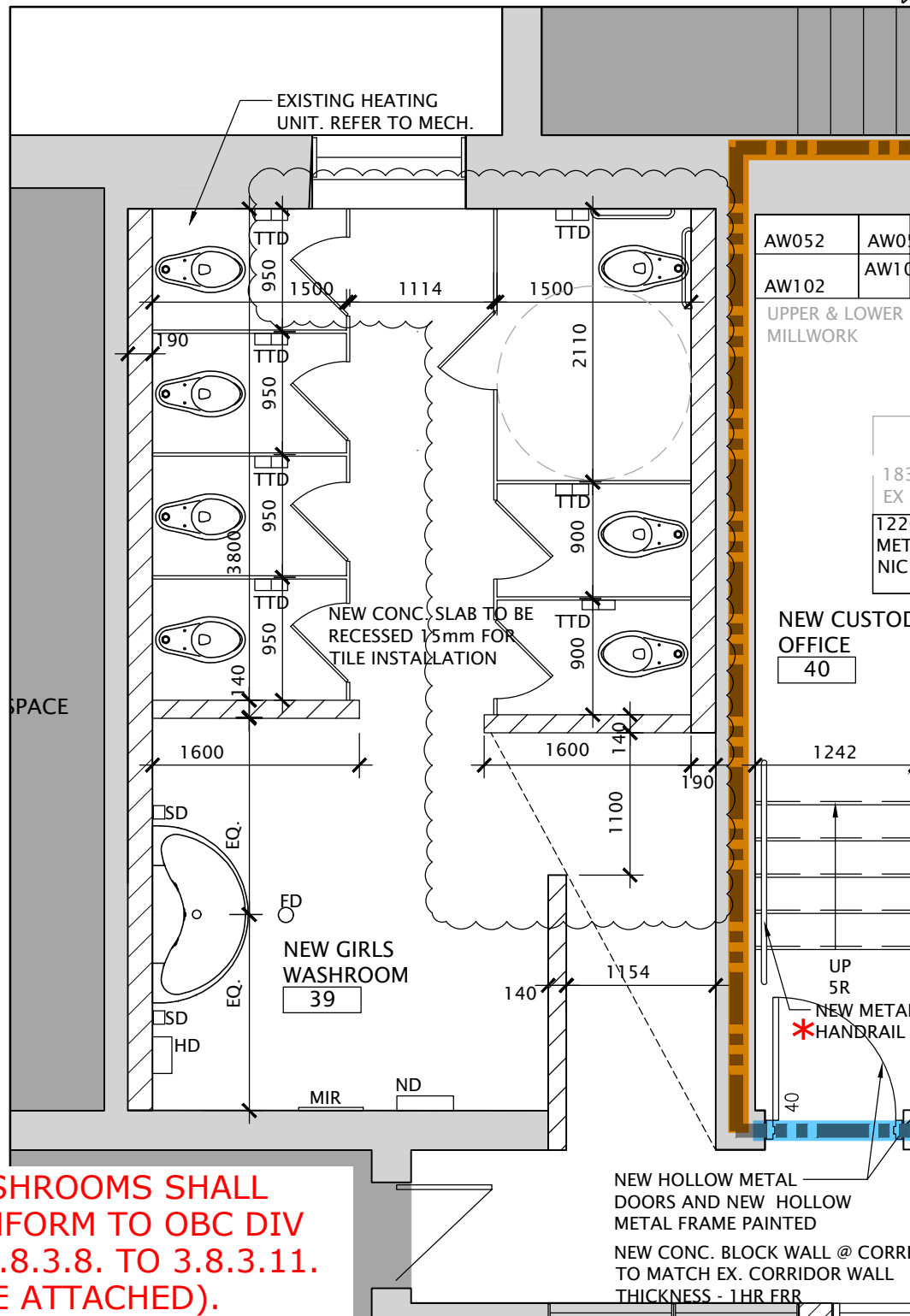
Jun 21 2021

DEVELOPMENT SERVICES DEPT.
BUILDING**Kingsland** +
ARCHITECTS INC.KINGSLAND + ARCHITECTS INC
219 Dufferin Street, Suite 308b
Toronto, Ontario M6K 3J1
ph 416.203.7799
fax 416.203.7763ISSUED:
BUILDING PERMITDRAWING NAME:
**PARTIAL LOWER FLOOR PLAN
CUSTODIAN OFFICE AND CLOSET**PROJECT NAME:
Sunnyside Public SchoolDATE:
JUNE 2021DRAWN:
K+CHECKED:
K+SCALE:
1:50PROJECT NO:
A20002.7DWG NO:
AD-04

REV.

RECEIVED

Jun 21 2021
DEVELOPMENT SERVICES DEPT.
BUILDING



**WASHROOMS SHALL
CONFORM TO OBC DIV
B. 3.8.3.8. TO 3.8.3.11.
(SEE ATTACHED).**

NEW HOLLOW METAL
DOORS AND NEW HOLLOW
METAL FRAME PAINTED
NEW CONC. BLOCK WALL @ CORRI
TO MATCH EX. CORRIDOR WALL
THICKNESS - 1HR FRR

Kingsland +
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Toronto, Ontario M6K 3J1
ph 416.203.7799
fax 416.203.7763

ISSUED:
BUILDING PERMIT

DRAWING NAME:
**PARTIAL LOWER FLOOR PLAN
GIRLS WASHROOM 39**

PROJECT NAME:
Sunnyside Public School

DATE:
JUNE 2021

DRAWN:
K+

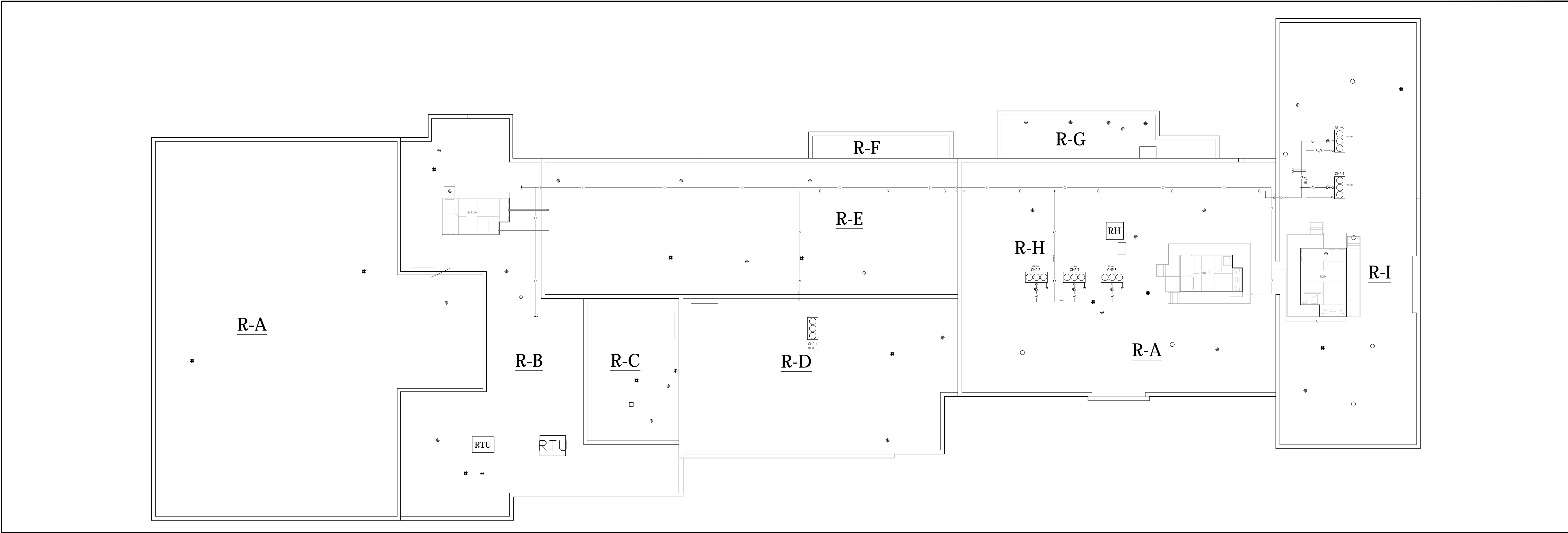
CHECKED:
K+

SCALE:
1:50

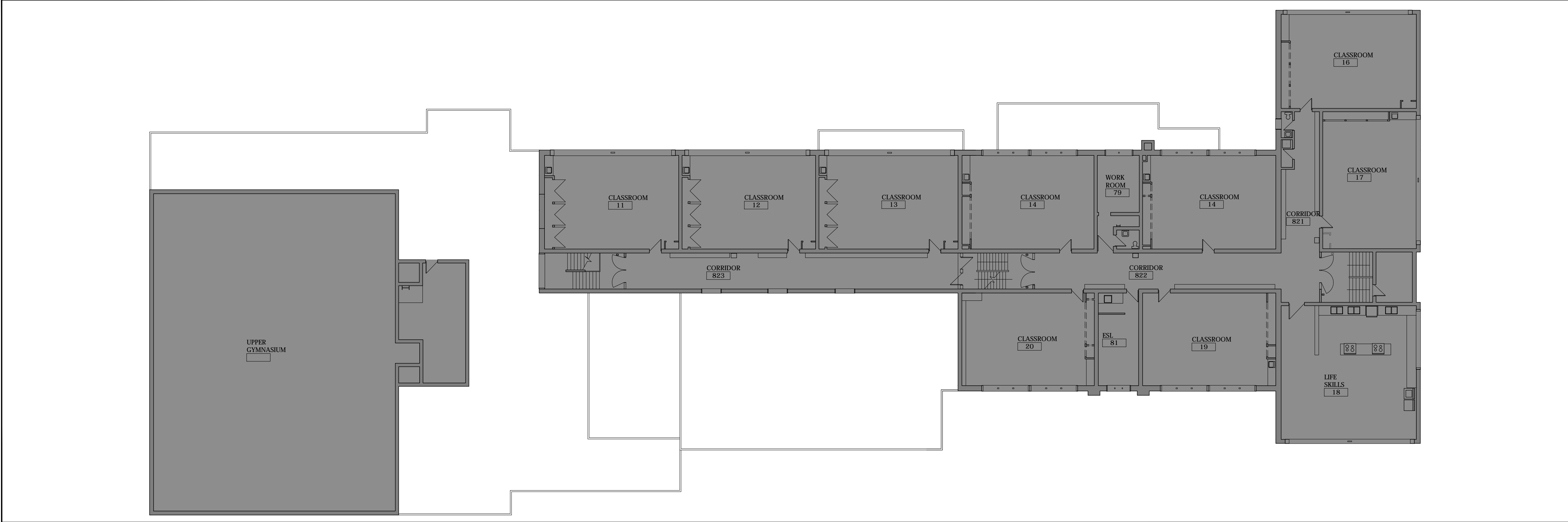
PROJECT NO:
A20002.7

DWG NO:
AD-05

REV.



2 ROOF PLAN
A2-1 SCALE: 1:150



1 SECOND FLOOR PLAN
A2-1 SCALE: 1:150

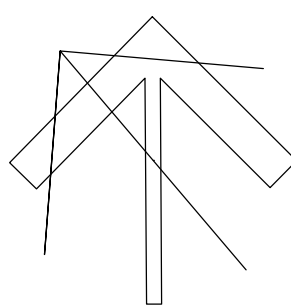
[illegible]

DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE JOB. ALL DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECTS.

