

## **TENDER 7119-KP-21 - Addendum #5**

**Project:** Elmira District S.S. - Window, Roof, HVAC & Sanitary Upgrades

**Project No.:** 20931

**Date:** 2021.03.30

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The following information supplements and/or supersedes the bid documents **ISSUED FOR TENDER dated 2021.03.17**

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This Addendum forms part of the contract documents and is to be read, interpreted, and coordinated with all other parts. The cost of all contained herein is to be included in the contract sum. The following revisions supersede the information contained in the original drawings and specifications issued for the above-named project to the extent referenced and shall become part thereof.

**Addenda Documents attached herein:**

1. **Architectural Addendum (16 drawing sheets)**
  - a. **A001: Revised roof assembly and clarification of partition type, finish notes**
  - b. **A005: Clarification glazing type**
  - c. **A020: Clarification of work extent**
  - d. **A021: Clarification of demolition scope**
  - e. **A022: Clarification of demolition scope**
  - f. **A023: Clarification of demolition scope**
  - g. **A024: Note clarification**
  - h. **A025: Clarification of demolition scope**
  - i. **A100: Clarification of scope**
  - j. **A101: Clarification of scope, additional tags, curb base at new partition, housekeeping pads**
  - k. **A102: Clarification of scopes**
  - l. **A103: Clarification of ceiling work scope**
  - m. **A104: Clarification of roof slopes based on preliminary sketches from supplier.**
  - n. **A301: Revised for legibility of references**
  - o. **A501: Updated to include spandrel glass window detail (with no insulated spandrel behind)**
  - p. **A521: Roof curbs revised to be thicker.**

**Clarifications:**

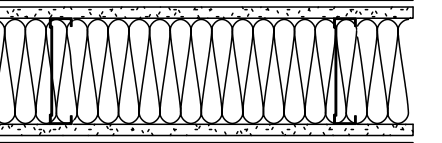
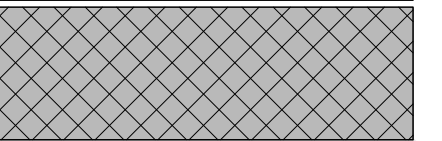
1. Revisions to 01 21 00 Allowances:

- a. **Delete:** item #5 under List of cash allowance under (1.1.8.1.1) which duplicates item #1 for masonry repair..

**-END OF ADDENUM #5-**


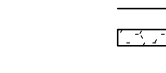


## W - EXTERIOR WALL ASSEMBLIES

P - INTERIOR PARTITION AND FURRING ASSEMBLIES						
TYPE	DIAGRAM	DESCRIPTION	ASSEMBLY-SPECIFIC NOTES	PERFORMANCE		
P1		<p><b>152mm 16 Ga STEEL STUDS WITH 16mm FIRE RATED MOISTURE-RESISTANT GYPSUM BOARD (BOTH SIDES)</b></p> <p>VAR 16mm 152mm</p> <p>FINISH: REFER TO FINISH PLANS MOISTURE-RESISTANT TYPE X GWB NON-LOADBEARING STEEL STUD FRAMING @ 106mm O.C. CWJ</p> <p>89mm 16mm VAR</p> <p>INS-03 BATT INSULATION MOISTURE-RESISTANT TYPE X GWB FINISH: REFER TO FINISH PLANS</p>	<p>BASIS OF DESIGN cUL W453 OR SIMILAR PER OBC SB-2</p> <p>NOTES: 1. COORDINATE INSTALLATION WITH 152mm CONCRETE CURB BASE. REFER TO A101 2. UNLESS NOTED OTHERWISE, SPECIFIED INSULATION TO FILL ENTIRE DEPTH AND HEIGHT OF STUD CAVITY</p>	CATEGORY	REQUIRED	PROVIDED
				FRR	SEE SHEET A.01	1HR PER OBC SB-2
				STC	-	-
P2		<p><b>190mm LOADBEARING CMU</b></p> <p>VAR 190mm</p> <p>FINISH: REFER TO FINISH PLANS INTERIOR LOADBEARING CMU HOLLOW BLOCK, NORMAL WEIGHT TYPE "N" REFER TO STRUCTURAL</p> <p>VAR</p> <p>FINISH: REFER TO FINISH PLANS</p>	<p>NOTE: REFER TO STRUCTURAL DRAWINGS FOR LATERAL SUPPORT CONNECTIONS AND DETAILS</p> <p>NOTE: REFER TO STRUCTURAL DRAWINGS FOR INTERIOR OPENING LINTEL SUPPORT DETAILS.</p> <p>NOTE: TYPICAL HORIZONTAL AND VERTICAL MORTAR JOINT SPACING TO BE 10mm UNLESS NOTED OTHERWISE.</p> <p>NOTE: PROVIDE BULLNOSE BLOCK AT ALL EXPOSED CORNER, JAMB, AND HEAD CONDITIONS</p>	CATEGORY	REQUIRED	PROVIDED
				FRR	SEE SHEET A.01	1HR PER OBC SB-2
				STC RATING	-	-

## R - ROOF ASSEMBLIES

### C - SUSPENDED CEILING ASSEMBLIES

<p><b>C1</b></p> <p><b>C2</b></p>	
<p><b>C3</b></p>	

ABBREV.	DESCRIPTION
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PT-1	PAINT	TO BE CONFIRMED	WALLS	
PT-2	PAINT - ACCENT COLOUR 01	TO BE CONFIRMED	CEILINGS	TO MATCH EXISTING
PT-3	PAINT - ACCENT COLOUR 02	TO BE CONFIRMED	EXTERIOR DOOR	TO MATCH EXISTING
MILLWORK FINISHES				
PL-1	PLASTIC LAMINATE SILL	TO BE CONFIRMED - REFER TO SPEC	CLASSROOM UNLESS NOTED OTHERWISE	
SS-1	SOLID WOOD SILL	TO BE CONFIRMED - REFER TO DETAIL, SPEC	CLASSROOM 3122	
WD-1	SOLID SURFACE SILL	TO BE CONFIRMED - REFER TO SPEC	CORRIDORS & STAIRWAYS	

DOOR NO.	FROM ROOM:		TO ROOM:		DOOR SIZE			PANEL CONSTRUCTION			FRAME CONSTRUCTION			LITE TYPE	FIRE RATING	HARDWARE
	ROOM NAME	ROOM #	ROOM NAME	ROOM #	REBATE WIDTH	REBATE HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH			
D01	SOUTHWEST EXIT AT STAIR D	EXIT 3	EXTERIOR		1850	2135	51	D1	ALUM./GLASS	CLEAR ANOD.	A	ALUMINUM	CLEAR ANOD.	TG		ENTRANCE DP, ED, WS
D02	NEW PUMP/UTILITY ROOM	D1406c	STAIR G		1830	2134	44	A1	HM	PAINT	B	HM	PAINT		45 MINUTES	STORERM LS, CL, SMOKESEAL
D03	FAN ROOM DOOR	XXXx	EXTERIOR (ROOF)		1090	2134	44	D1	HM	PAINT	B	HM	PAINT			STORERM LS, WS, TH
D04	SOUTH EXIT AT STAIR C	EXIT 4	EXTERIOR		1850	2135	51	D1	ALUM./GLASS	CLEAR ANOD.	A	ALUMINUM	CLEAR ANOD.	TG		ENTRANCE DP, ED, WS

The image contains four technical drawings of door and window head and jamb details, organized into two rows and two columns.

**Top Row: DRYWALL PARTITION**

- Left Drawing (HEAD):** A cross-section of a door head in a drywall partition. It shows a vertical section of drywall with a horizontal joint. A "STUD & GWB PARTITION" is indicated, with a note "REFER TO PLANS & ASSEMBLIES FOR TYPE". A "HOLLOW METAL DOOR FRAME" is shown on the left, and a "HOLLOW METAL DOOR PANEL" is shown on the right. The drawing is labeled "HEAD" at the bottom.
- Right Drawing (JAMB):** A cross-section of a door jamb in a drywall partition. It shows a vertical section of drywall with a horizontal joint. A "STUD & GWB PARTITION" is indicated, with a note "REFER TO PLANS & ASSEMBLIES FOR TYPE". A "HOLLOW METAL DOOR FRAME" is shown on the left, and a "HOLLOW METAL DOOR PANEL" is shown on the right. The drawing is labeled "JAMB" at the bottom.

**Bottom Row: CONCRETE MASONRY UNIT PARTITION**

- Left Drawing (HEAD):** A cross-section of a door head in a concrete masonry unit partition. It shows a vertical section of concrete masonry units with a horizontal joint. An "EXISTING EXTERIOR MASONRY" is indicated, with a note "REFER TO PLAN". A "HOLLOW METAL DOOR FRAME" is shown on the left, and a "HOLLOW METAL DOOR PANEL" is shown on the right. The drawing is labeled "HEAD" at the bottom.
- Right Drawing (JAMB):** A cross-section of a door jamb in a concrete masonry unit partition. It shows a vertical section of concrete masonry units with a horizontal joint. An "EXISTING EXTERIOR MASONRY" is indicated, with a note "REFER TO PLAN". A "HOLLOW METAL DOOR FRAME" is shown on the left, and a "HOLLOW METAL DOOR PANEL" is shown on the right. The drawing is labeled "JAMB" at the bottom.

REMOVABLE MULLION @ EXTERIOR DOORS

50 REBATE WIDTH 50

REBATE HEIGHT

TYPE A

TYPE B

Technical drawings of three door types:

- TYPE A - SOLID SINGLE DOOR**: Shows a single door with dimensions for REBATE WIDTH and REBATE HEIGHT. A dashed diagonal line indicates the internal structure.
- TYPE A1 - SOLID DOUBLE DOOR**: Shows a double door with dimensions for REBATE WIDTH, REBATE HEIGHT, and EQ (Equalizer). A dashed diagonal line indicates the internal structure.
- TYPE D1 - DOUBLE HALF GLASS DOUBLE DOOR**: Shows a double door with glass panels. Dimensions include REBATE WIDTH, REBATE HEIGHT, EQ, and specific panel dimensions (150, 180, 205, 225). A dashed diagonal line indicates the internal structure.