GENERAL NOTES

1. ALL MATERIALS AND WORKSMANSHIP SHALL COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, LATEST EDITION, AND ALL OTHERS ADMINISTERED BY ALL AUTHORITIES HAVING JURISDICTION.
2. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, AND SPECIFICATIONS.
3. THE DESIGN LOADS SHALL NOT BE EXCEEDED DURING CONSTRUCTION.
4. ALL DIMENSIONS, SHOWN ON THE DRAWINGS, SHALL BE CHECKED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
5. THE STABILITY OF THE STRUCTURAL FRAME IS DEPENDANT ON THE FULL INTERACTION OF ALL STRUCTURAL COMPONENTS, THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING DURING CONSTRUCTION.
6. ALL DIMENSIONS GIVEN ARE IN METRIC.

PROJECT NORTH

Kingsland
ARCHITECTS INC. 

KINGSLAND + ARCHITECTS INC
219 Dufferin Street, Suite 308b
Toronto, Ontario M6K 3J1
ph 416.203.7799
fax 416.203.7763



**SUNNYSIDE
PUBLIC SCHOOL
HVAC & WASHROOM
UPGRADE**

1042 Weber Street E.
Kitchener, ON
N2A 1B6

DRAWING TITLE:
OVERALL SECOND AND
ROOF FLOOR PLANS

PROJECT NO: A20002.7	SCALE: 1:150	
DRAWN: D.T./C.C	DRAWING NO:	REV.
CHECKED: B.F.	A2-1	1
DATE: DEC/20		

1 A20002.7 - A2-1 OVERALL PLAN.DWG

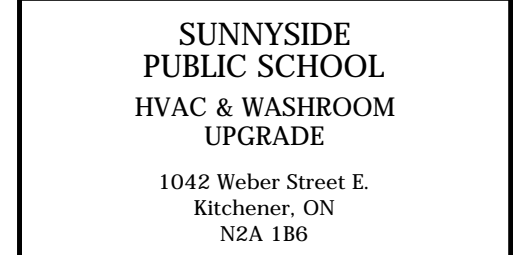
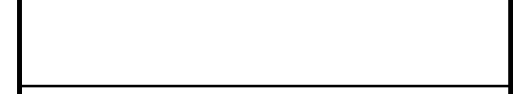
DATE PLOTTED: April 23, 2021

DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE JOB. ALL DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECTS.

1. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY

- _____

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Toronto, Ontario M6K 3J1
ph 416.203.7799
fax 416.203.7763








PROJECT NO:	SCALE:
A20002.7	1:75

D.T./C.C.		
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B.F.	A2-2	1
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DEC/20		
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1	PREPARE EX. WALLS WITH PRIME TO RECEIVE NEW PAINT. EXISTING BASE TO BE PROTECTED BEFORE PAINTING WALLS
2	NEW WALL MATS 1220 wide x 2000 HEIGHT (TO MATCH EXISTING TALLER MATS ON SOUTH WALL). TO BE IN RED COLOUR. TO MATCH EXISTING COLOUR
3	EXISTING DOORS TO BE PAINTED TO MATCH EXISTING COLOUR
4	EXISTING SURFACE MOUNTED CONDUITS TO BE PAINTED & TO MATCH WALLS COLOUR
	NOT IN SCOPE
	FLOORING FINISH MATERIAL.
	BASE FINISH MATERIAL.
	WALL FINISH MATERIAL.

1	EXISTING BASKETBALL NET TO REMAIN	7	EX. WHITEBOARD TO REMAIN
2	REMOVE EXISTING WALL MATS AND PREPARE WALL TO RECEIVE NEW	8	EX. WALL MATS TO REMAIN
3	EX. DOORS TO REMAIN	9	EX. CEILING & LIGHTING TO REMAIN
4	EX. SURFACE MOUNTED CONDUITS TO REMAIN		NOT IN SCOPE
5	EX. FLOOR FINISH TO REMAIN	--	EXISTING TO BE REMOVED, SHOWN DASHED
6	EX. WOOD WALLS PANELS TO REMAIN	DURING CONSTRUCTION PROTECT ALL EXISTING SURFACES AS REQUIRED. ANY DAMAGE AS A RESULT OF DEMOLITION TO BE REPAIRED BY CONTRACTOR. PATCH AND MAKE GOOD ALL SURFACES AFFECTED BY DEMOLITION. MAKE READY TO RECEIVE NEW FINISHES.	

1	PLAN ENLARGEMENT - DEMOLITION
2-2	SCALE: 1:75



NEW CONSTRUCTION NOTES

THIS DRAWING IS FOR REFERENCE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PATCH AND MAKE GOOD ALL AFFECTED AREAS REQUIRED TO COMPLETE THE WORK. ALL WORK INCIDENTAL TO COMPLETING THE WORK IS PART OF THE WORK.

INTERIOR WALL AND CEILING TYPE

- W01 -190mm CONC. BLOCK WALL TO 91.1115 -885AA 50C30 BK 794B;
- W01 -190mm CONC. BLOCK WALL TO UNDERSIDE OF EXISTING FLOOR SLAB
- W02 -140mm CONC. BLOCK WALL TO UNDERSIDE OF EXISTING FLOOR SLAB
- W03 -140mm CONC. BLOCK WALL 2200mm HIGH

SEE REVISED NEW GIRLS WASHROOM ON AD-05 ATTACHED

- MINIMUM 1100mm BARRIER-FREE PATH OF TRAVEL MUST BE MAINTAINED THROUGHOUT THE FLOOR AREA.

- BARRIER-FREE REQUIREMENTS FOR DOORS:
- MINIMUM CLEAR WIDTH OF 860mm WHEN DOOR IS IN THE OPEN POSITION.
- DOORS WITH POSITIVE LATCH SHALL HAVE LEVER HANDLE HARDWARE.
- 600mm LATCH SIDE CLEARANCE REQUIRED WHEN DOOR SWINGS TOWARD APPROACH SIDE AND 300mm CLEARANCE REQUIRED WHEN DOOR SWINGS AWAY FROM APPROACH SIDE.

WASHROOMS SHALL CONFORM TO OBC DIV B. 3.8.3.8. TO 3.8.3.11. (SEE ATTACHED).

UNIVERSAL WASHROOM SHALL CONFORM TO OBC DIV B, 3.8.3.12. (SEE ATTACHED)

2 PLAN ENLARGEMENT - PROPOSED - ROOMS 39, 40, 42, 43 AND CORRIDOR 801
SCALE: 1:50

DEMOLITION NOTES

THIS DRAWING IS FOR REFERENCE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE DEMOLITION REQUIRED TO COMPLETE THE WORK. ALL DEMOLITION INCIDENTAL TO COMPLETING THE WORK IS PART OF THE WORK.

- SAW CUT AND REMOVE PORTION EX. WALL AND BASE MAKE GOOD ALL SURFACE TO RECEIVE NEW FINISH
- REMOVE EX. DOOR AND FRAME
- REMOVE EX. WATER CLOSET REFER MECH. FOR NEW WORKS
- REMOVE EX. TOILET PARTITIONS COMPLETELY
- REMOVE EX. WALL SINK REFER MECH. FOR NEW WORKS
- REMOVE EX. URINAL REFER MECH. FOR NEW WORKS
- REMOVE EX. HAND WASH REFER MECH. FOR NEW WORKS
- REMOVE EX. MILLWORK
- REMOVE EX. METAL SHELVING AND TURNED TO OWNER
- REMOVE EX. VINYL FLOOR AND RUBBER BASE. MAKE GOOD FOR NEW FLOOR
- REMOVE EX. FLOOR FINISH AND CONC SLAB FOR NEW PLUMBING INSTALLATION
- REMOVE EX. WOODEN PARTITION
- REMOVE EX. WOOD FLOORING AND CONC SLAB FOR NEW PLUMBING INSTALLATION
- REMOVE EX. CONC. SLAB AND STAIR. EXCAVATE TO ALLOW NEW CONC. SLAB TO MATCH EXISTING GRADE

NOT IN SCOPE

EXISTING TO BE REMOVED, SHOWN DASHED

DURING CONSTRUCTION PROTECT ALL EXISTING SURFACES AS REQUIRED. ANY DAMAGE AS A RESULT OF DEMOLITION TO BE REPAIRED BY CONTRACTOR. PATCH AND MAKE GOOD ALL SURFACES AFFECTED BY DEMOLITION. MAKE READY TO RECEIVE NEW FINISHES.

1 PLAN ENLARGEMENT - DEMOLITION - ROOMS 39, 40, 42, 43 AND CORRIDOR 801
SCALE: 1:50

NO.	DATE	REVISION
1	21/04/23	ISSUED FOR TENDER AND PERMIT
2	21/04/24	ISSUED FOR CLIENT REVIEW
3		
4		
5		
6		
7		
8		
9		
10		

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GENERAL NOTES

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Kingsland + ARCHITECTS INC.

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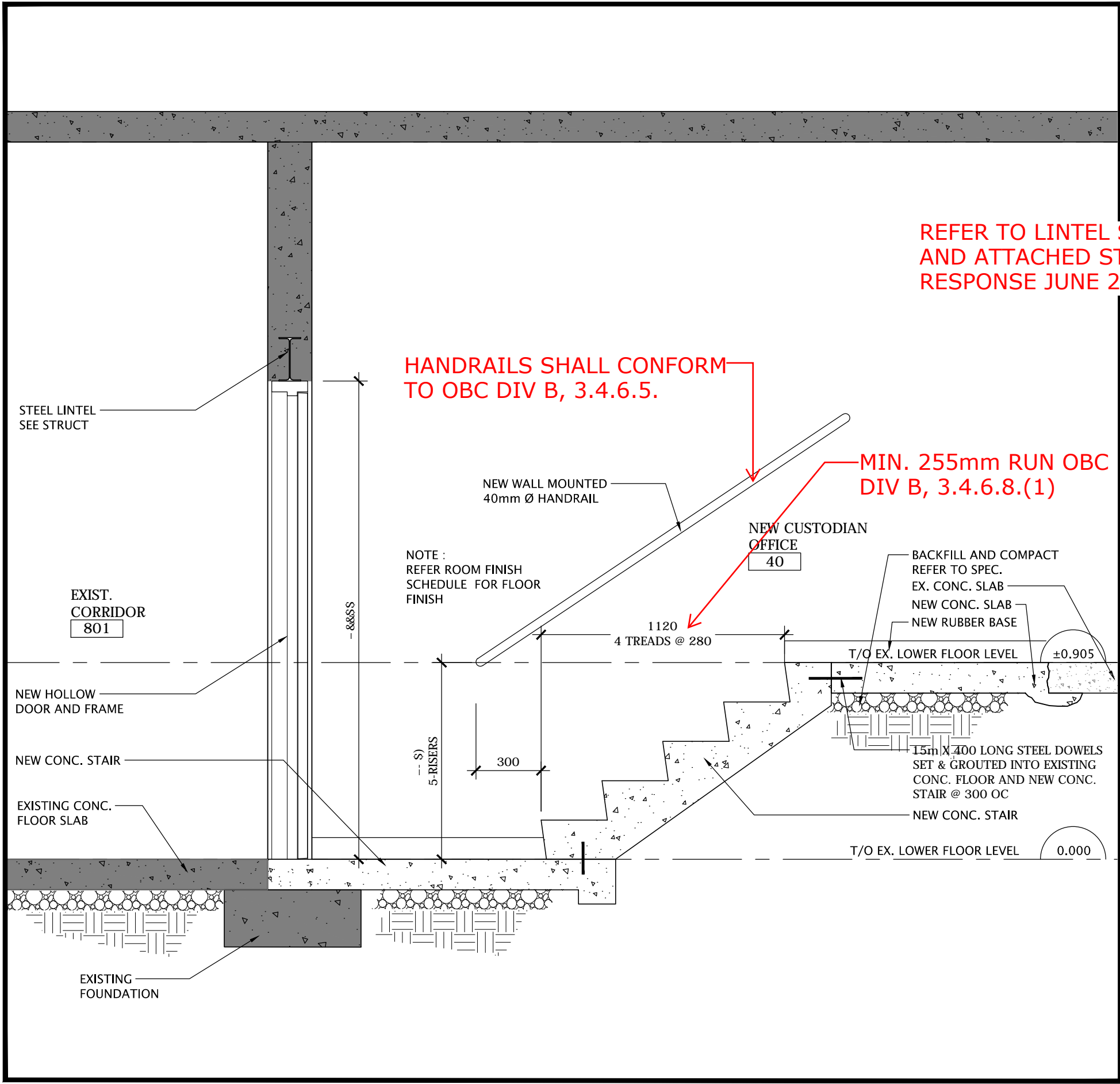


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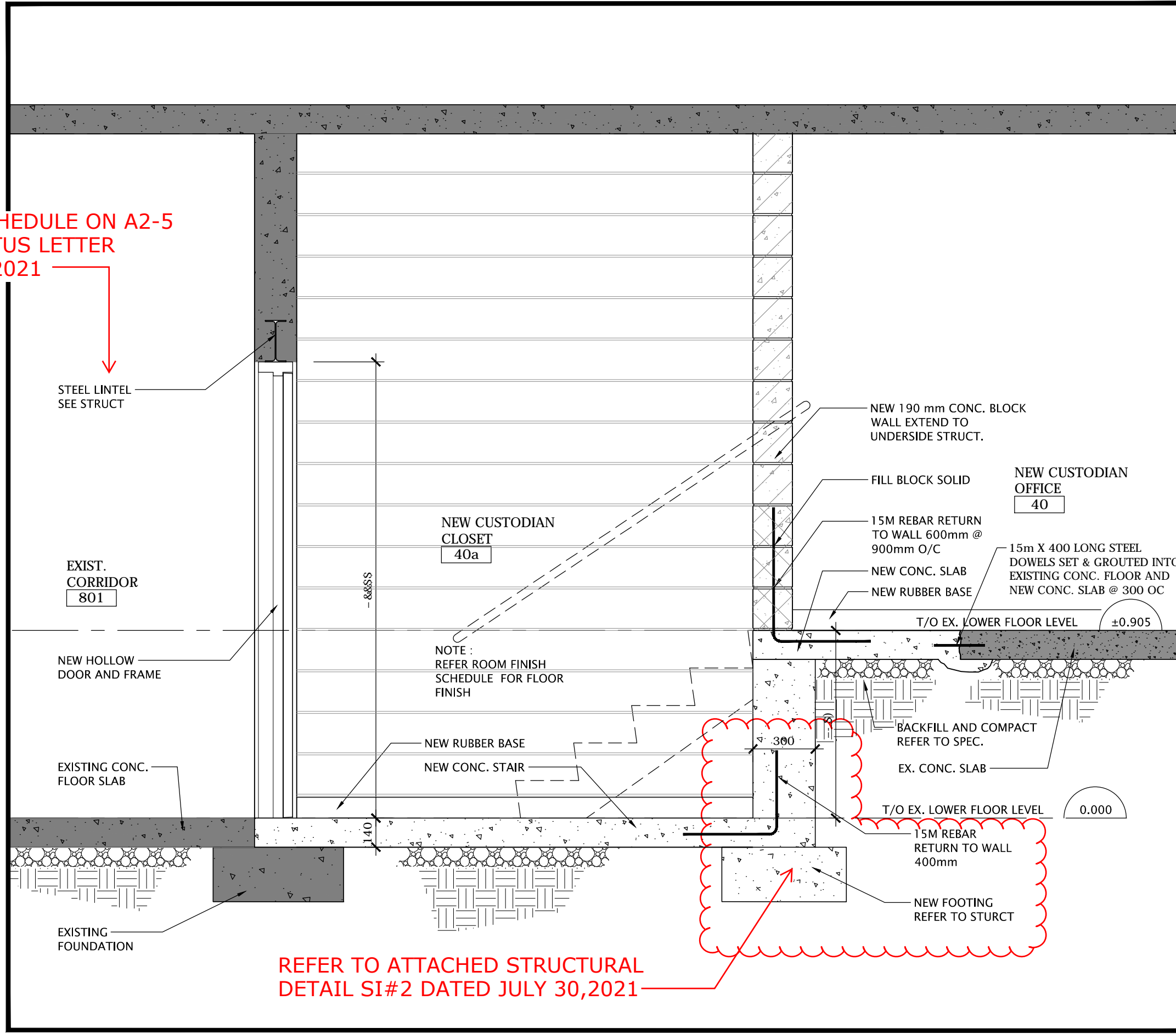
DRAWING TITLE:
PARTIAL LOWER FLOOR PLAN
DEMOLITION AND
NEW LAYOUT

PROJECT NO: A20002.7	SCALE: 1:50
DRAWN: D.T./C.C.	DRAWING NO: A2-3
CHECKED: B.F.	REV. 1
DATE: DEC/20	

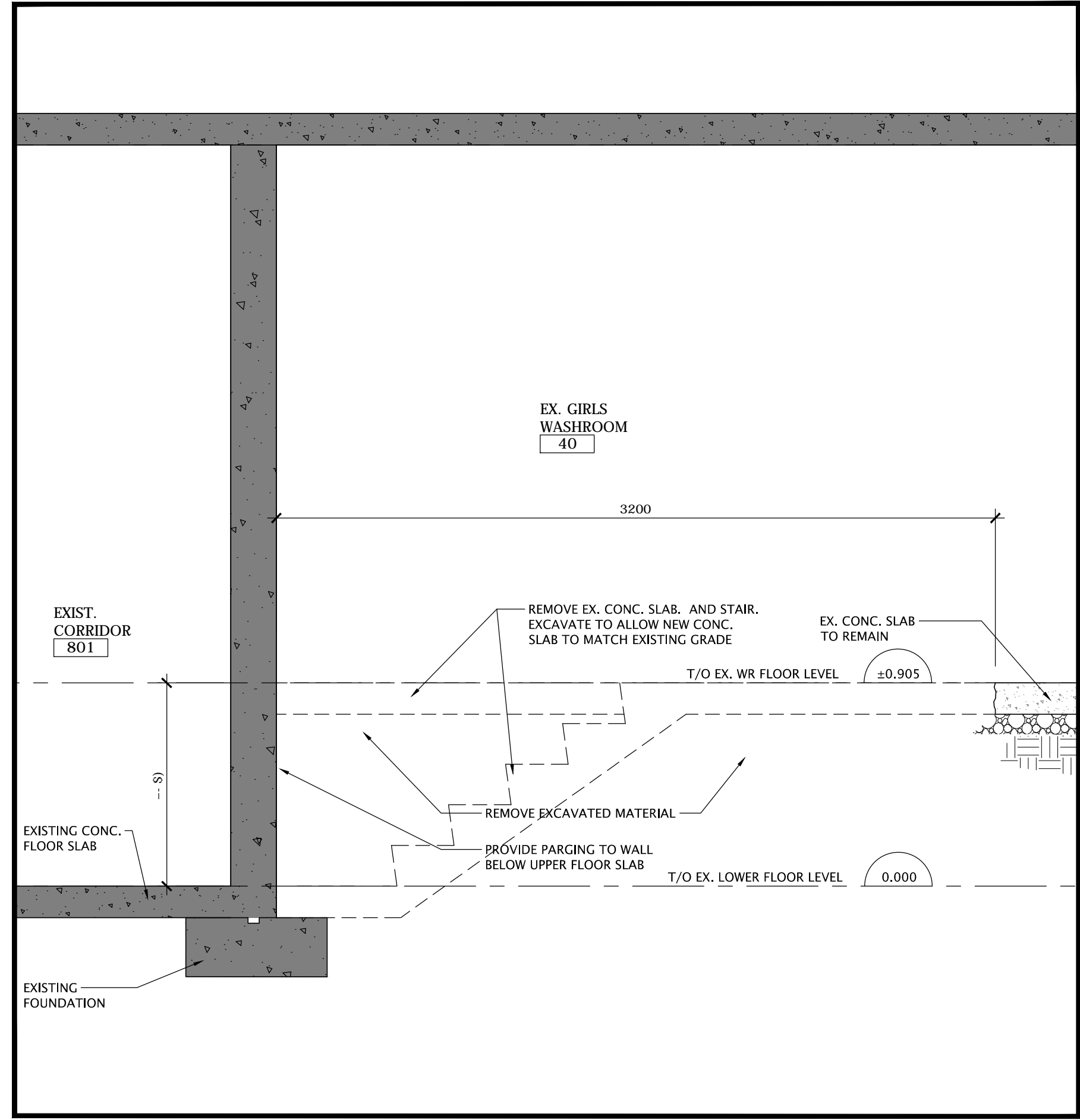
FILES: A20002.7 - A2-3 ENLARGEMENT DEMO - PL



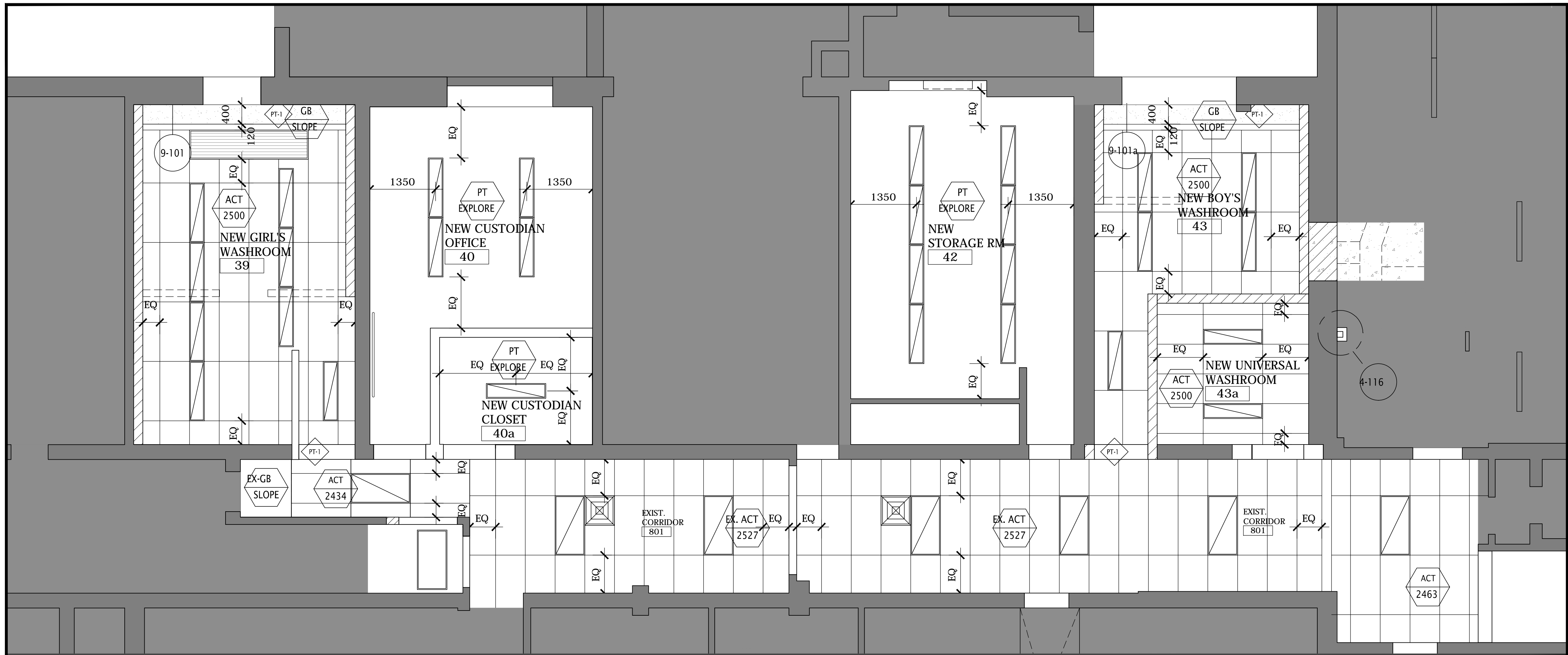
4 SECTION AT NEW CUSTODIAN OFFICE
SCALE: 1:50