AL	ALUMINUM
AN	CLEAR ANODIZED
BA	BATT INSULATION
HM	HOLLOW METAL
PI	POLYISO INSULATION
PN	PAINT
SCW	SOLID CORE WOOD
ST	STAIN
CF	CLEAR FINISH
WD	WOOD
TG	TEMPERED GLASS

- CONTRACTOR TO CONFIRM ALL FINISHES, LOCATIONS, AND QUANTITIES AND NOTIFY CONSULTANT OF ANY DISCREPANCIES.
2. ALL FIRE RATED DOORS REQUIRE DOOR CLOSERS.
3. ALL EXIT DOORS TO HAVE HARDWARE IN CONFORMANCE TO O.B.C EXIT REQUIREMENTS. GENERAL CONTRACTOR TO CO-ORDINATE INSTALLATION AND LOCATIONS WITH DOOR AND HARDWARE MANUFACTURER.
4. ALL EXTERIOR DOORS TO BE INSULATED & HAVE THERMALLY BROKEN FRAMES. FILL FRAMES AND SPACE BETWEEN FRAMES AND ADJACENT MATERIALS W/ SRPAY FOAM INSULATION TO FULL SEAL AGAINST ALL AIR INFILTRATION.
5. FOR DOOR SWINGS REFER TO PLAN.
6. FOR PAINT COLOURS REFER TO FINISH SCHEDULE AND ELEVATIONS.
7. PROVIDE ACOUSTIC SEALANT AND FILL FRAME AT ALL DOORS IN ACOUSTICALLY RATED WALL ASSEMBLIES AND ALL DOORS AT OFFICES.
8. ALL GLAZING IN DOORS & SCREENS TO BE TEMPERED.
9. COORDINATE THROAT SIZE TO WALL SCHEDULE AND MANUFACTURES TOLERANCES. FOR DOORS TO BE INSTALLED IN EXISTING WALLS, VERIFY EXISTING WALL THICKNESS ON SITE. COORDINATE SIZE OF FRAME TO ACCOMMODATE EXISTING WALL THICKNESS.
10. CONTRACTOR TO COORDINATE JAMB WIDTHS AND DETAILS WITH ON-SITE CONDITIONS. CONTRACTOR TO PRODUCE SHOP-DRAWINGS OF JAMB DETAILS FOR ARCHITECTS REVIEW AND APPROVAL.
11. PROVIDE MANUFACTURERS FLOOR ANCHOR STRAPS FOR ALL HOLLOW METAL JAMB FRAME AND MULLION FLOOR ANCHORS FOR HOLLOW METAL MULLIONS. ANCHORS TO BE FIRE RATED TYPE.
12. PROVIDE THERMALLY BROKEN THRESHOLDS AT ALL EXTERIOR DOORS.
13. PROVIDE WEATHER STRIPPING ON ALL EXTERIOR DOORS.
14. IN FRAME DETAILS GRAPHIC OF WALL ASSEMBLIES ARE GENERIC ONLY-CONTRACTOR MUST REFERENCE ASSEMBLY TYPES FOR EXACT WIDTH & COMPOSITION OF WALLS
15. ALL SCREEN FRAMES ARE TO BE PAINTED HOLLOW METAL, UNLESS OTHERWISE NOTED. REFER TO INTERIOR ELEVATIONS, DOOR & FINISH SCHEDULES FOR PAINT COLOURS.

1. REFER TO FIRE SEPARATION DRAWINGS FOR REQUIRED FIRE SEPARATION RATINGS. THE CONTRACTOR IS TO ENSURE THE CONTINUITY OF ALL FIRE SEPARATIONS AS REQUIRED.
2. THE CONTRACTOR IS TO PROVIDE ULC-LISTED FIRESTOP SYSTEMS AS REQUIRED FOR ALL BUILDING SERVICE PENETRATIONS THROUGH RAISED ASSEMBLIES. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.
3. THE CONTRACTOR IS TO PROVIDE ULC-LISTED FIRESTOP SYSTEMS AS REQUIRED FOR ALL RATED PARTITION ASSEMBLY CONDITIONS.
4. UNLESS NOTED OTHERWISE, ALL PARTITION AND FURRING ASSEMBLIES ARE TO EXTEND FROM STRUCTURAL DECK/SLAB TO U/S OF STRUCTURAL DECK/SLAB ABOVE.
5. HEIGHT LIMITS FOR NON-LOADBEARING INTERIOR AND EXTERIOR CONCRETEBLOCK MASONRY IS TO CONFORM TO CBC 9.20.10.1. REFER TO STRUCTURAL DRAWINGS FOR REINFORCING, LINTELS, AND LATERAL SUPPORT.
6. HEIGHT LIMITS OF INTERIOR AND FURRING PARTITION STEEL STUD FRAMING IS TO CONFORM TO CBC 9.24.2.1, OR STEEL STUD SUPPLIER HEIGHT TABLES.
7. THE CONTRACTOR IS TO PROVIDE ENGINEERED SHOP DRAWINGS, SIGNED AND SEALED BY A P.E. LICENSED WITHIN THE PROVINCE OF ONTARIO FOR ALL STEEL STUD FRAMING DENOTED AS "WIND-BEARING" OR "STRUCTURAL".
8. THE CONTRACTOR IS TO PROVIDE STRUCTURAL STUD FRAMING AS REQUIRED TO SUPPORT ALL EXTERIOR CURTAINWALL, STOREFRONT GLAZING AND PUNCH WINDOW SYSTEMS. IN ADDITION TO INTERIOR SCREENS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE STUD SPACING AND CONFIGURATION AS REQUIRED TO MEET CURTAINWALL, STOREFRONT, PUNCH WINDOW, AND INTERIOR SCREEN SUPPLIER REQUIREMENTS.
9. PROVIDE CONT. ACOUSTICAL SEALANT (BOTH SIDES) AT TOP AND BOTTOM OF ALL INTERIOR STUD AND GYPSUM BOARD PARTITIONS. PROVIDE ULC-LISTED SEALANT AT ALL RATED PARTITIONS AS REQUIRED. REFER TO FIRE SEPARATION DRAWINGS.
10. ACCESS PANELS LOCATED WITHIN SUSPENDED GYPSUM BOARD CEILING ASSEMBLIES ARE TO BE PAINTED OUT TO MATCH THE SURROUNDING CEILING FINISH. PROVIDE ULC-LISTED ACCESS PANEL. WHERE PANEL IS LOCATED IN A RATED CEILING, REFER TO FIRE SEPARATION DRAWINGS.
11. UNLESS NOTED OTHERWISE, ASSEMBLIES ABOVE DOORS, WINDOWS, EXTERIOR OPENINGS AND INTERIOR SCREENS IS TO BE THE SAME AS THE TYPE DENOTED ON EITHER SIDE.
12. ALL R AND RSI VALUES SHOWN ARE NOMINAL. REFER TO PROJECT MANUAL FOR FULL LISTING OF INSULATION TYPES AND WEATHER BARRIER TYPES.

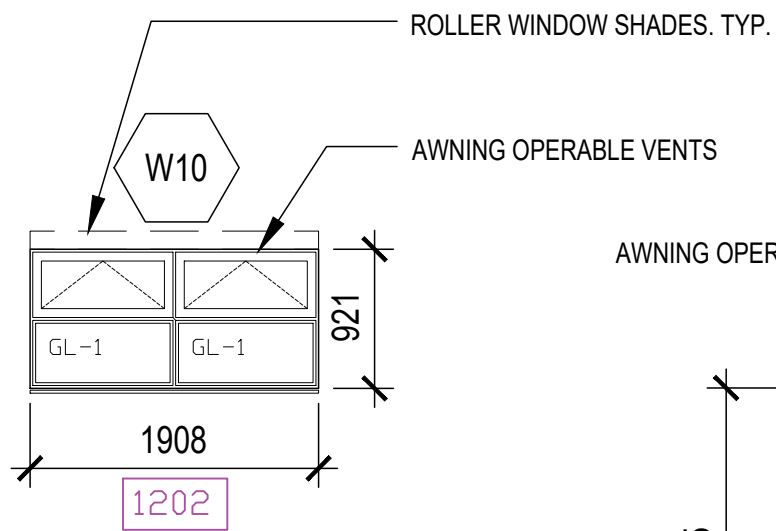
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Elmira District  
Secondary  
School – Window, Roof,  
HVAC & Sanitary  
Upgrades