3 SECTION AT NEW CUSTODIAN CLOSET
SCALE: 1:50



2 SECTION - DEMOLITION
SCALE: 1:50



1 PARTIAL REFLECTED CEILING PLAN
SCALE: 1:50

NO	DATE	REVISION
1	21/04/23	ISSUED FOR TENDER AND PERMIT
2	21/04/23	ISSUED FOR CLIENT REVIEW

DO NOT SCALE DRAWINGS. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON THE JOB. ALL DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECTS.

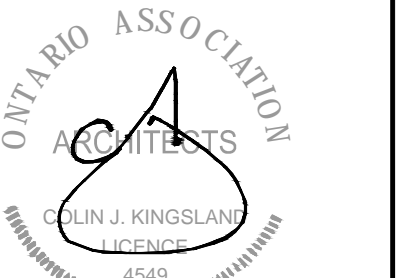
- GENERAL NOTES**
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LEGEND:

- CYP 3000 CEILING TYPE
- CEILING HEIGHT
- LED LIGHT 150 X 1220
- SPRINKLER

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ph 416.203.7799
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HVAC & WASHROOM UPGRADE
1042 Weber Street E.
Kitchener, ON N2A 1B6

DRAWING TITLE:
PARTIAL REFLECTED LOWER FLOOR REFLECTED CEILING PLAN & SECTIONS

PROJECT NO: A20002.7	SCALE: 1:50
DRAWN: D.T./C.C.	DRAWING NO.: A2-4
CHECKED: B.F.	REV.: 1
DATE: DEC/20	

FILES: A20002.7 - A2-4 RCP & SECTIONS.DWG

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DRAWINGS REMAIN THE PROPERTY OF THE ARCHITECTS.

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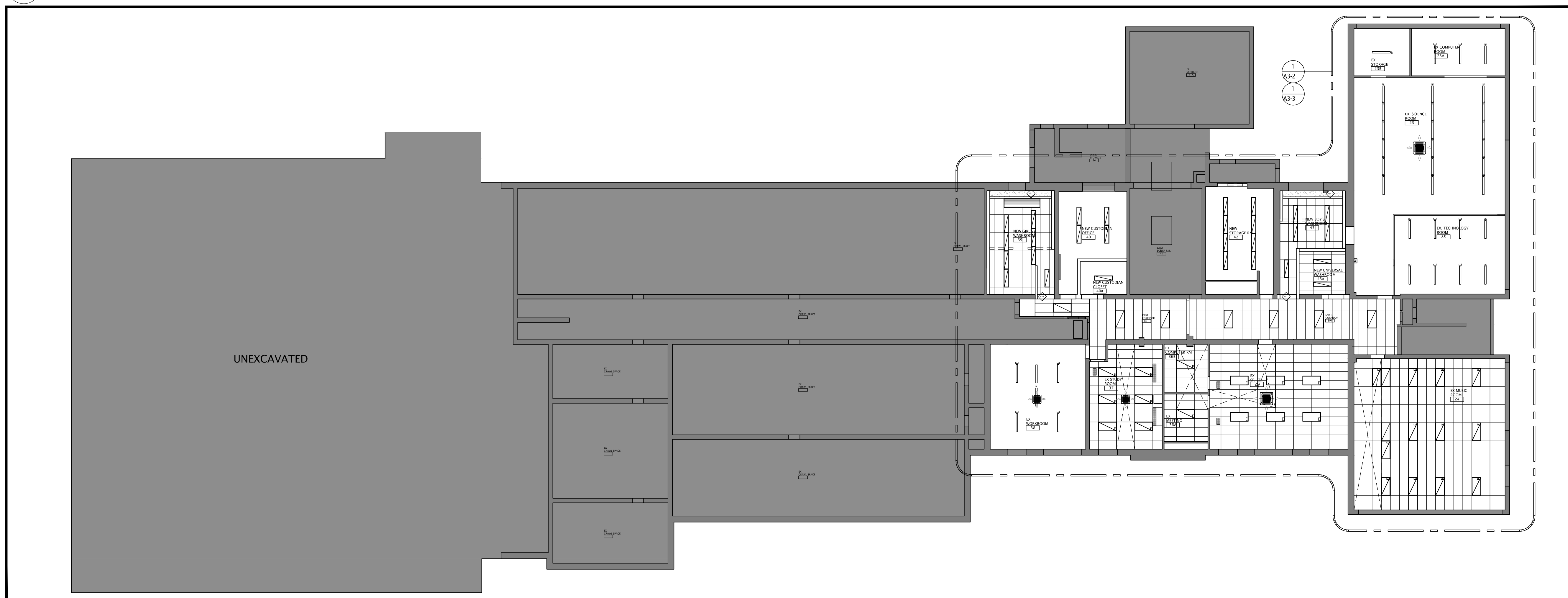
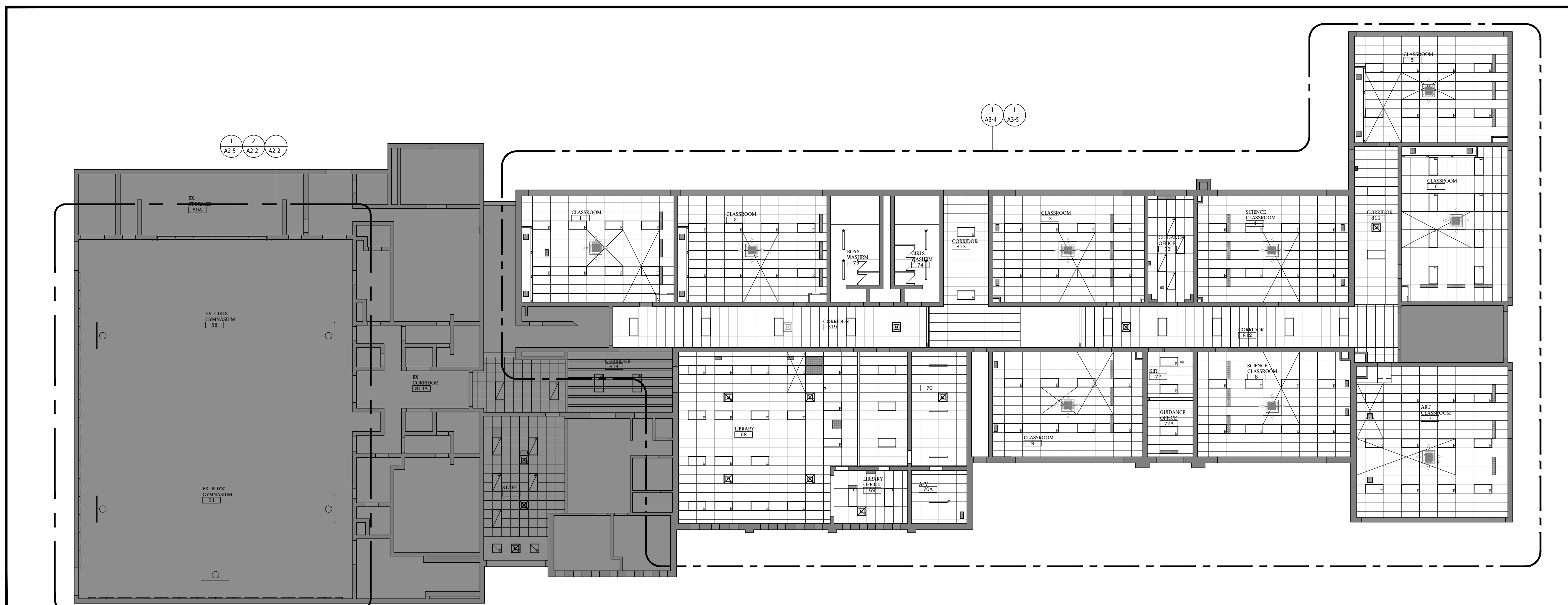
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219 Dufferin Street, Suite 308b
Toronto, Ontario M6K 3J1
ph 416.203.7799
fax 416.203.7763



DRAWING TITLE:
PARTIAL LOWER FLOOR PLAN
FINISHES PLAN

FILES: A20002.7 - A2-6 LOWER FINISH.DWG



[illegible]

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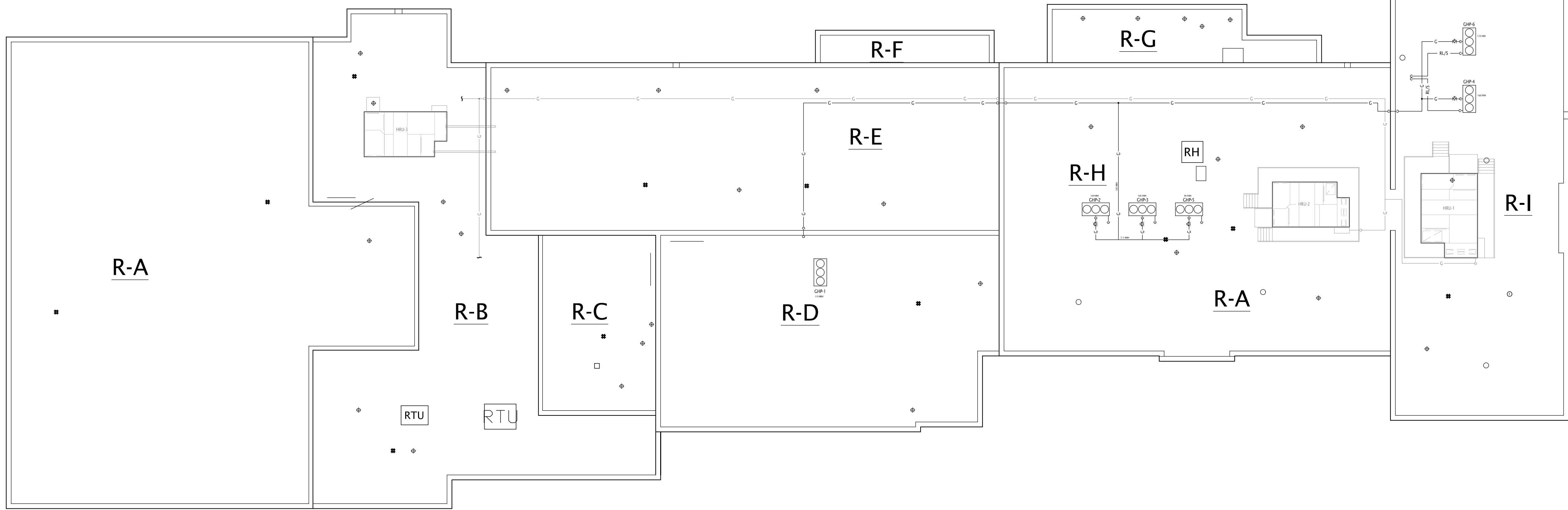
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PUBLIC SCHOOL
HVAC & WASHROOM
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1042 Weber Street E.
Kitchener, ON
N2A 1B6

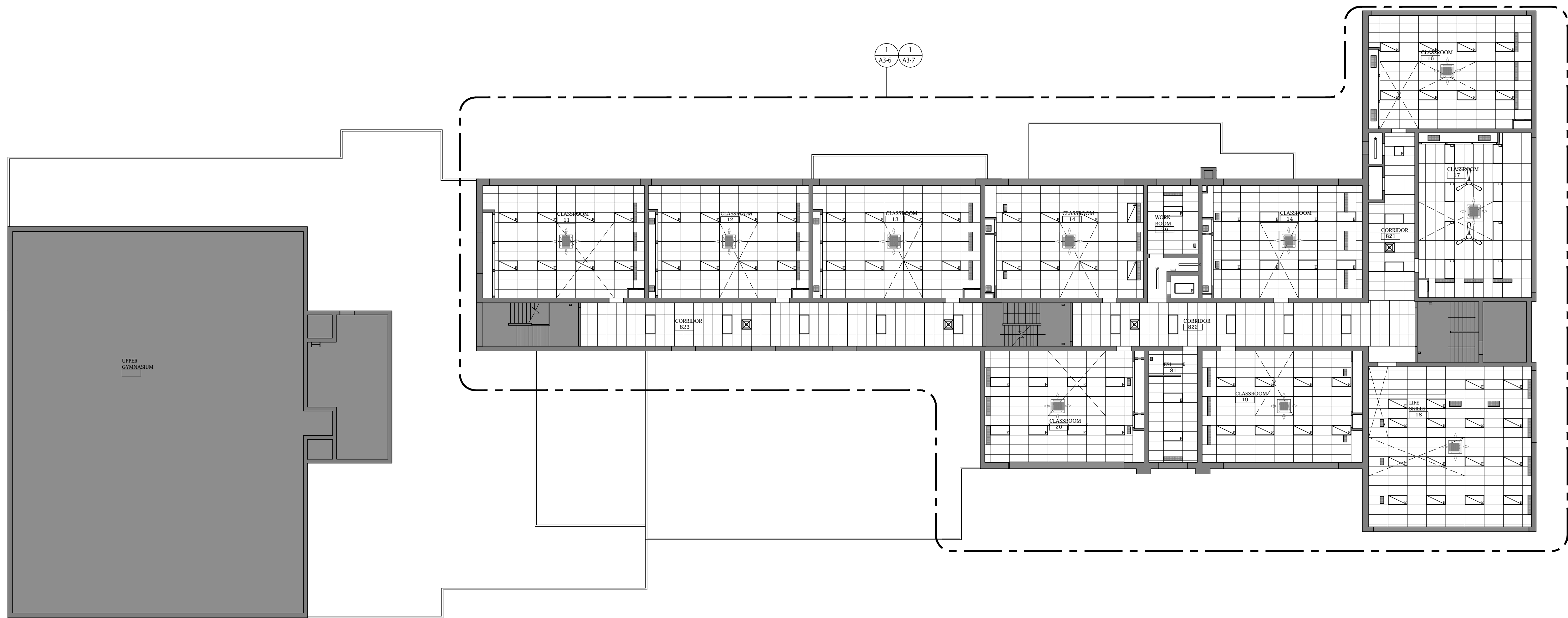
DRAWING TITLE:
A/C OVERALL
LOWER AND
MAIN FLOOR PLANS

PROJECT NO: A20002.7	SCALE: 1:150	
DRAWN: C.C.	DRAWING NO: A3-0	REV. 1
CHECKED: B.F.		
DATE: DEC/20		

FILES: A20002.7 - A3-0 AC OVERALL PLAN.DW



2
A3-1 A/C OVERALL ROOF PLAN
SCALE: 1:150



1
A3-1 A/C OVERALL SECOND FLOOR PLAN
SCALE: 1:150

NO.	DATE	REVISION
1	21.04.23	ISSUED FOR TENDER AND PERMIT
0	27.04.14	ISSUED FOR CLIENT REVIEW

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- GENERAL NOTES**
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UPGRADE**
1042 Weber Street E.
Kitchener, ON
N2A 1B6

DRAWING TITLE:
A/C OVERALL
SECOND FLOOR
AND ROOF PLAN

PROJECT NO: A20002.7	SCALE: 1:150
DRAWN: C.C.	DRAWING NO.: REV.
CHECKED: B.F.	A3-1 1
DATE: DEC/20	

FILES: A20002.7 - A3-1 AC OVERALL PLAN.DWG

CEILING DEMOLITION NOTES

THIS DRAWING IS FOR REFERENCE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE DEMOLITION REQUIRED TO COMPLETE THE WORK. ALL DEMOLITION INCIDENTAL TO COMPLETING THE WORK IS PART OF THE WORK.

1. REFER TO ELECTRICAL DRAWINGS FOR NEW LIGHT FIXTURES REQUIRED, REMOVE PARTIAL CEILING TILES ONLY FOR MECHANICAL PIPING INSTALLATION, REFER TO MECHANICAL.
2. REFER TO ELECTRICAL DRAWINGS FOR NEW LIGHT FIXTURES REQUIRED, COMPLETELY REMOVAL CEILING T-BAR AND TILES FOR MECHANICAL DUCTWORK AND PIPING INSTALLATION INCLUDING ALL CEILING MOUNTED DEVICES. RE-INSTALL ALL CEILING DEVICES ON NEW CEILING. REFER TO MECHANICAL
3. REPLACE ANY DAMAGED CEILING TILES AS REQUIRED



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Kitchener, ON
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DRAWING TITLE:
A/C PARTIAL LOWER FLOOR
REFLECTED CEILING PLAN
DEMOLITION

PROJECT NO: A20002.7	SCALE: 1:75
DRAWN: C.C.	DRAWING NO: REV.
CHECKED: B.F.	A3-2 1
DATE: DEC/20	

FILES: A20002.7 - A3-2 AC RCP - DEMO.DWG



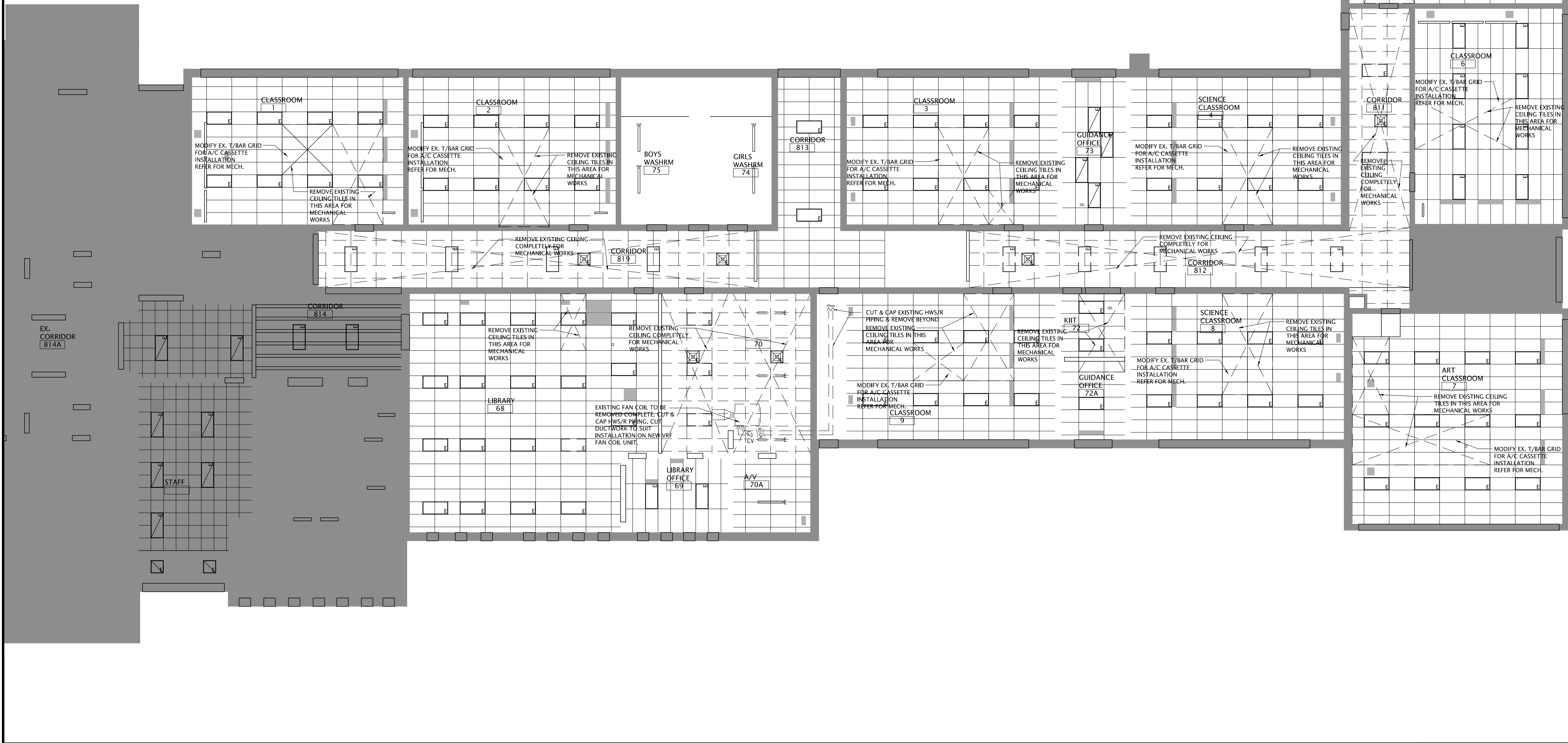
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1. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, LATEST EDITION, AND ALL OTHER ACTS ADMINISTERED BY ALL AUTHORITIES HAVING JURISDICTION.
2. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS, AND SPECIFICATIONS.
3. THE DESIGN LOADS SHALL NOT BE EXCEEDED DURING CONSTRUCTION.
4. ALL DIMENSIONS, SHOWN ON THE DRAWINGS, SHALL BE CHECKED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
5. THE STABILITY OF THE STRUCTURAL FRAME IS DEPENDENT ON THE FULL INTERACTION OF ALL STRUCTURAL COMPONENTS. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BRACING DURING CONSTRUCTION.
6. ALL DIMENSIONS GIVEN ARE IN METRIC.