## ASSEMBLIES & DOOR SCHEDULE

DRAWING NO:  
**A001**





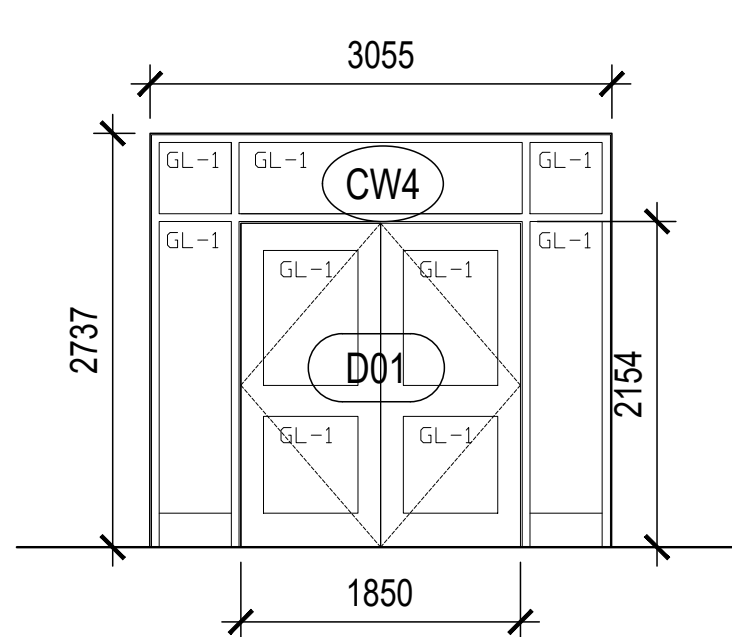
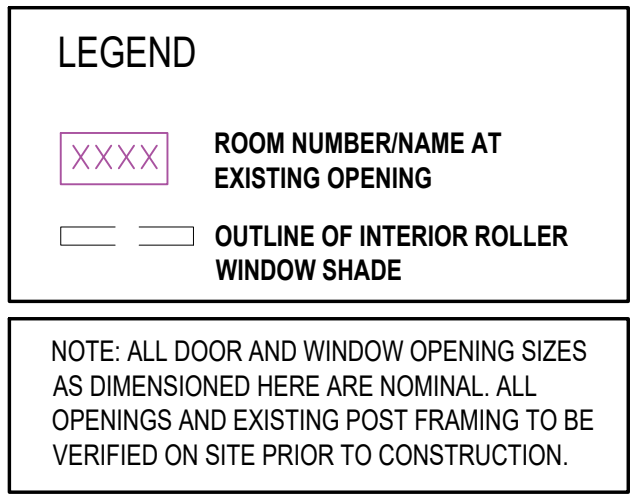
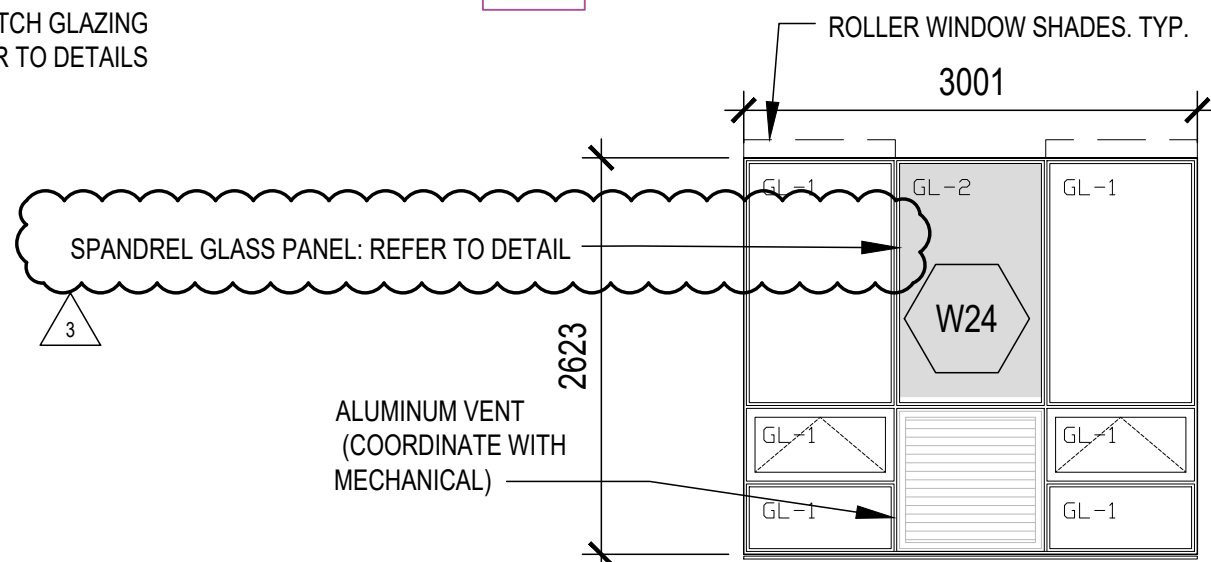
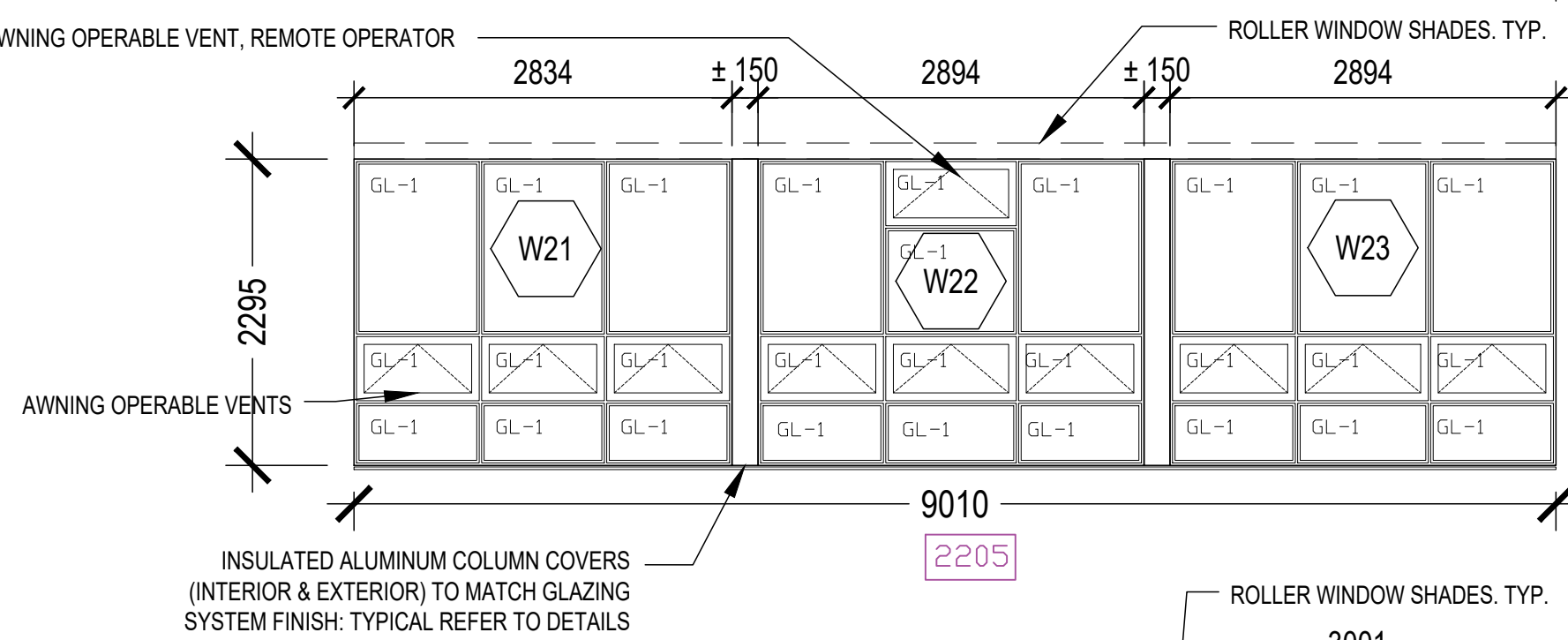
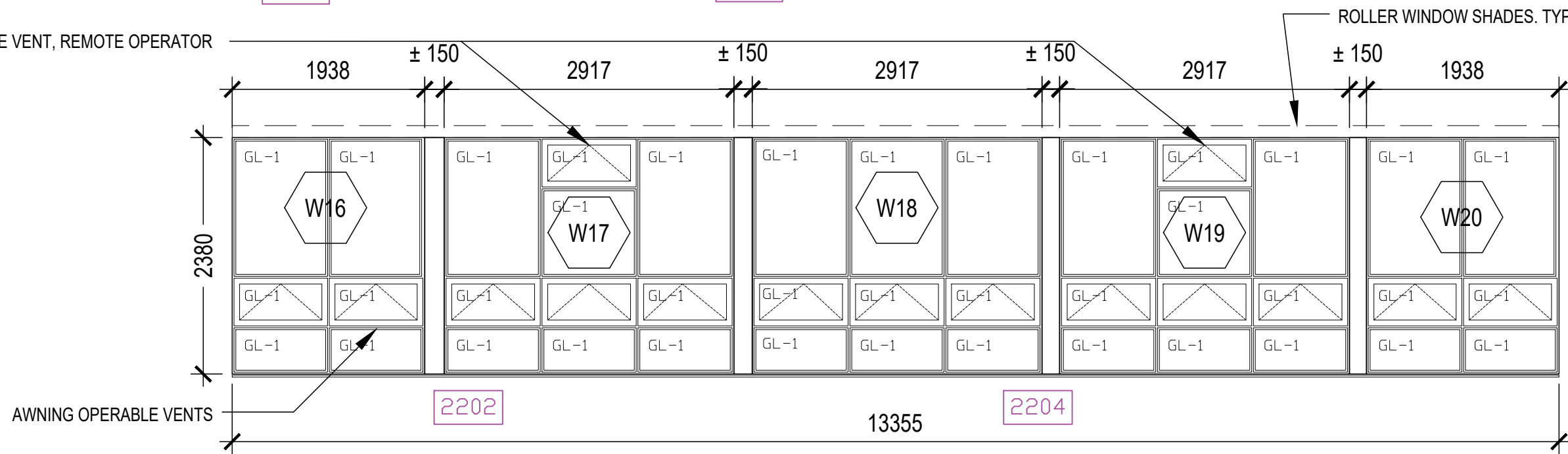
Architectural elevation drawing of a building facade. The drawing shows a series of windows and doors with various details and dimensions.