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PROJECT NO: A20002.7	SCALE: 1:75	
DRAWN: C.C.	DRAWING NO:	REV.
CHECKED: B.F.	A3-3	1
DATE: DEC/20		



CEILING DEMOLITION NOTES

THIS DRAWING IS FOR REFERENCE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE DEMOLITION REQUIRED TO COMPLETE THE WORK. ALL DEMOLITION INCIDENTAL TO COMPLETING THE WORK IS PART OF THE WORK.

1. REFER TO ELECTRICAL DRAWINGS FOR NEW LIGHT FIXTURES REQUIRED, REMOVE PARTIAL CEILING TILES ONLY FOR MECHANICAL PIPING INSTALLATION, REFER TO MECHANICAL.
2. REFER TO ELECTRICAL DRAWINGS FOR NEW LIGHT FIXTURES REQUIRED, COMPLETELY REMOVAL CEILING T-BAR AND TILES FOR MECHANICAL DUCTWORK AND PIPING INSTALLATION INCLUDING ALL CEILING MOUNTED DEVICES. RE-INSTALL ALL CEILING DEVICES ON NEW CEILING. REFER TO MECHANICAL
3. REPLACE ANY DAMAGED CEILING TILES AS REQUIRED

GENERAL NOTES

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Kingsland + ARCHITECTS INC.

KINGSLAND + ARCHITECTS INC.
219 Dufferin Street, Suite 308B
Toronto, Ontario M5K 3J1
ph 416.203.7799
fax 416.203.7763



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Kitchener, ON
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DRAWING TITLE:
A/C PARTIAL MAIN FLOOR
REFLECTED CEILING PLAN
DEMOLITION

PROJECT NO:	A20002.7	SCALE:	1:100
DRAWN:	C.C	DRAWING NO:	A3-4
CHECKED:	B.F.	REV.	1
DATE:	DEC/20		

FILES: A20002.7 - A3-4 AC RCP - DEMO.DWG



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Toronto, Ontario M6K 3J1
ph 416.203.7799
fax 416.203.7763



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DRAWING TITLE:
A/C PARTIAL MAIN FLOOR
REFLECTED CEILING PLAN
NEW

FILES: A20002.7 - A3-5 AC RCP - NEW.DWG

THIS DRAWING IS FOR REFERENCE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE DEMOLITION REQUIRED TO COMPLETE THE WORK. ALL DEMOLITION INCIDENTAL TO COMPLETING THE WORK IS PART OF THE WORK.

-
- Architectural floor plan of the second floor, showing classrooms 16, 17, and 18, a corridor, and a life skills area. The plan includes various annotations for mechanical work, such as "MODIFY EX. T/BAR GRID FOR A/C CASSETTE INSTALLATION", "REMOVE EXISTING CEILING TILES IN THIS AREA FOR MECHANICAL WORKS", and "REMOVE EXISTING CEILING COMPLETELY FOR MECHANICAL WORKS". It also shows furniture like desks, chairs, and a fan, as well as structural elements like walls and doors.

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DRAWING TITLE:
A/C PARTIAL SECOND FLOOR
REFLECTED CEILING PLAN
DEMOLITION

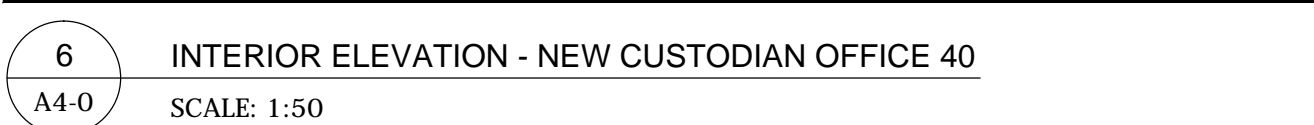
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DRAWN: C.C.	DRAWING NO:	REV.
CHECKED: B.F.	A3-6	1
DATE: DEC/20		

FILES: A20002.7 - A3-6 AC RCP - DEMO.DWG



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DRAWING TITLE:
INTERIOR ELEVATIONS

FILES: A20002.7 - A4-0 INT. ELEVATION.DWG

[illegible]

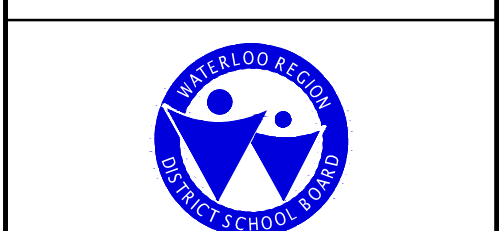
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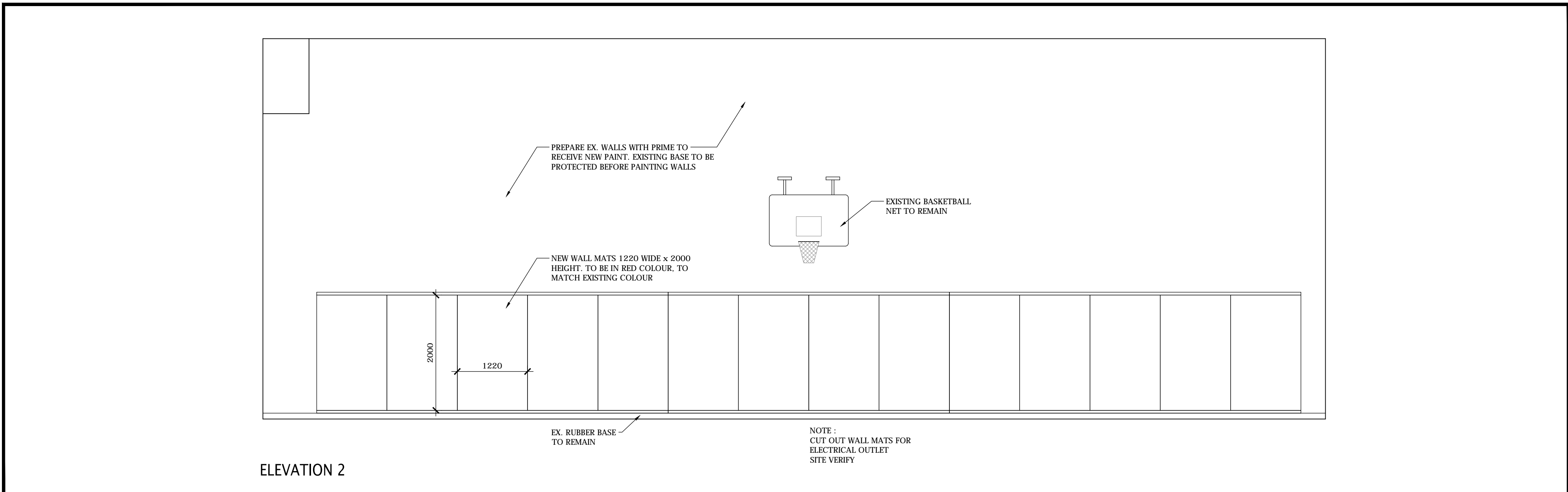


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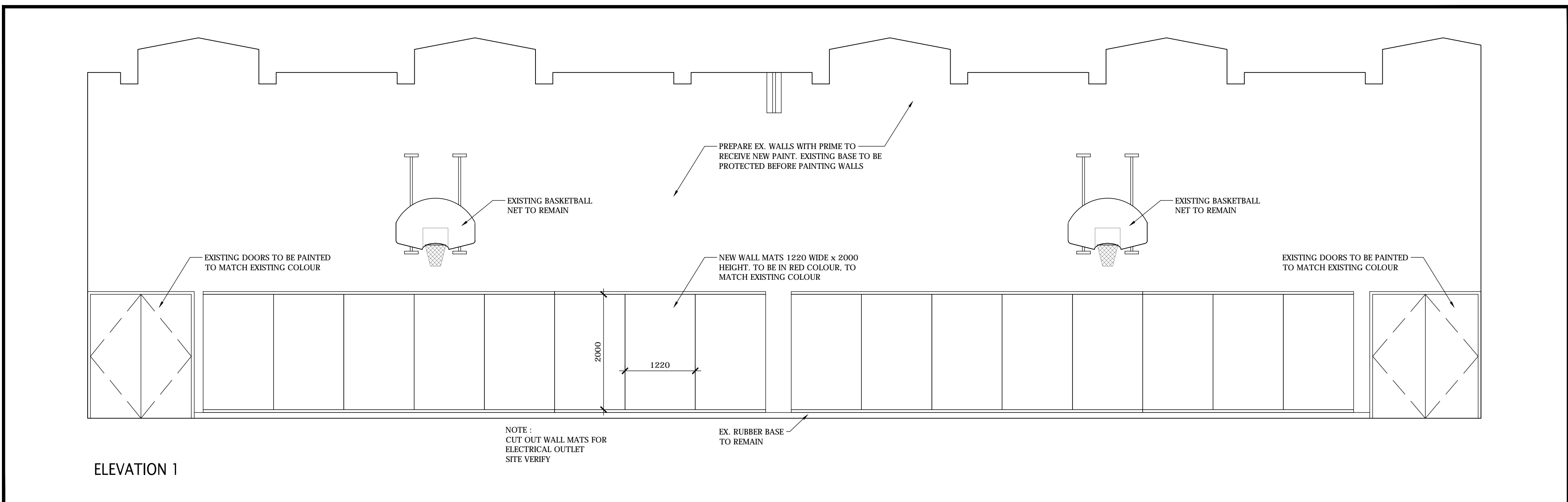
DRAWING TITLE:
EXISTING GYMNASIUM
INTERIOR ELEVATIONS

PROJECT NO: A20002.7		SCALE: 1:50	
DRAWN: D.T./C.C.		DRAWING NO: A4-1	REV. 1
CHECKED: B.F.			
DATE: DEC/20			

FILES: A20002.7 - A4-1 INT. ELEVATION - GY



1 INTERIOR ELEVATION
A4-1 SCALE: 1:50 - EXISTING GYMNASIUM



2 INTERIOR ELEVATION
A4-1 SCALE: 1:50 - EXISTING GYMNASIUM





Door and Frame Schedule

Door No.	Door								Frame			Fire Rating	Remarks
	width	height	thick	type	mat'l	finish	glass	grille	type	mat'l	finish		
23	MATCH EX.	MATCH EX.	45	B	HM	PT	TG	-	-	EX.	PT		Match Ex. Door Size Ex. Frame to remain
24	MATCH EX.	MATCH EX.	45	B	HM	PT	TG	-	-	EX.	PT		Match Ex. Door Size Ex. Frame to remain
25	MATCH EX.	MATCH EX.	45	B	HM	PT	TG	-	-	EX.	PT		Match Ex. Door Size Ex. Frame to remain
40	MATCH EX.	MATCH EX.	45	A	HM	PT	-	-	-	HM	PT	45 min	Match Ex. Door Size and Frame
40a	950	MATCH EX.	45	A	HM	PT	-	-	-	HM	PT	45 min	
41	EX.	EX..	-	-	EX.	PT	-	-	-	EX.	PT	45 min	Paint Ex. Door and Frame
42	MATCH EX.	MATCH EX.	45	A	HM	PT	-	-	-	EX.	PT	45 min	Match Ex. Door Size Ex. Frame to remain
43a	950	MATCH EX.	45	A	HM	PT	-	-	-	HM	PT		UNIVERSAL WASHROOM POWER DOOR OPERATOR