**Dimensions:**

- Overall width: 2894
- Overall height: 2295
- Window widths: 2836, 2933, 2817, 2940, 2894
- Window heights:  $\pm 215$ ,  $\pm 150$ ,  $\pm 150$ ,  $\pm 150$

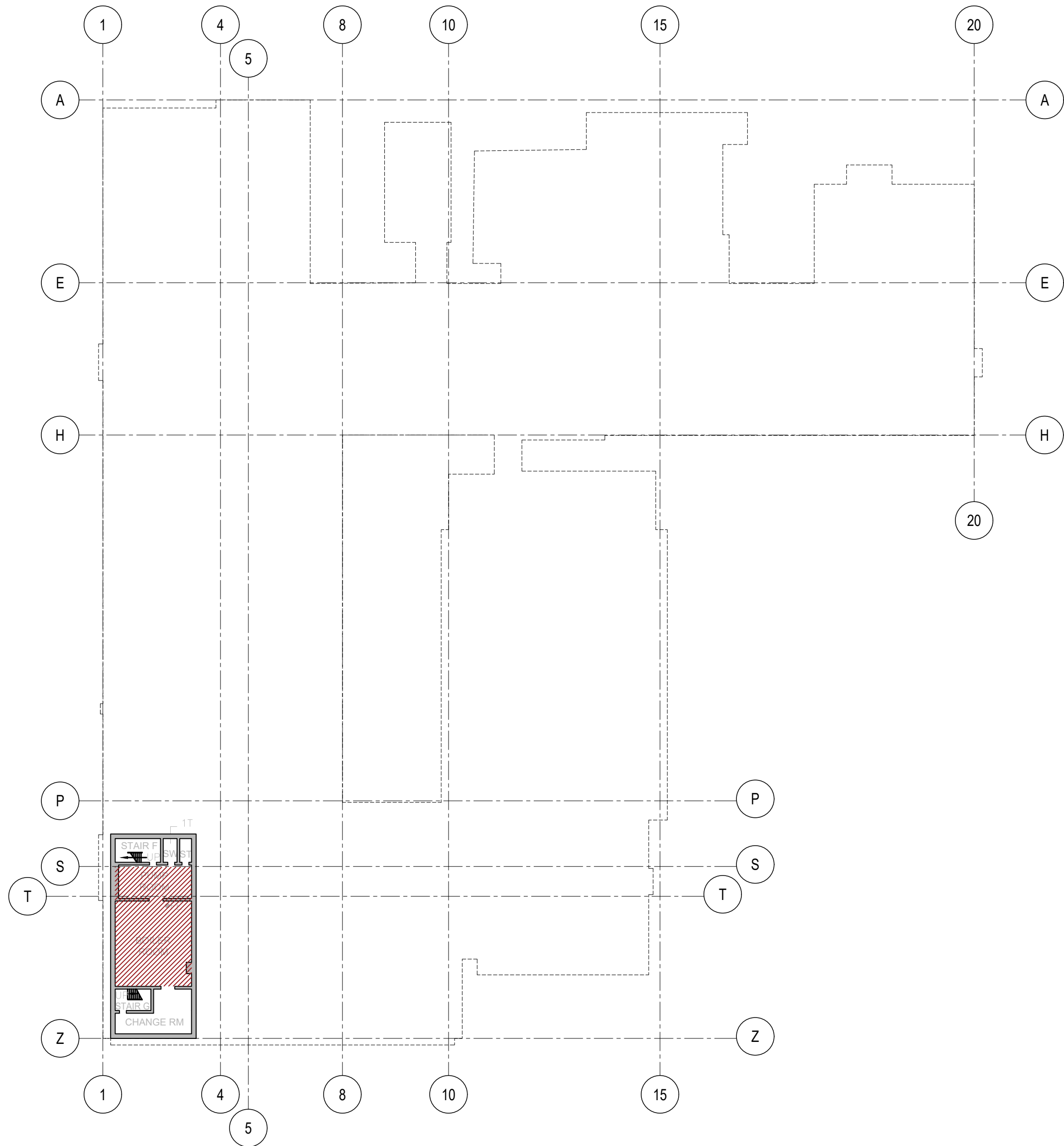
**Labels and Callouts:**

- AWNING OPERABLE VENT, REMOTE OPERATOR
- AWNING OPERABLE VENTS
- ROLLER WINDOW SHADES, TYP.
- GL-1
- W10
- W11
- W12
- W13
- W14
- W15
- 2203
- 2202
- 2201

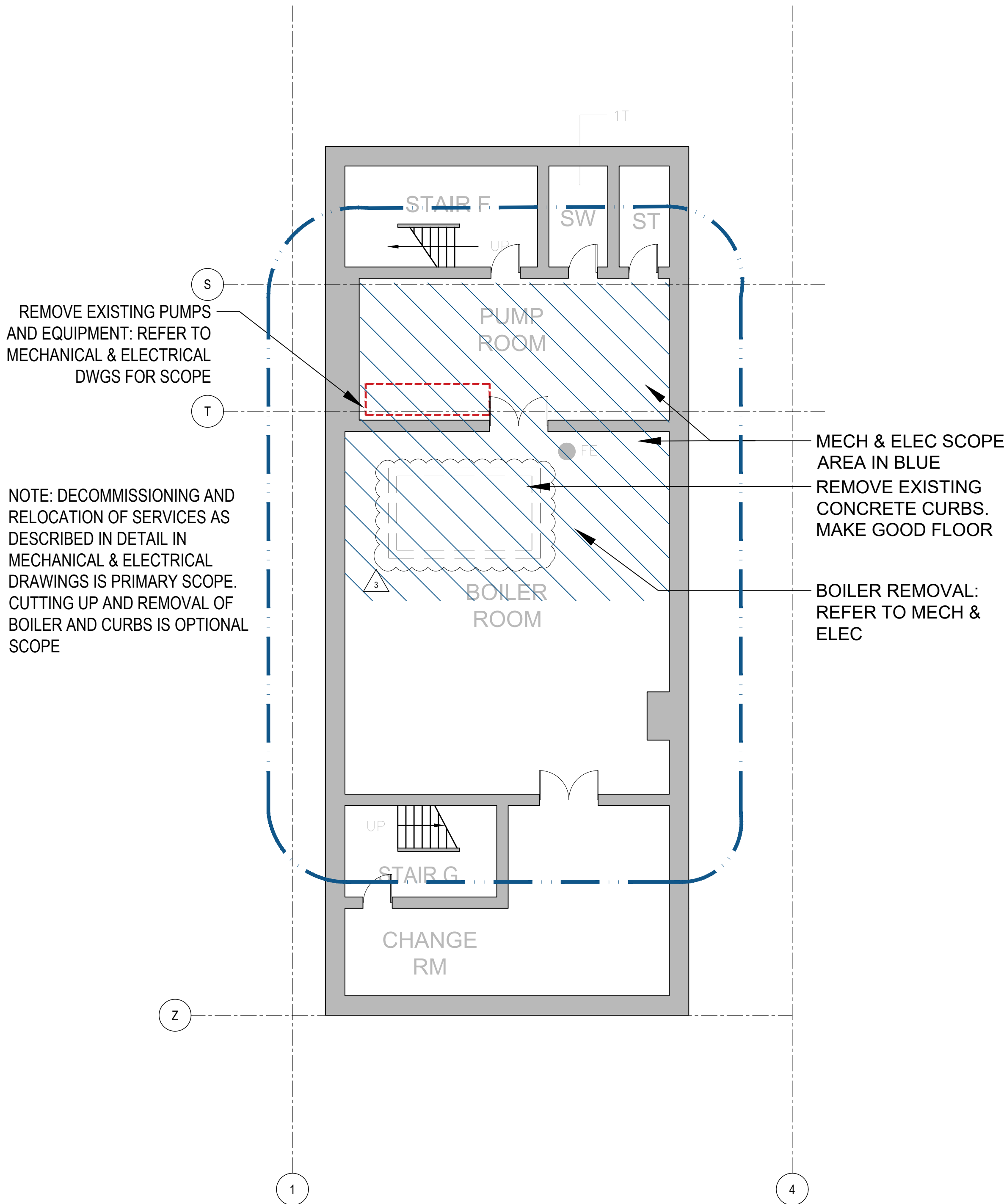


DRAWING NO:  
**A005**





1 BASEMENT FLOOR KEY PLAN  
A021 1 : 500



2 BASEMENT FLOOR PARTIAL PLAN: BOILER ROOM  
A021 1 : 100

#### PLAN LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL/ ELEMENT TO BE DEMOLISHED

#### GENERAL DEMOLITION NOTES:

THE DEMOLITION DRAWINGS ILLUSTRATE A GENERAL SCOPE OF WORK. IT IS THE FULL RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE FULL SCOPE OF DEMOLITION REQUIRED USING EXISTING CONDITIONS AND THE COMPLETE CONTRACT DOCUMENT SETS INCLUSIVE OF ALL DISCIPLINES INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL TO ACHIEVE THE FINAL SCOPE OF WORK.

- CONTRACTOR TO REVIEW AND FOLLOW 'H.A.S.P.' (HEALTH AND SAFETY PROCEDURES) AS DICTATED IN THE SPECIFICATION BEFORE BEGINNING ANY WORK.
- INFORMATION SHOWN ON THE DEMOLITION DRAWINGS IS BASED ON INFORMATION AVAILABLE FROM EXISTING BUILDING DRAWINGS AND A LIMITED VISUAL INSPECTION.
- CONTRACTOR TO CHECK ALL DRAWINGS AGAINST ACTUAL CONDITIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE TO BE DETERMINED USING THE PROPOSED CONTRACT DOCUMENTS. NO DIMENSIONS ARE TO BE INFERRED FROM THE DEMOLITION DRAWINGS.
- CONTRACTOR TO MAKE GOOD ALL WALLS, CEILINGS AND FLOORING TO REMAIN THAT ARE AFFECTED BY DEMOLITION. WHERE EXISTING SURFACES ARE DISTURBED MAKE GOOD EXISTING SURFACE OR ENTIRE PLANE OF SURFACE BACK TO NEAREST CORNER OR CHANGE IN MATERIAL.
- CONTRACTOR TO SUPPLY AND INSTALL ALL NECESSARY HOARDING TARPS, ETC TO PROTECT WORK AND MAINTAIN A DUST FREE ENVIRONMENT IN SURROUNDING AREAS.
- CONTRACTOR TO MAKE GOOD ALL JUNCTIONS BETWEEN EXISTING STRUCTURES IDENTIFIED TO BE REMOVED AND EXISTING STRUCTURES IDENTIFIED TO REMAIN.
- PROVIDE NOTICE DATE TO OWNER TO REMOVE ANY WANTED ITEMS FROM SITE
- REMOVE & DISPOSE OF ALL EXISTING CEILING FINISHES AND SUPPORT SYSTEMS AS NOTED. FOR CLARITY OF DRAWINGS CEILING IS NOT DASHED IN DEMOLITION DRAWINGS, HOWEVER THEY MUST BE REMOVED AS NOTED HERE. REMOVAL OF EXISTING CEILING FINISHES SHALL INCLUDE ALL CEILING LAYERS, MATERIALS, SUPPORT SYSTEMS, MECHANICAL AND ELECTRICAL, AND ABANDONED DEBRIS IN THE CEILING SPACE. REMOVE ALL DOUBLE CEILINGS, WHERE OLDER CEILING REMAINS OBSCURED BY EXISTING CEILING.
- REMOVE ALL ROOFING ASSEMBLY TO TOP OF DECK.
- SALVAGE CEILING TILES FOR REUSE WHERE NOTED.
- REMOVE & DISPOSE OF ALL ABANDONED SERVICES - FIXTURES, EQUIPMENT, CONDUITS, PIPE, WIRING, ETC. (INTERIOR AND EXTERIOR).
- REMOVE & DISPOSE OF ALL EXISTING MILLWORK, FURNITURE, LOOSE MISCELLANEOUS ARTICLES AND EQUIPMENT UNLESS OTHERWISE NOTED.
- REMOVE & DISPOSE ALL EXISTING SIGNAGE UNLESS OTHERWISE NOTED.
- DEMOLISH ALL EXISTING ELEMENTS SHOWN HERE AS WELL AS ANY EXISTING ELEMENT WHERE DEMOLITION OF THE ELEMENT IS REQUIRED TO ACCOMMODATE THE WORK.
- REMOVE ALL MECHANICAL SYSTEMS, FIXTURES, EQUIPMENT, PIPING, CONDUIT, DUCTWORK, ETC., UNLESS NOTED (IN AREA OF WORK).
- THIS IS NOT AN EXHAUSTIVE LIST. TO BE READ WITH ALL DRAWINGS AND SPECIFICATIONS (INCLUDING BUT NOT LIMITED TO DEMOLITION DRAWINGS AND SPEC SECTIONS).
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- REMOVE EXISTING DOORS, GRILLES, INCLUDING ALL FRAMING AS NOTED ON DEMO PLANS. ALL EXISTING LOCKS MUST BE RETURNED TO THE OWNER.

#### NOTES ON DESIGNATED SUBSTANCES:

PRIOR TO COMMENCING WORK, READ 2017 ASBESTOS AUDIT UPDATE PREPARED BY MTE MARCH 15, 2017

- THE SCOPE OF WORK DOES NOT ENTAIL THE REMOVAL OF DESIGNATED SUBSTANCES.
- IN NO WAY SHOULD THE CONTRACTOR ASSUME IT OTHERWISE TO BE 100% FREE OF DESIGNATED SUBSTANCES AND AS SUCH THE CONTRACTOR SHOULD TAKE EVERY PRECAUTION WHEN WORKING IN THE BUILDING.
- IF THE CONTRACTOR ENCOUNTERS TOXIC OR HAZARDOUS SUBSTANCES, OR HAS REASONABLE GROUNDS TO BELIEVE THAT TOXIC OR HAZARDOUS SUBSTANCES ARE PRESENT, THE CONTRACTOR SHALL TAKE ALL REASONABLE STEPS, INCLUDING STOPPING THE WORK, TO ENSURE THAT NO PERSON'S EXPOSURE TO ANY TOXIC OR HAZARDOUS SUBSTANCES EXCEEDS ANY APPLICABLE TIME WEIGHTED LEVELS PRESCRIBED BY APPLICABLE LEGISLATION AT THE PLACE OF THE WORK AND IMMEDIATELY REPORT THE CIRCUMSTANCES TO THE OWNER IN WRITING.



#### ISSUE DATE:

NO.	DATE	DESCRIPTION
1	2021	ISSUED FOR TENDER
2	2021	ISSUED FOR ADDENDUM #5
3	2021	ISSUED FOR ADDENDUM #5
4	2021	ISSUED FOR ADDENDUM #5
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90	2021	ISSUED FOR ADDENDUM #5
91	2021	ISSUED FOR ADDENDUM #5
92	2021	ISSUED FOR ADDENDUM #5
93	2021	ISSUED FOR ADDENDUM #5
94	2021	ISSUED FOR ADDENDUM #5
95	2021	ISSUED FOR ADDENDUM #5
96	2021	ISSUED FOR ADDENDUM #5
97	2021	ISSUED FOR ADDENDUM #5
98	2021	ISSUED FOR ADDENDUM #5
99	2021	ISSUED FOR ADDENDUM #5
100	2021	ISSUED FOR ADDENDUM #5

#### PROJECT:

Elmira District  
Secondary  
School – Window, Roof,  
HVAC & Sanitary  
Upgrades

#### DRAWING TITLE:

BASEMENT FLOOR  
PLAN  
DEMOLITION

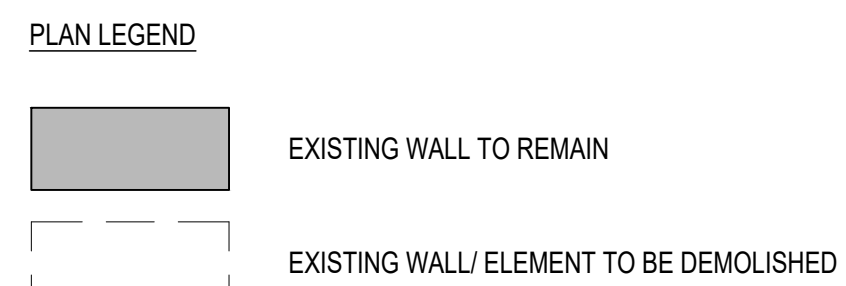
PROJECT NO: 20931  
SCALE: AS NOTED  
DRAWN BY: JG  
REVIEWED BY: JC-B

PROJECT NORTH:  
N

#### DRAWING NO:

A020





# A021

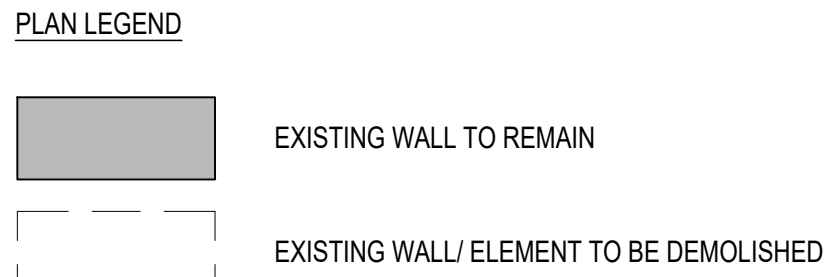




1. REMOVE EXISTING GLASS BLOCK AND TRIMS, INCLUDING INTERMEDIATE SUPPORT FRAMING BELOW THE HEAD OF THE OPENING.
2. REMOVE EXISTING FLASHINGS AND SEALANTS DOWN TO EXPOSED MASONRY/STEEL STRUCTURE
3. REMOVE EXISTING INTERIOR SILLS AND SKIRTING. SALVAGE SOLID WOOD SILL ASSEMBLIES FOR REINSTALLATION IF CONSIDERED VIABLE. EXISTING LOWER FLOOR CONCRETE SILLS ARE TO REMAIN.
4. REMOVE EXISTING ROLLER BLINDS AND TURN OVER TO SCHOOL FOR REUSE ELSEWHERE.
5. COORDINATE DEMOLITION & REPLACEMENT WORK AND PROTECT EXISTING MECHANICAL AIR CONDITIONING UNITS TO BE REINSTATED AFTER WINDOW REPLACEMENT.
6. REMOVE EXISTING STEEL FRAMING AT TOP OF WINDOW OPENINGS IS TO REMAIN UNLESS NOTED OTHERWISE.

A022





THE DEMOLITION DRAWINGS ILLUSTRATE A GENERAL SCOPE OF WORK. IT IS THE FULL RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE FULL SCOPE OF DEMOLITION REQUIRED USING EXISTING CONDITIONS AND THE COMPLETE CONTRACT DOCUMENT SETS INCLUSIVE OF ALL DISCIPLINES INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL TO ACHIEVE THE FINAL SCOPE OF WORK.

1. CONTRACTOR TO REVIEW AND FOLLOW "H.A.S.P." (HEALTH AND SAFETY PROCEDURES) AS DICTATED IN THE SPECIFICATION BEFORE BEGINNING ANY WORK.
2. INFORMATION SHOWN ON THE DEMOLITION DRAWINGS IS BASED ON INFORMATION AVAILABLE FROM EXISTING BUILDING DRAWINGS AND A LIMITED VISUAL INSPECTION.
3. CONTRACTOR TO CHECK ALL DRAWINGS AGAINST ACTUAL CONDITIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
4. ALL DIMENSIONS ARE TO BE DETERMINED USING THE PROPOSED CONTRACT DOCUMENTS. NO DIMENSIONS ARE TO BE INFERRED FROM THE DEMOLITION DRAWINGS.
5. CONTRACTOR TO MAKE GOOD ALL WALLS, CEILINGS AND FLOORING TO REMAIN THAT ARE AFFECTED BY DEMOLITION. WHERE EXISTING SURFACES ARE DISTURBED MAKE GOOD EXISTING SURFACE OR ENTIRE PLANE OF SURFACE BACK TO NEAREST CORNER OR CHANGE IN MATERIAL.
6. CONTRACTOR TO SUPPLY AND INSTALL ALL NECESSARY HOARDING TAPPS, ETC. TO PROTECT WORK AND MAINTAIN A DUST FREE ENVIRONMENT IN SURROUNDING AREAS.
7. CONTRACTOR TO MAKE GOOD ALL JUNCTIONS BETWEEN EXISTING STRUCTURES IDENTIFIED TO BE REMOVED AND EXISTING STRUCTURES IDENTIFIED TO REMAIN.
8. PROVIDE NOTICE DATE TO OWNER TO REMOVE ANY WANTED ITEMS FROM SITE
9. REMOVE & DISPOSE OF ALL EXISTING CEILING FINISHES AND SUPPORT SYSTEMS AS NOTED. FOR CLARITY OF DRAWINGS CEILING IS NOT DASHED IN DEMOLITION DRAWINGS, HOWEVER THEY MUST BE REMOVED AS NOTED HERE. REMOVAL OF EXISTING CEILING FINISHES SHALL INCLUDE ALL CEILING LAYERS, MATERIALS, SUPPORT SYSTEMS, MECHANICAL AND ELECTRICAL, AND ABANDONED DEBRIS IN THE CEILING SPACE. REMOVE ALL DOUBLE CEILINGS, WHERE OLDER CEILING REMAINS OBTSCURED BY EXISTING CEILING.
10. REMOVE ALL ROOFING ASSEMBLY TO TOP OF DECK.
11. SALVAGE CEILING TILES FOR REUSE WHERE NOTED.
12. REMOVE & DISPOSE OF ALL ABANDONED SERVICES - FIXTURES, EQUIPMENT, CONDUITS, PIPE, WIRING, ETC. (INTERIOR AND EXTERIOR).
13. REMOVE & DISPOSE OF ALL EXISTING MILLWORK, FURNITURE, LOOSE MISCELLANEOUS ARTICLES AND EQUIPMENT UNLESS OTHERWISE NOTED.
14. REMOVE & DISPOSE ALL EXISTING SIGNAGE UNLESS OTHERWISE NOTED.
15. DEMOLISH ALL EXISTING ELEMENTS SHOWN HERE AS WELL AS ANY EXISTING ELEMENT WHERE DEMOLITION OF THE ELEMENT IS REQUIRED TO ACCOMMODATE THE WORK.
16. REMOVE ALL MECHANICAL SYSTEMS, FIXTURES, EQUIPMENT, PIPING, CONDUIT, DUCTWORK, ETC., UNLESS NOTED (IN AREA OF WORK).
17. THIS IS NOT AN EXHAUSTIVE LIST. TO BE READ WITH ALL DRAWINGS AND SPECIFICATIONS (INCLUDING BUT NOT LIMITED TO DEMOLITION DRAWINGS AND SPEC SECTIONS).
18. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
19. REMOVE EXISTING DOORS, GRILLES, INCLUDING ALL FRAMING AS NOTED ON DEMO PLANS. ALL EXISTING LOCKS MUST BE RETURNED TO THE OWNER.