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BUILDING



Door and Frame Schedule

Abbreviations

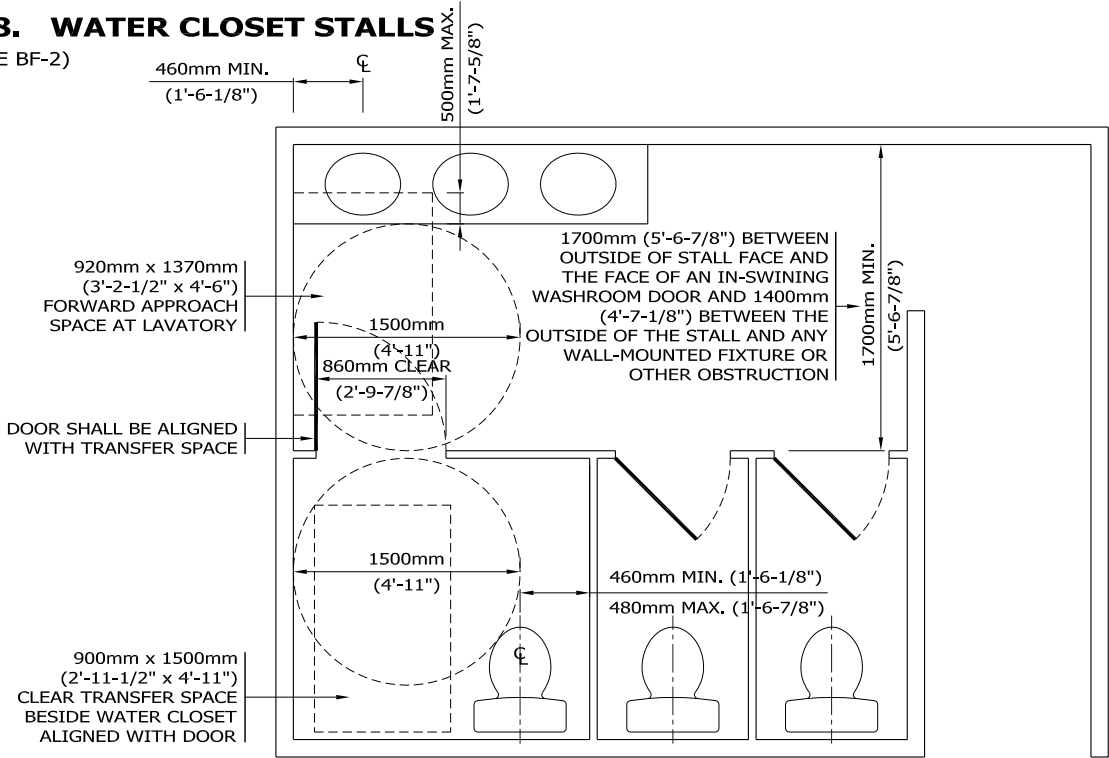
AL – Aluminum AN – Clear B/S – Both Sides GL – Clear Tempered Glass GWG – Georgian Wired Glass HM – Pressed Steel Frame PT – Paint

End of Section

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Div. B, 3.8.3.8. WATER CLOSET STALLS

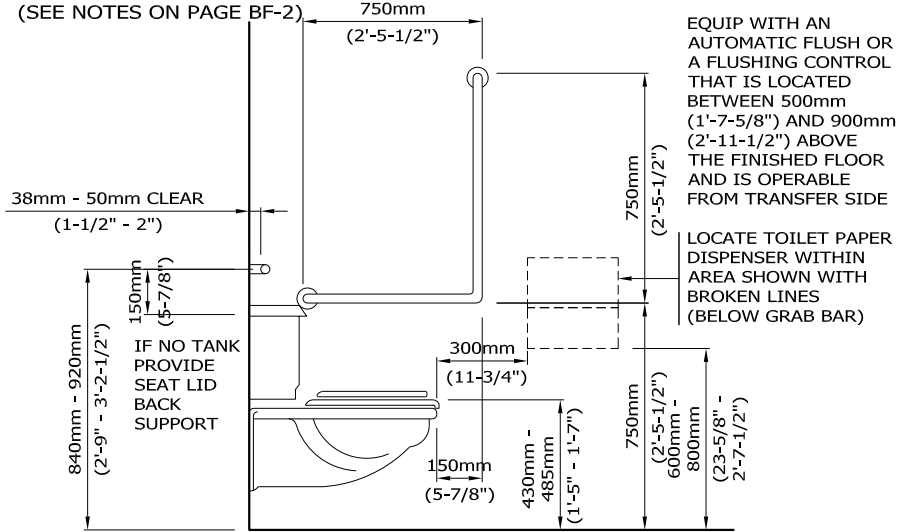
(SEE NOTES ON PAGE BF-2)



*THIS DIAGRAM IS FOR REPRESENTATION OF BARRIER FREE REQUIREMENTS ONLY. ALTERNATE REQUIREMENTS OR LAYOUTS MAY APPLY TO MEET **PRIVACY AND FOOD PREMISE HEALTH REQUIREMENTS** OF THE BUILDING CODE.

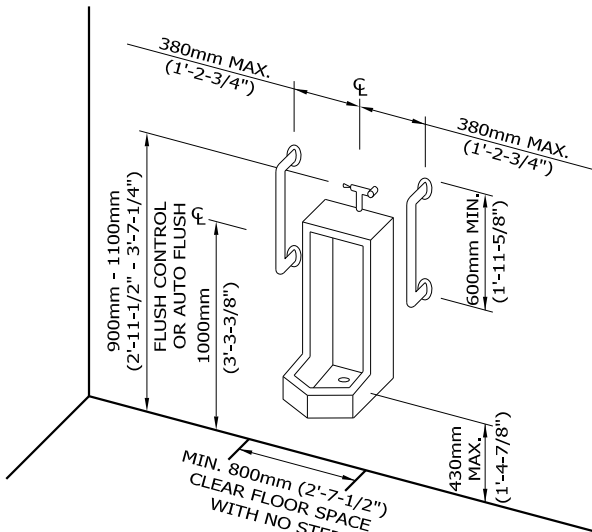
Div. B, 3.8.3.9. WATER CLOSETS
Div. B, 3.8.3.8.(3) GRAB BARS
Div. B, 3.8.3.8.(1)(g) TOILET PAPER DISPENSER

(SEE NOTES ON PAGE BF-2)



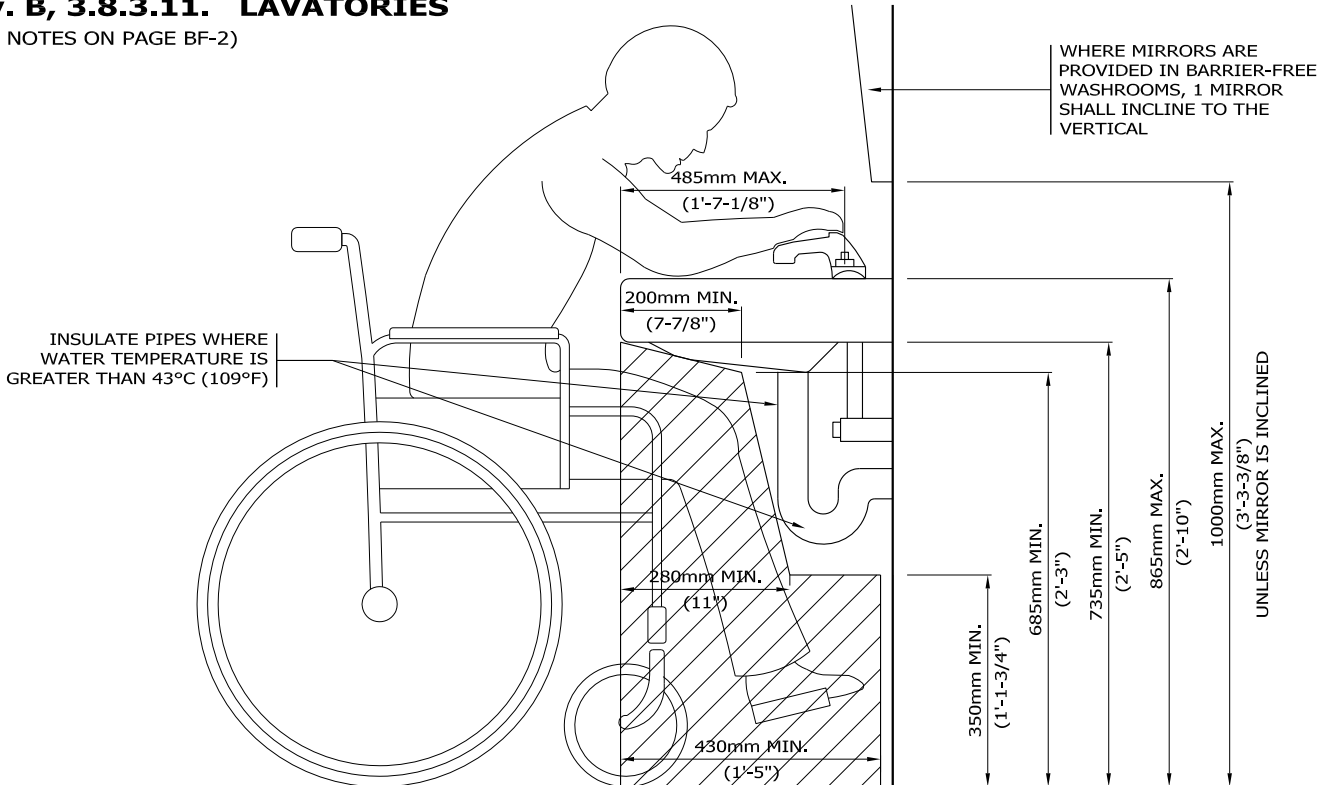
Div. B, 3.8.3.10. ACCESSIBLE URINAL

(SEE NOTES ON PAGE BF-2)



Div. B, 3.8.3.11. LAVATORIES

(SEE NOTES ON PAGE BF-2)



LAVATORY MAY BE MOUNTED IN A VANITY PROVIDED THE ABOVE CLEARANCES ARE MAINTAINED AND A CLEAR WIDTH OF 760mm (2'-6") IS PROVIDED UNDER THE VANITY FOR THE WHEELCHAIR.



Building Division
BARRIER FREE WASHROOM
REQUIREMENTS

2012 Building Code Compendium
(THIS IS INTENDED FOR ILLUSTRATION ONLY, PLEASE SEE SPECIFIC REQUIREMENTS IN BC DIV. B SECTION 3.8.)