1. REMOVE EXISTING GLASS BLOCK AND TRIMS, INCLUDING INTERMEDIATE SUPPORT FRAMING BELOW THE HEAD OF THE OPENING.
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6. EXISTING STEEL FRAMING AT TOP OF WINDOW OPENINGS IS TO REMAIN UNLESS NOTED OTHERWISE.

PRIOR TO COMMENCING WORK, READ 2017 ASBESTOS AUDIT UPDATE  
PREPARED BY MTE MARCH 15, 2017

1. THE SCOPE OF WORK DOES NOT ENTAIL THE REMOVAL OF DESIGNATED SUBSTANCES.
2. IN NO WAY SHOULD THE CONTRACTOR ASSUME IT OTHERWISE TO BE 100% FREE OF DESIGNATED SUBSTANCES AND AS SUCH THE CONTRACTOR SHOULD TAKE EVERY PRECAUTION WHEN WORKING IN THE BUILDING.
3. IF THE CONTRACTOR ENCOUNTERS TOXIC OR HAZARDOUS SUBSTANCES, OR HAS REASONABLE GROUNDS TO BELIEVE THAT TOXIC OR HAZARDOUS SUBSTANCES ARE PRESENT, THE CONTRACTOR SHALL TAKE ALL REASONABLE STEPS, INCLUDING STOPPING THE WORK, TO ENSURE THAT NO PERSON'S EXPOSURE TO ANY TOXIC OR HAZARDOUS SUBSTANCES EXCEEDS ANY APPLICABLE TIME WEIGHTED LEVELS PRESCRIBED BY APPLICABLE LEGISLATION AT THE PLACE OF THE WORK AND IMMEDIATELY REPORT THE CIRCUMSTANCES TO THE OWNER IN WRITING.



**ISSUE DATE:**

[illegible]

**PROJECT:**

Elmira District  
Secondary  
School – Window, Roof,  
HVAC & Sanitary  
Upgrades

**DRAWING TITLE:**

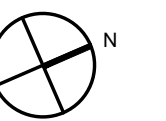
## THIRD FLOOR PLAN DEMOLITION

PROJECT NO: 20931  
SCALE: AS NOTED  
DRAWN BY: JG  
REVIEWED BY: JC-B

DRAWING NO:

A023

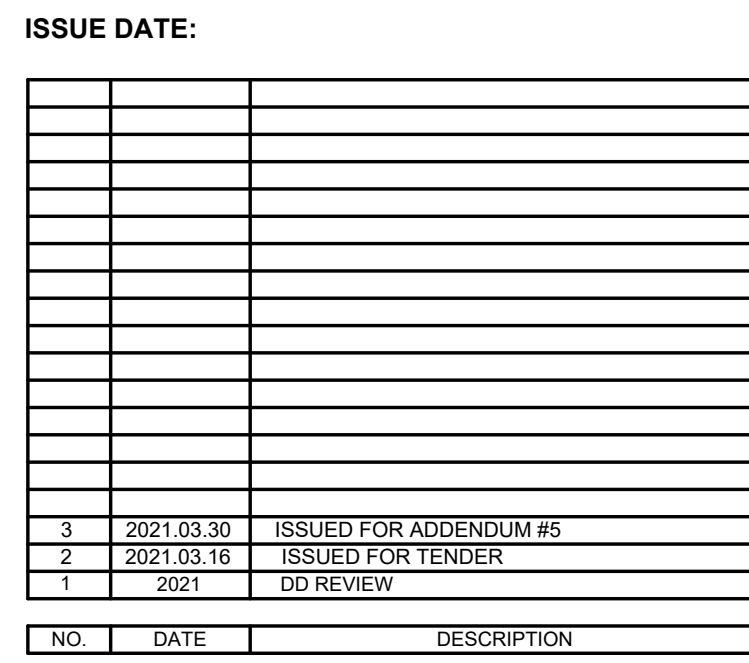
## PROJECT NORTH:







DO NOT SCALE DRAWINGS



PROJECT:

Elmira District  
Secondary  
School – Window, Roof,  
HVAC & Sanitary  
Upgrades

DRAWING TITLE:

ROOF PLAN  
DEMOLITION

PROJECT NO: 20931  
 SCALE: AS NOTED  
 DRAWN BY: JG  
 REVIEWED BY: JC-B

DRAWING NO:

A024



1. REMOVE EXISTING GLASS BLOCK AND TRIMS, INCLUDING INTERMEDIATE SUPPORT FRAMING BELOW THE HEAD OF THE OPENING.
2. REMOVE EXISTING FLASHINGS AND SEALANTS DOWN TO EXPOSED MASONRY/STEEL STRUCTURE
3. REMOVE EXISTING INTERIOR SILLS AND SKIRTING. SALVAGE SOLID WOOD SILL ASSEMBLIES FOR REINSTALLATION IF CONSIDERED Viable. EXISTING LOWER FLOOR CONCRETE SILLS ARE TO REMAIN.
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EXISTING WALL TO REMAIN

EXISTING WALL/ ELEMENT TO BE DEMOLISHED

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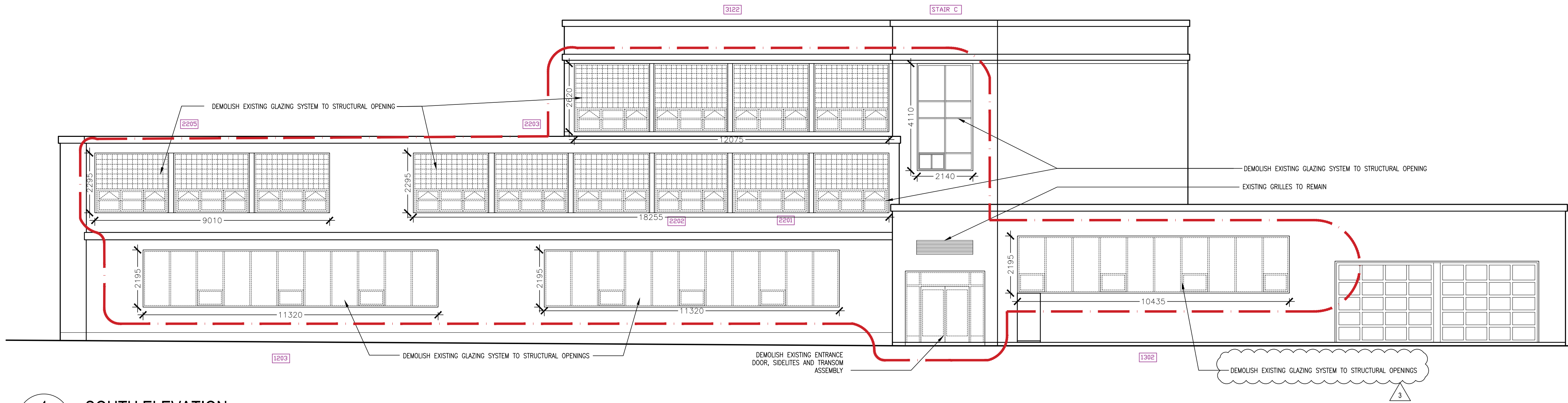
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## NOTES ON DESIGNATED SUBSTANCES:

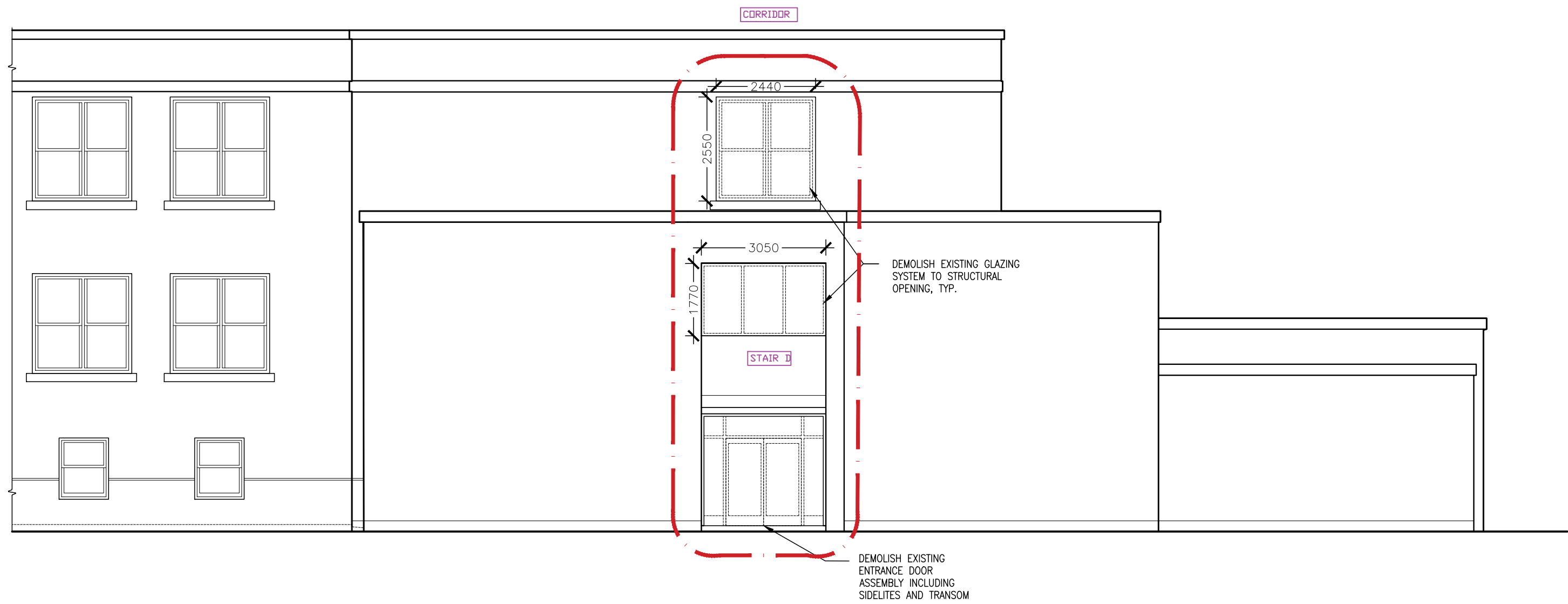
**PRIOR TO COMMENCING WORK, READ 2017 ASBESTOS AUDIT UPDATE  
PREPARED BY MTE MARCH 15, 2017**

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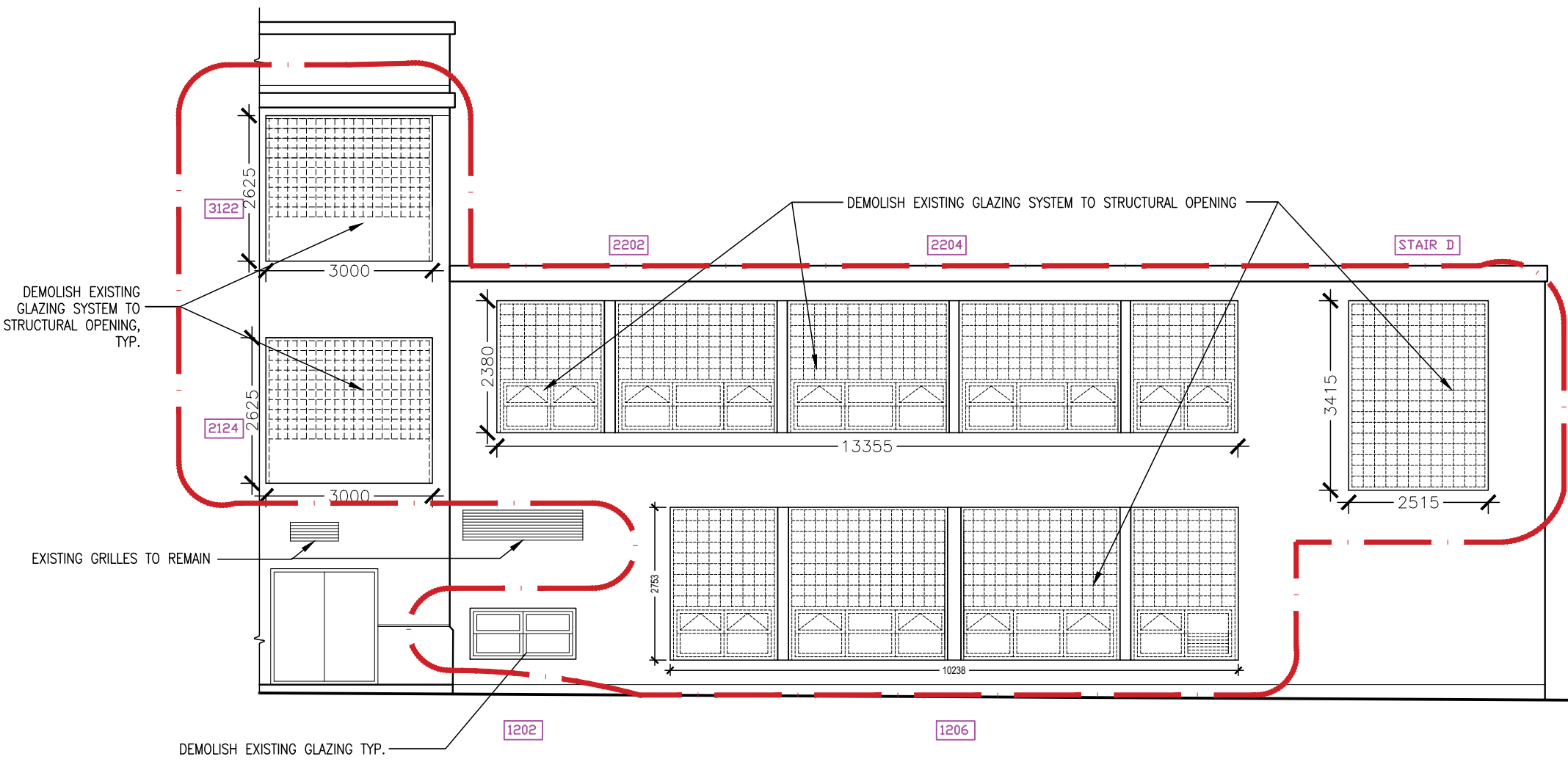




1 SOUTH ELEVATION  
A201 1 : 100



2 WEST ELEVATION  
A201 1 : 100



3 EAST ELEVATION  
A201 1 : 100

ROOM NUMBER AT EXISTING OPENING SCOPE

### NOTES FOR DEMOLITION OF WINDOWS:

1. REMOVE EXISTING GLASS BLOCK AND TRIMS, INCLUDING INTERMEDIATE SUPPORT FRAMING BELOW THE HEAD OF THE OPENING.
2. REMOVE EXISTING FLASHINGS AND SEALANTS DOWN TO EXPOSED MASONRY/STEEL STRUCTURE
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#### ISSUE DATE:

NO.	DATE	DESCRIPTION
3	2021.03.30	ISSUED FOR ADDENDUM #5
2	2021.03.16	ISSUED FOR TENDER
1	2021	DD REVIEW

#### PROJECT:

Elmira District  
Secondary  
School – Window, Roof,  
HVAC & Sanitary  
Upgrades

#### DRAWING TITLE:

PARTIAL EXTERIOR  
ELEVATIONS  
DEMOLITION

PROJECT NO: 20931

SCALE: AS NOTED

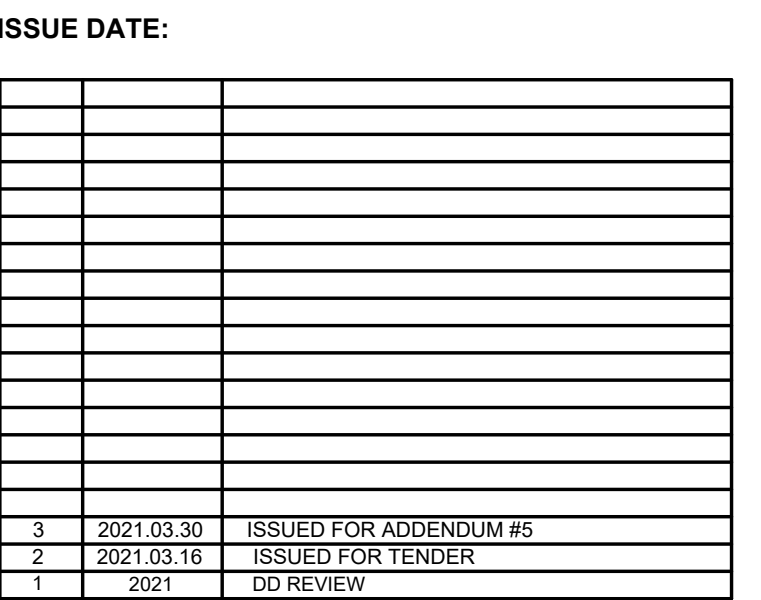
DRAWN BY: JG

REVIEWED BY: JC-B

DRAWING NO:

A025






PROJECT:  
Elmira District  
Secondary  
School – Window, Roof,  
HVAC & Sanitary  
Upgrades

DRAWING TITLE:

**BASEMENT FLOOR  
PLAN  
PROPOSED**

PROJECT NO:	20931	PROJECT NORTH:	
SCALE:	AS NOTED		
DRAWN BY:	JG		
REVIEWED BY:	JC-B		

DRAWING NO:

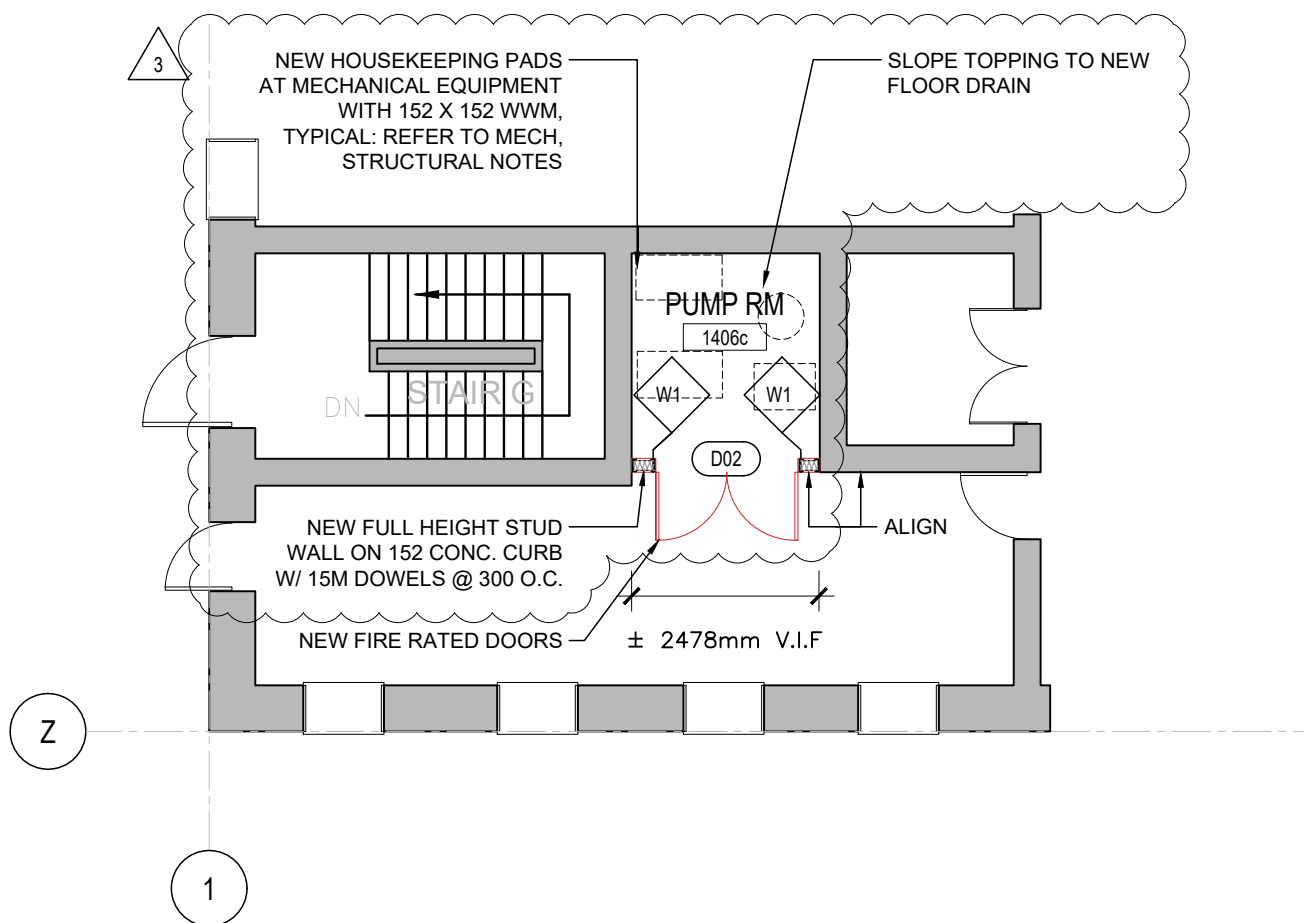
A100



3	2021.03.30	ISSUED FOR ADDENDUM #5
2	2021.03.16	ISSUED FOR TENDER
1	2021	DD REVIEW

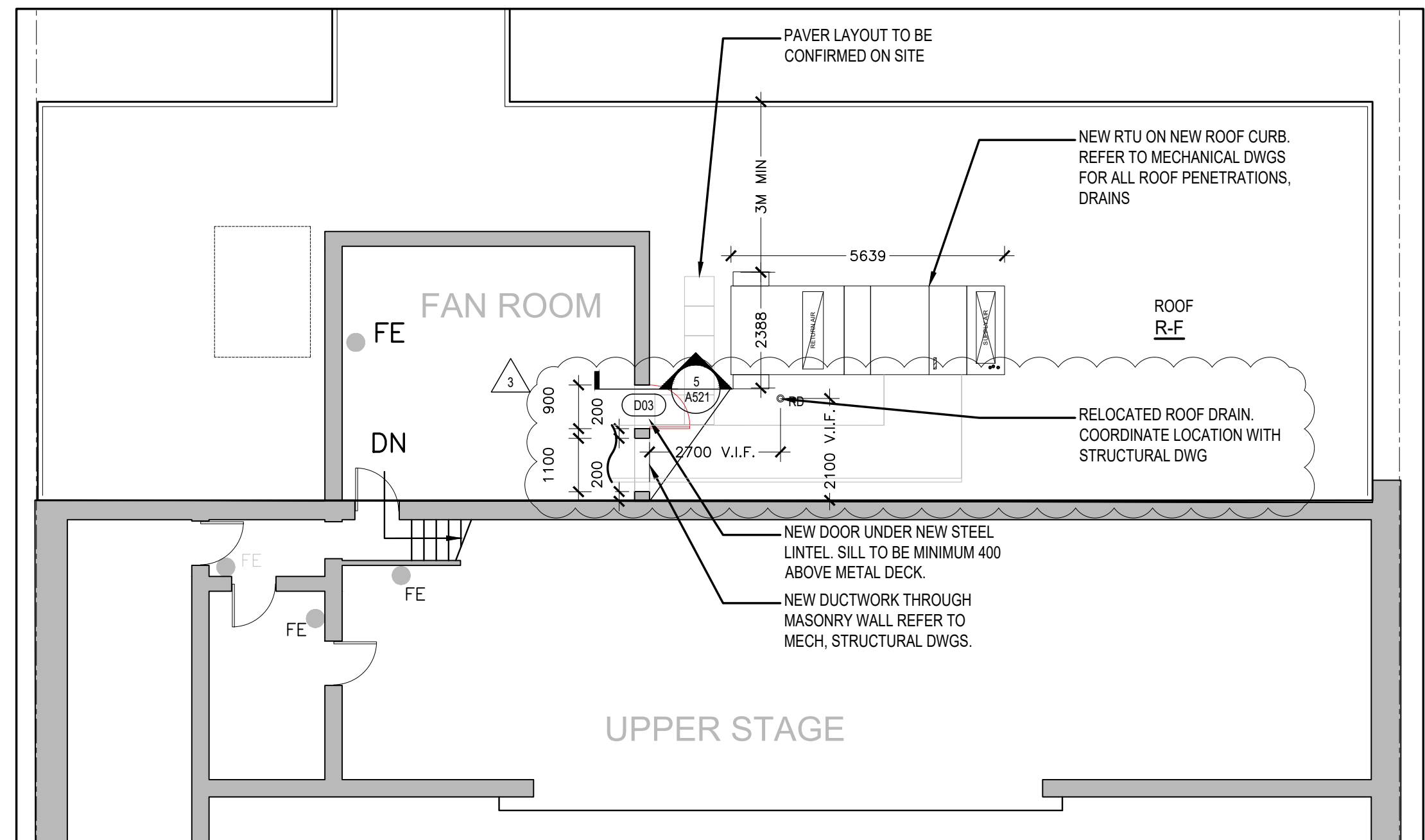
NO.	DATE	DESCRIPTION
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# A101

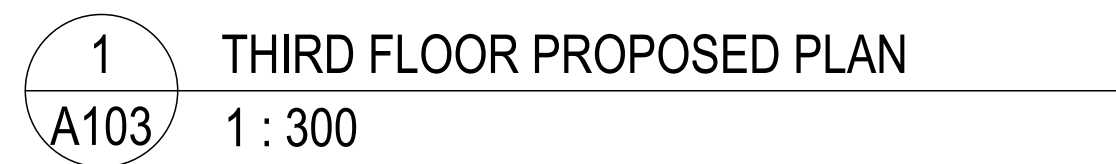


2 PARTIAL PLAN AT PUMP RM  
A101 1 : 100








[illegible]

PROJECT:  
Elmira District  
Secondary  
School – Window, Roof,  
HVAC & Sanitary  
Upgrades

DRAWING TITLE:

THIRD FLOOR  
PLAN  
PROPOSED

PROJECT NO:	20931	PROJECT NORTH:	
SCALE:	AS NOTED		
DRAWN BY:	JG		
REVIEWED BY:	JC-B		

DRAWING NO:  
**A103**





DO NOT SCALE DRAWINGS

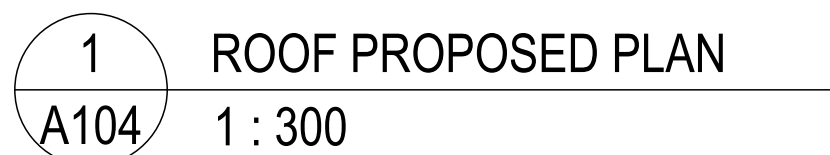
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NO.	DATE	DESCRIPTION
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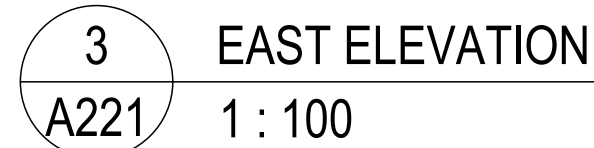
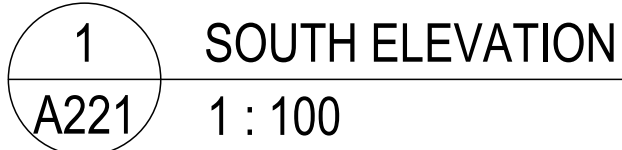
Elmira District  
Secondary  
School – Window, Roof,  
HVAC & Sanitary  
Upgrades

# ROOF PLAN PROPOSED

# A104





[illegible]

Elmira District  
Secondary  
School – Window, Roof,  
HVAC & Sanitary  
Upgrades

## PARTIAL EXTERIOR ELEVATIONS - NEW FENESTRATION

# A301









NO.	DATE	DESCRIPTION
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Elmira District  
Secondary  
School – Window, Roof,  
HVAC & Sanitary  
Upgrades

## SECTION DETAILS

REVIEWED BY: JC-B

# A521