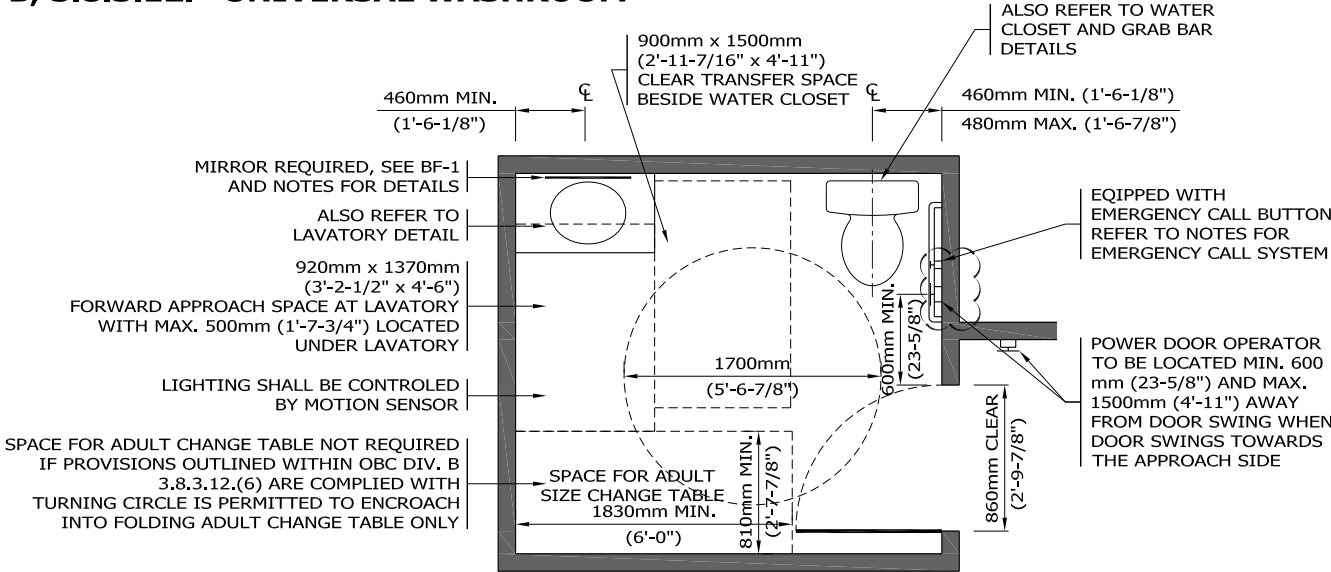
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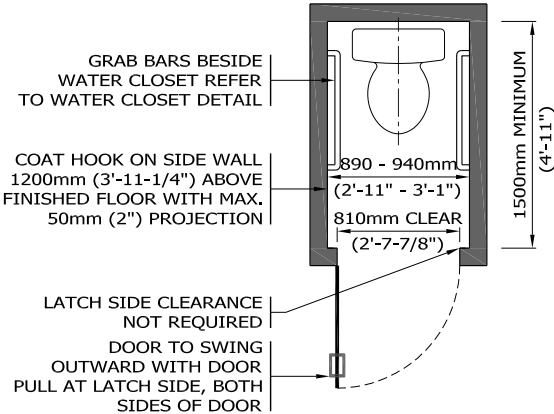
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BF-1

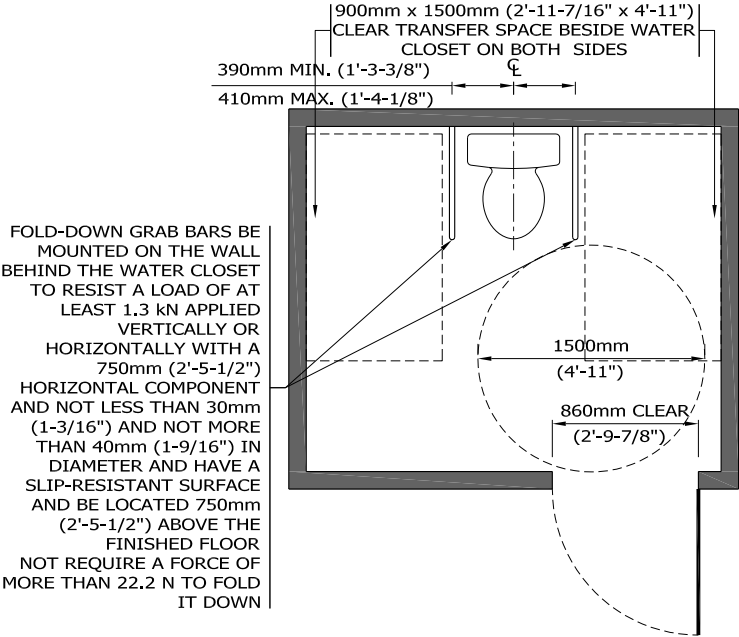
Div. B, 3.8.3.12. UNIVERSAL WASHROOM



Div. B, 3.8.3.8.(10) AMBULATORY WATER CLOSET STALL OR ENCLOSURE



Div. B, 3.8.3.8.(2)(B) TRANSFER SPACE ON BOTH SIDES OF WC



DOORS

A DOOR IS REQUIRED WITH A MINIMUM UNOBSTRUCTED CLEAR WIDTH OF 860mm (2'-9-7/8"). THE DOOR MUST SWING OUT, UNLESS ADEQUATE AREA IS PROVIDED WITHIN THE WASHROOM TO PERMIT CLOSING THE DOOR WITHOUT INTERFERING WITH THE WHEELCHAIR. DOORS MAY BE LOCKABLE, BUT CAPABLE OF EMERGENCY RELEASE FROM THE OUTSIDE. DOOR OPENING DEVICES SHALL BE LEVER TYPE DESIGN THAT IS OPERABLE USING A CLOSED FIST. A DOOR CLOSER & POWER OPERATOR IS REQUIRED WHERE THE DOOR OPENS OUTWARD. POWER DOOR IS REQUIRED WHERE THE DOOR SERVES A WASHROOM FOR PUBLIC USE. REFER TO OBC DIV. B 3.8.3.3. FOR FULL REQUIREMENTS ON DOORS.

STALL DOORS

MUST BE CAPABLE OF BEING LOCKED FROM THE INSIDE WITH LOCK MECHANISM OPERABLE BY A CLOSED FIST. PROVIDE A CLEAR OPENING OF AT LEAST 860mm (2'-9-7/8"), WHEN THE DOOR IS IN THE OPEN POSITION. DOOR MUST SWING OUT UNLESS 820mm x 1440mm (2'-8-1/4" x 4'-8-3/4") CLEAR FLOOR AREA IS PROVIDED WITHIN THE STALL. PROVIDE SPRING TYPE OR GRAVITY HINGES AND INSTALL THE D-SHAPED DOOR PULL ON BOTH SIDES OF THE DOOR NEAR THE LATCH SIDE AND LOCATED AT A HEIGHT OF NOT LESS THAN 900mm (2'-11-1/2") AND NOT MORE THAN 1100mm (3'-7-1/4") ABOVE THE FINISHED FLOOR, ALIGNED WITH THE CLEAR TRANSFER SPACE OF 900mm x 1500mm (2'-11-1/2" x 4'-11"). LATCH CAPABLE OF EMERGENCY RELEASE FROM THE OUTSIDE.

LAVATORIES

MUST NOT BE MORE THAN 865mm (2'-10") FROM THE TOP OF A BASIN OR VANITY TO THE FLOOR. A 920mm (3'-2-1/2") WIDE AREA REQUIRES THE FOLLOWING CLEARANCES BENEATH THE LAVATORY: 735mm (2'-5") UNDER THE FRONT EDGE; 685mm (2'-3") AT A POINT 200mm (7-7/8") BACK FROM THE FRONT EDGE; 350mm (1'-1-3/4") HIGH FROM A POINT 280mm (11") BACK FROM THE FRONT EDGE TO THE WALL. PROVIDE INSULATED PLUMBING PIPES, ALTERNATE WATER SUPPLY TEMPERATURE LIMITED TO 43°C (109°F) TO PREVENT BURNS. FAUCET HANDLES OF THE LEVER TYPE OR AUTOMATICALLY OPERABLE ARE REQUIRED, AND MUST NOT BE SPRING-LOADED AND LOCATED NO FURTHER THAN 485mm (1'-7-1/8") FROM THE CENTER LINE TO THE FRONT EDGE OF THE BASIN OR VANITY. HAVE A MINIMUM 920mm x 1370mm (3'-2-1/2" x 4'-6") FORWARD APPROACH SPACE.

WATER CLOSET

A SEAT HEIGHT OF 430mm (1'-5") TO 485mm (1'-7") IS REQUIRED. FLUSHING CONTROLS MUST BE EASILY ACCESSIBLE TO A WHEELCHAIR USER OR BE AUTOMATICALLY OPERABLE. A BACK SUPPORT IS REQUIRED WHERE THERE IS NO SEAT LID OR TANK. SEATS MUST NOT BE SPRING-ACTIVATED. HAND-OPERATED FLUSHING CONTROLS, IF EQUIPPED, SHALL BE OPERABLE USING A CLOSED FIST.

ACCESSORIES

A COAT HOOK MUST BE MOUNTED WITHIN THE STALL ON THE SIDE WALL NOT MORE THAN 1200mm (3'-11-1/4") FROM THE FLOOR AND EXTENDING NOT MORE THAN 50mm (2") OUT FROM WALL. IN UNIVERSAL TOILET ROOMS PROVIDE AN EMERGENCY CALL SYSTEM WITH AUDIBLE AND VISUAL SIGNAL DEVICES INSIDE AND OUTSIDE OF THE WASHROOM THAT ARE ACTIVATED BY A CONTROL DEVICE INSIDE THE WASHROOM AND AN EMERGENCY SIGN THAT CONTAINS THE WORDS **"IN THE EVENT OF AN EMERGENCY PUSH EMERGENCY BUTTON AND AUDIBLE AND VISUAL SIGNAL WILL ACTIVATE"** IN LETTERS AT LEAST 25mm (1") HIGH WITH 5mm (3/16") STROKE AND POSTED ABOVE THE EMERGENCY BUTTON. WHEN INSTALLED A SHELF LOCATED NOT MORE THAN 1100mm (3'-7-1/4") ABOVE THE FLOOR. ALL ACCESSORIES AND CONTROLS, SUCH AS SOAP AND TOWEL DISPENSERS, LIGHT / FAN SWITCHES, ETC., SHALL BE MOUNTED NOT LESS THAN 900mm (2'-11-1/2") AND NOT MORE THAN 1200mm (3'-11-1/4") ABOVE THE FLOOR. TOILET PAPER DISPENSERS SHALL BE LOCATED (BELOW THE GRAB BAR) WITHIN 300mm (11-3/4") IN FRONT OF THE TOILET SEAT AND NOT LESS THAN 600mm (23-5/8") ABOVE THE FLOOR.

GRAB BARS

TWO ARE REQUIRED, ONE BEHIND THE WATER CLOSET, THE OTHER TO BE MOUNTED BESIDE THE WATER CLOSET FOR URINALS, EACH SIDE OF URINAL. SEE THE ILLUSTRATIONS AND OBC FOR DIMENSIONING. GRAB BARS MUST BE SLIP RESISTANT, 30-40mm (1-3/16" - 1-9/16") IN DIAMETER, HAVE A CLEARANCE OF 38-50mm (1-1/2" - 2") FROM THE WALL, AND MUST SUPPORT A LOAD UP TO 1.3 kN (300 lbs) APPLIED VERTICALLY OR HORIZONTALLY. WHERE EQUIPPED WITH A FOLD-DOWN GRAB BAR IT SHALL BE MOUNTED ON THE WALL BEHIND THE WATER CLOSET; WITH A 750mm (2'-5-1/2") HORIZONTAL COMPONENT 750mm (2'-5-1/2") ABOVE THE FINISHED FLOOR, LOCATED FROM CENTER LINE OF WATER CLOSET, MIN. 390mm (1'-3-3/8"), MAX. 410mm (1'-4-1/8").



Building Division
BARRIER FREE WASHROOM
REQUIREMENTS

2012 Building Code Compendium
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